



CITY OF ALLENTOWN

No. 29663

**RESOLUTION**

**R75 - 2018**

*Introduced by the Administration on June 6, 2018*

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**Authorizes encroachment for permanent construction of ADA wheelchair access ramp @ 702 N 7<sup>th</sup> Street**

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***Resolved by the Council of the City of Allentown, That***

**WHEREAS**, Article 903.02 of the Codified Ordinances of the City of Allentown, relating to Permanent Obstructions specifies the criterion and the conditions under which permissible encroachments such as steps, porches, planters, fences, building projections and service structures shall be permitted in the public right-of-way; and

**WHEREAS**, permanent obstructions not permitted under the above criterion or approved by the Bureau of Building and Standards, may be permitted upon the expressed approval of Council in the form of a resolution; and

**WHEREAS**, such encroachments shall not impede or endanger the free flow of pedestrian or vehicular traffic; adversely affect the passage of light or air to adjoining properties; adversely affect in any other manner the health, safety or welfare of adjoining property owners or the public in general; or represent a significant variance from the number or size of encroachments existing in the immediate block area; and


**WHEREAS**, Wells Fargo Bank, N.A., the property owner as listed on the attached application, is requesting an encroachment to install a ADA wheelchair access ramp in the public right-of-way at 702 North 7<sup>th</sup> Street, which was denied by the Administration as it encroaches more than one third (1/3) into the right-of-way;

**WHEREAS**, Allentown City Council finds that the proposed encroachment will not substantially impact the public right-of-way.

**NOW, THEREFORE, BE IT RESOLVED** that the Council of the City of Allentown, approves said encroachment and directs the Mayor to enter into an agreement on behalf of the City allowing the encroachment.

	Yea	Nay
Candida Affa	X	
Julio A. Guridy	X	
Daryl Hendricks	X	
Cynthia Mota	X	
Courtney Robinson	X	
Ed Zucal	X	
Roger MacLean, Pres.	X	
TOTAL	7	0

***THIS IS TO CERTIFY, That the above copy of Resolution No. 29663 was adopted by the City Council of Allentown on the 6<sup>th</sup> day of June, 2018, and is on file in the City Clerk's Office.***

  
 City Clerk

## LEGISLATIVE TEMPLATE

- **What Department or bureau is Bill originating from? Where did the initiative for the bill originate?**

A permanent encroachment for 702 N 7<sup>th</sup> Street for ADA wheelchair access ramp and it encroaches more than 1/3 of the public right-of-way

- **Summary and Facts of the Bill**

The proposed ADA Handicap wheelchair access ramp encroachment is for Wells Fargo Bank patrons to enter/exit the building

- **Purpose – Please include the following in your explanation:**
  - **What does the Bill do – what are the specific goals/tasks the bill seek to accomplish**
  - **What are the Benefits of doing this/Down-side of doing this**
  - **How does this Bill related to the City's Vision/Mission/Priorities**

To allow handicap access into and out of the building which encroaches more than 1/3 of the right of way requiring council approval

- **Financial Impact – Please include the following in your explanation:**
  - **Cost (Initial and ongoing)**
  - **Benefits (initial and ongoing)**

no cost to City

- **Funding Sources – Please include the following in your explanation:**
  - **If transferring funds, please make sure bill gives specific accounts; if appropriating funds from a grant list the agency awarding the grant.**

N/A

- **Priority status/Deadlines, if any**

High priority

- **Why should Council unanimously support this bill?**

Part of Wells Fargo Bank ADA remediation plan



*Permanent*  
**ENCROACHMENT APPLICATION**

**ORDINANCE #13066**

PERMANENT ☒  
TEMPORARY ☐  
APPLICATION DATE 5/14/18

PERMIT NO. \_\_\_\_\_  
DATE ISSUED \_\_\_\_\_  
FEE PAID \_\_\_\_\_

**INFORMATION TO BE FAXED TO THE ENGINEERING DEPARTMENT AT (610) 437-7614**  
**PLEASE PRINT OR TYPE CLEARLY WITH BLUE OR BLACK INK**

ADDRESS OF ENCROACHMENT:

TIME PERIOD APPLIED FOR:

TYPE OF ENCROACHMENT:

IF DUMPSTER OR SCAFFOLDING:

NAME OF SUPPLIER:

PHONE:

ADDRESS:

NAME OF PROPERTY OWNER:

PHONE:

ADDRESS:

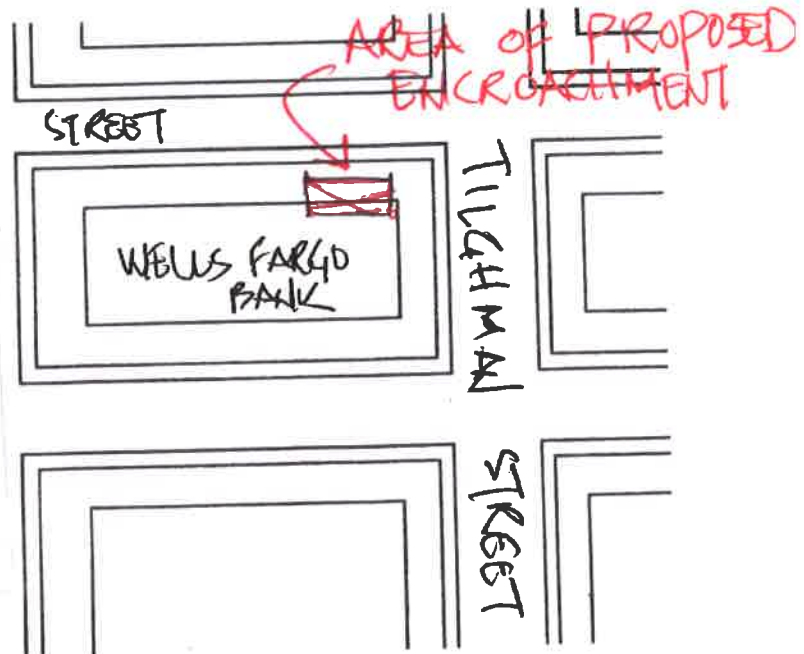
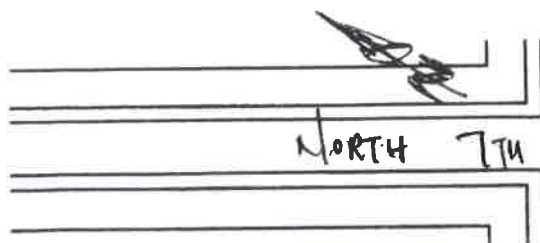
NAME OF APPLICANT:

PHONE:

ADDRESS:

APPLICANTS SIGNATURE:

**ALL APPLICATION TO BE ACCOMPANIED BY A MEASURE SKETCH BELOW**



**SEE ATTACHED CONSTRUCTION PLANS**

# ROUTING SHEET

BUREAU OF DIVISION	DATE REC'D	DATE REVIEW COMPLETED	DATE APPROVED	*DATE REJECTED
<i>DEK</i> HARB	5/21/2018	5/21/2018	5/21/2018	
<i>SB</i> ENG.	5/15/16	5/15/16	5/15/16 *	
<i>MDW</i> INSP.	5/21/18	5/21/18	5/21/18 **	
<i>TV</i> TRAFFIC	5/22/18	5/23/18	5/23/18	
<i>2011/18</i> OTHER <i>N/A</i>	5/17/18	5/17/18	<i>N/A</i>	

Upon completion of review by those Bureaus/Divisions/Agencies checked above, return application to the Director of Code Enforcement (Building Standards and Safety – Inspection Division). If rejected Manager of Bureau/Division/Agency is to attach memo explaining reason(s).

If rejected or not permitted in accordance with the Ordinance, forward to the City Clerk for action by City Council.

✓ Approved                      Rejected

*Craty Messinger MAR*  
Director, Community Development or Designee

*5/24/18*  
Date

\* Must Have Council Approval - More than 1/3 of Public Right of Way.  
\*\* Will require additional submission for building permits.

# ADA REMEDIATION PLANS

FOR

## WELLS FARGO BANK, N.A.

WF #141576 (TILGHMAN STREET OFFICE)

PARCEL #55544312769902

702 NORTH 7TH STREET

CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA



### SCHEDULE OF QUANTITIES:

ITEM #	DESCRIPTION	QUANTITY	UNIT
1	FULL DEPTH ASPHALT REPLACEMENT (1 1/2" HMA SURFACE COURSE, 2" HMA BASE COURSE, 4" DGA SUBBASE)	1,348	SF
2	CONCRETE SIDEWALK (4" THICK)	237	SF
3	CONCRETE CURB	21	LF
4	HANDICAP PARKING SIGNAGE W/VAN ACCESSIBLE PLACARD	1	EA
5	TRUNCATED DOME	1	EA
6	STRIPING/PAVEMENT MARKINGS	1	LS
7	BOLLARD	3	EA
8	CONCRETE WHEELSTOP	11	EA
9	HANDICAP RAMP/LANDING	227	SF
10	CONCRETE STEP	1	LS
11	ALUMINUM HANDRAIL	33	LF
12	ADJUST METAL GUIDERAIL	1	LS



**AERIAL MAP**  
SCALE: NTS

### SHEET INDEX

COVER SHEET	1 OF 7
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DETAIL SHEET	7 OF 7



REV	DATE	REVISION COMMENT	BY

ADA  
REMEDATION PLAN  
WELLS FARGO BANK  
PARCEL #55544312769902, WF PROJECT #141576  
702 NORTH 7TH STREET  
CITY OF ALLENTOWN  
LEHIGH COUNTY, PENNSYLVANIA

W. C. VIOLA, Jr.  
PROFESSIONAL ENGINEER  
PA LICENSE NUMBER 14

SHEET TITLE	COVER SHEET
SHEET NO	1 OF 7
DESIGN DATE	12/01/17
DRAWN BY	WCV
CHECKED BY	WCV
DATE	12/01/17
PROJECT	17-01108800
CAD FILE	17-01108800
REV	12/01/17

## GENERAL IMPROVEMENT PLAN NOTES:

1. THESE PLANS HAVE BEEN DESIGNED BASED ON AN AERIAL PHOTO AND A SITE VISIT. A SURVEY HAS NOT BEEN OBTAINED FOR THE SUBJECT SITE.
2. WHEN AVAILABLE, WRITTEN SPECIFICATIONS AND GEOTECHNICAL REPORT SHALL BE CONSIDERED PART OF THESE DOCUMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND REVIEWING ALL RELEVANT TECHNICAL/DESIGN DOCUMENTS.
4. NORTH STAR DESIGN, LLC. IS NOT RESPONSIBLE FOR ANY CLAIMS DUE TO THE CONTRACTOR CONSTRUCTING WITH INCORRECT PLANS. CONTRACTOR SHALL VERIFY THEY ARE WORKING OFF OF THE LATEST DESIGN DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION.
5. UNLESS SPECIFICALLY IDENTIFIED OTHERWISE, IN THE EVENT OF CONFLICTING INFORMATION BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, THE GEOTECHNICAL REPORT WILL GOVERN. CONTRACTOR SHOULD IMMEDIATELY ADVISE DESIGN ENGINEER IN WRITING OF CONFLICT.
6. CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS AND HAVE ALL APPLICABLE PERMITS ON SITE DURING CONSTRUCTION. CONTRACTOR SHALL REVIEW ALL APPLICABLE PERMITS AND SHALL BE FAMILIAR WITH ALL ASSOCIATED COMMENTS/CONDITIONS PRIOR TO CONSTRUCTION.
7. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE IDENTIFIED ON THESE PLANS.
8. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND THE LATEST OSHA STANDARDS AND REQUIREMENTS AT ALL TIMES.
9. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DETERMINING THE MEANS AND METHODS TO CONSTRUCT THE PROPOSED IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION.
10. NORTH STAR DESIGN, LLC. IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE GENERAL CONTRACTOR IS RESPONSIBLE TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY. NORTH STAR DESIGN, LLC AND/OR ITS SUBCONSULTANTS HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONTRACTOR IN CONNECTION WITH THEIR WORK AND/OR SAFETY PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY.
11. CONTRACTOR RESPONSIBLE TO MAINTAIN A SECURE SITE DURING CONSTRUCTION.
12. CONTRACTOR TO VERIFY ALL EXISTING FEATURES PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE IMMEDIATELY PROVIDED TO DESIGN ENGINEER IN WRITING. NO ADDITIONAL COMPENSATION WILL BE PAID TO CONTRACTOR AS A RESULT OF ANY DISCREPANCY WITHOUT OBTAINING WRITTEN APPROVAL TO PROCEED FROM THE DESIGN ENGINEER. ANY DEVIATION FROM THE APPROVED PLAN WITHOUT WRITTEN APPROVAL IS AT THE CONTRACTORS OWN RISK AND NORTH STAR DESIGN, LLC SHALL BE INDEMNIFIED BY CONTRACTOR FROM RESULTING COSTS.
13. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE EXISTING SITE FEATURES ON THE ADJACENT PROPERTIES ARE NOT NEGATIVELY IMPACTED DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ANY DAMAGED FEATURES TO A CONDITION EQUAL OR BETTER THAN THAT WHICH WAS PRESENT PRIOR TO START OF CONSTRUCTION.
14. ALL ON-SITE AREAS DISTURBED AS PART OF THE IMPROVEMENTS SHALL BE RESTORED TO A CONDITION EQUAL OR BETTER THAN THAT WHICH WAS PRESENT PRIOR TO START OF CONSTRUCTION. ALL DISTURBED GRASS AREAS SHALL RECEIVE TOPSOIL, RESEEDING AND STRAW MULCH.
15. THE LIMITS OF ASPHALT TO BE REMOVED MUST BE SAWCUT TO PROVIDE A CLEAN, STRAIGHT EDGE.
16. CONTRACTOR IS RESPONSIBLE TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS. NO CONSTRUCTION DEBRIS IS PERMITTED TO BE STORED AND/OR BURIED ON SITE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL MEASURES. CONTRACTOR TO MAINTAIN SAFE PEDESTRIAN AND VEHICULAR ACCESS TO THE BANK AT ALL TIMES. CONTRACTOR TO COORDINATE ANY NECESSARY PHASING WITH WELLS FARGO. THIS MAY INCLUDE WORK DURING OFF HOURS OR ON WEEKENDS.
18. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL RESTORE STRIPING AND PAVEMENT MARKINGS IN THE SAME CONFIGURATION AS UNDER EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO NOTE THE EXISTING STRIPING AND PAVEMENT MARKING CONFIGURATION PRIOR TO THE START OF CONSTRUCTION.
19. ALL TRAFFIC CONTROL SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION AS ISSUED BY THE U.S. FEDERAL HIGHWAY ADMINISTRATION.
20. ALL EXISTING SITE FEATURES REQUIRED TO BE REMOVED TO PERFORM IMPROVEMENTS INCLUDING BUT NOT LIMITED TO SIGNS, WHEELSTOPS, ETC. SHALL BE REINSTALLED UPON COMPLETION OF THE IMPROVEMENTS UNLESS DIRECTED OTHERWISE BY OWNER.
21. THE CONTRACTOR SHALL CONTACT THE UTILITY ONE CALL SYSTEM (DIAL 811) PRIOR TO START OF CONSTRUCTION AND IS RESPONSIBLE TO PROTECT EXISTING UTILITIES DURING CONSTRUCTION.

22. CONTRACTOR TO PROVIDE SOIL EROSION MEASURES AS NECESSARY TO KEEP SEDIMENT FROM THE IMPROVEMENT AREA FROM LEAVING THE SUBJECT SITE.
23. CONTRACTOR SHALL TAR SEAL THE ENTIRE JOINT WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT.
24. PREVAILING WAGES SHALL BE UTILIZED WHERE APPLICABLE.
25. CONTRACTOR IS RESPONSIBLE FOR OBTAINING, UNDERSTANDING, AND FOLLOWING THE LOCAL NOISE ORDINANCES.
26. UNLESS INDICATED OTHERWISE ON PLANS CONTRACTOR TO REMOVE PREVIOUS ADA COMPONENTS (IE SIGNAGE, RAILINGS, ETC). CONTRACTOR TO REPAIR ANY FEATURES AS REQUIRED AS A RESULT OF REMOVING ADA COMPONENTS.

## GRADING AND UTILITY NOTES:

1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE RESPECTIVE UTILITY COMPANIES FOR A MARKOUT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL UTILIZE THE ONE-CALL SYSTEM (DIAL 811) AND/OR ANY OTHER APPLICABLE UNDERGROUND UTILITY NOTIFICATION SYSTEM. ANY EXISTING ON-SITE UTILITY SERVICES SHALL BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE PROPOSED PLAN AND THE EXISTING UTILITY LOCATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ABOVEGROUND AND UNDERGROUND FEATURES AND UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
3. THE CONTRACTOR IS RESPONSIBLE TO REVIEW ALL DRAWINGS AND APPLICABLE CODES PRIOR TO CONSTRUCTION. SHOULD A CONFLICT ARISE BETWEEN THE PLANS AND/OR SPECIFICATIONS AND THE APPLICABLE CODES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
4. ANY UTILITY THAT IS PROPOSED TO BE ABANDONED WILL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.
5. ALL BACKFILL MATERIAL, ASPHALT MATERIAL, SUBBASE MATERIAL AND ASSOCIATED CONSTRUCTION PROCEDURES AND RECOMMENDATIONS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT IF AVAILABLE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FAMILIARIZING THEMSELVES WITH SAID REPORT.
6. WHEN AVAILABLE, THE BOUNDARY AND/OR TOPOGRAPHIC SURVEY AND GEOTECHNICAL REPORT SHALL BE CONSIDERED PART OF THESE DOCUMENTS.
7. ANY REMOVAL OF SOIL AND/OR DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION. IN ORDER TO PREVENT THE PONDING OF WATER, ALL GRADES SHALL HAVE A MINIMUM SLOPE OF THE FOLLOWING UNLESS OTHERWISE NOTED ON THE PLAN: 0.75% ALONG GUTTERLINES AND CURBLINES, 1% ALONG ALL CONCRETE AREAS AND 1.5% ALONG ALL PAVEMENT SURFACES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY GRADE ELEVATIONS WITHIN THE AREAS OF DISTURBANCE TO ENSURE THE IMPROVEMENTS ARE CONSTRUCTED WITH POSITIVE SLOPE WITHIN THE ASPHALT/CONCRETE AREAS AND TO PROVIDE PROPER DRAINAGE. CONTRACTOR TO ADVISE DESIGN ENGINEER IN WRITING IF ADJUSTMENTS TO THE MILLING AND/OR PAVEMENT DEPTHS ARE REQUIRED TO ACHIEVE POSITIVE SLOPES. UNLESS DIRECTED BY ENGINEER, ALL EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED.
10. UNLESS OTHERWISE SHOWN ON THE PLANS, THE TOP OF CURB ELEVATION SHALL MATCH EXISTING. IF POSSIBLE THE TOP OF CURB ELEVATION SHALL BE 6" ABOVE THE SURFACE OF THE ASPHALT.
11. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION AND POSITIVE DRAINAGE BETWEEN EXISTING ASPHALT/CONCRETE AND PROPOSED ASPHALT/CONCRETE.
12. ALL EXISTING LIDS, GRATES, CAPS, ETC. WITHIN THE IMPROVEMENT AREA SHALL BE ADJUSTED TO MATCH THE PROPOSED GRADE AS NECESSARY.
13. FOR GRAVITY SYSTEMS SUCH AS STORM SEWER SYSTEMS AND SANITARY SEWER SYSTEMS, THE CONSTRUCTION SHALL START AT THE LOWEST INVERT AT THE TIE-IN POINT AND CONTINUE UPSTREAM TO THE HIGHEST POINT.
14. WHERE APPLICABLE, CONTRACTOR TO MATCH INVERT OF EXISTING ROOF DRAIN DISCHARGES (THROUGH CURB FACE) WITH THE ADJACENT PROPOSED ASPHALT. CONTRACTOR TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES.



REV	DATE	BY	REVISION/COMMENT

ADA  
REMEDATION PLAN  
WELLS FARGO BANK  
PARCEL #55544112769902, WF PROJECT #141576  
702 NORTH 7TH STREET  
CITY OF ALLENTOWN  
LEHIGH COUNTY, PENNSYLVANIA

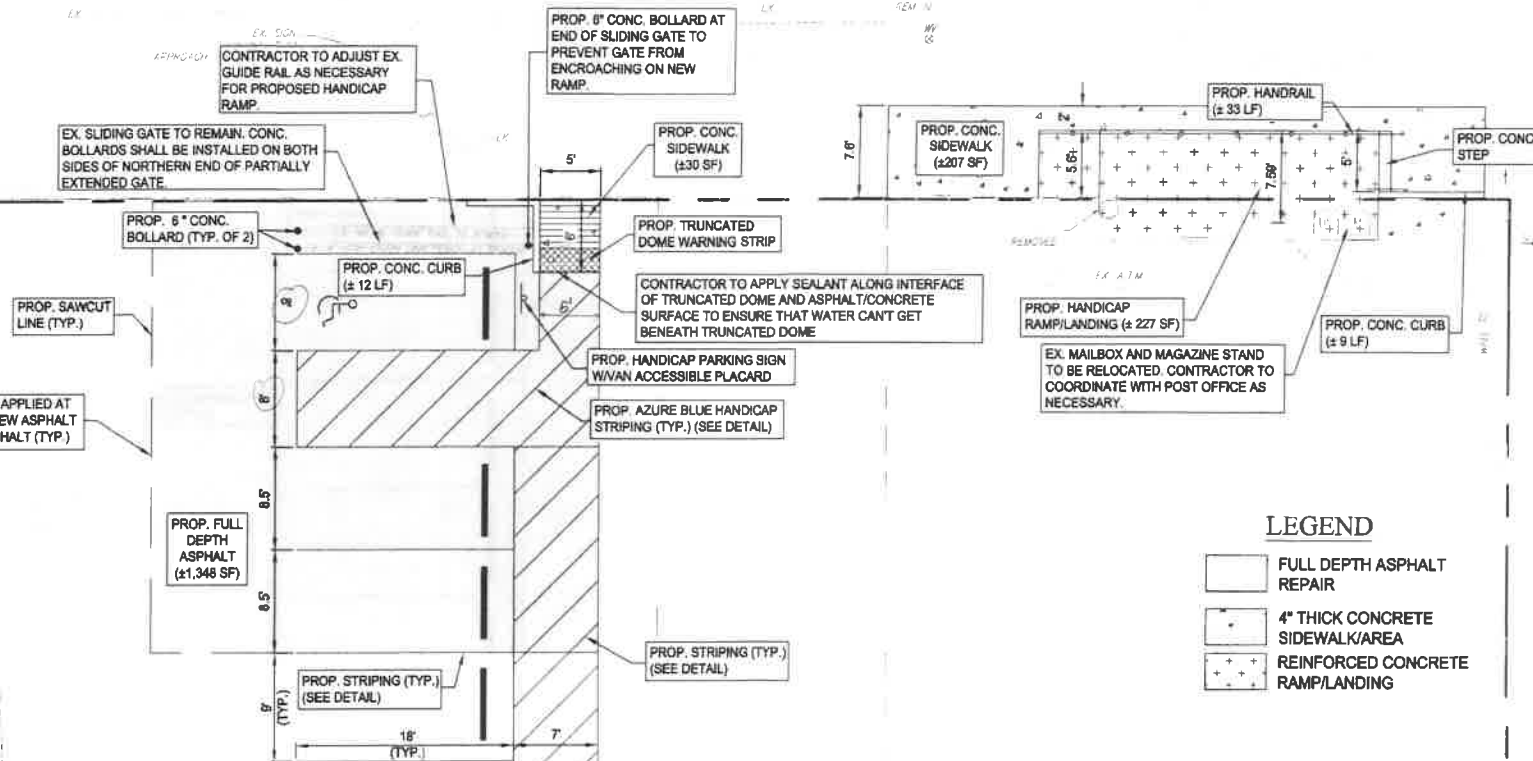
W.C. VIOLA, Jr.  
PROJECT ENGINEER/INCHARGE  
PA LICENSE NUMBER 14

SHEET TITLE	
PROJECT NOTES	
SHEET NO	
2	
OF 6	
DESIGN DATE	12/07/17
DRAWN BY	DO
CHECKED BY	WCV
THEATRIC SCALE	1"=40'
PROJECT #	17-07110
CAD FILE	17-07110SD00
REV 0	12/07/17

# NORTH 7TH STREET

(80' WIDE R.O.W.) (PUBLIC ROADWAY)

ONE WAY  
TRAFFIC →



## LEGEND

- FULL DEPTH ASPHALT REPAIR
- 4" THICK CONCRETE SIDEWALK/AREA
- REINFORCED CONCRETE RAMP/LANDING

## NOTE:

- ALL SITE FEATURES HAVE BEEN DEPICTED BASED ON A BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY BLUE MARSH ASSOCIATES, INC DATED 11/02/17.
- REFER TO ADDITIONAL NOTES LOCATED ON SHEET 2 OF THIS SET, PROJECT NOTES.
- ALL EXISTING FEATURES SHALL BE REMOVED AND DISPOSED OF WHERE PROPOSED IMPROVEMENTS ARE DEPICTED IN THE SAME LOCATION. ALL OTHER EXISTING FEATURES ARE TO REMAIN UNLESS SPECIFICALLY IDENTIFIED OTHERWISE.

## GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL



1-800-342-1776



PHOTO: COURTESY OF PA DOT  
ALLEGHENY COUNTY, PA  
WWW.NORTHSTARDESIGNLLC.COM

REV	DATE	REVISION/COMMENT	BY

ADA  
REMEDATION PLAN  
WELLS FARGO BANK  
PARCEL #5544312769902, WE PROJECT #141576  
762 NORTH 7TH STREET  
CITY OF ALLENTOWN  
LEHIGH COUNTY, PENNSYLVANIA

W. C. VIOLA, Jr.  
PROFESSIONAL ENGINEER  
PA LICENSE #000164

SHEET TITLE  
SITE  
PLAN  
SHEET 'A'

SHEET NO.  
3  
OF 7

DESIGN DATE: 12/07/17  
DRAWN BY: DC  
CHECKED BY: WCV  
DRAWING SCALE: AS SHOWN  
PROJECT # 141576  
CADD FILE: 17-0170880

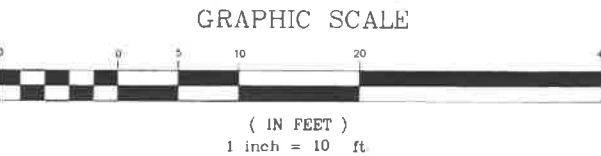
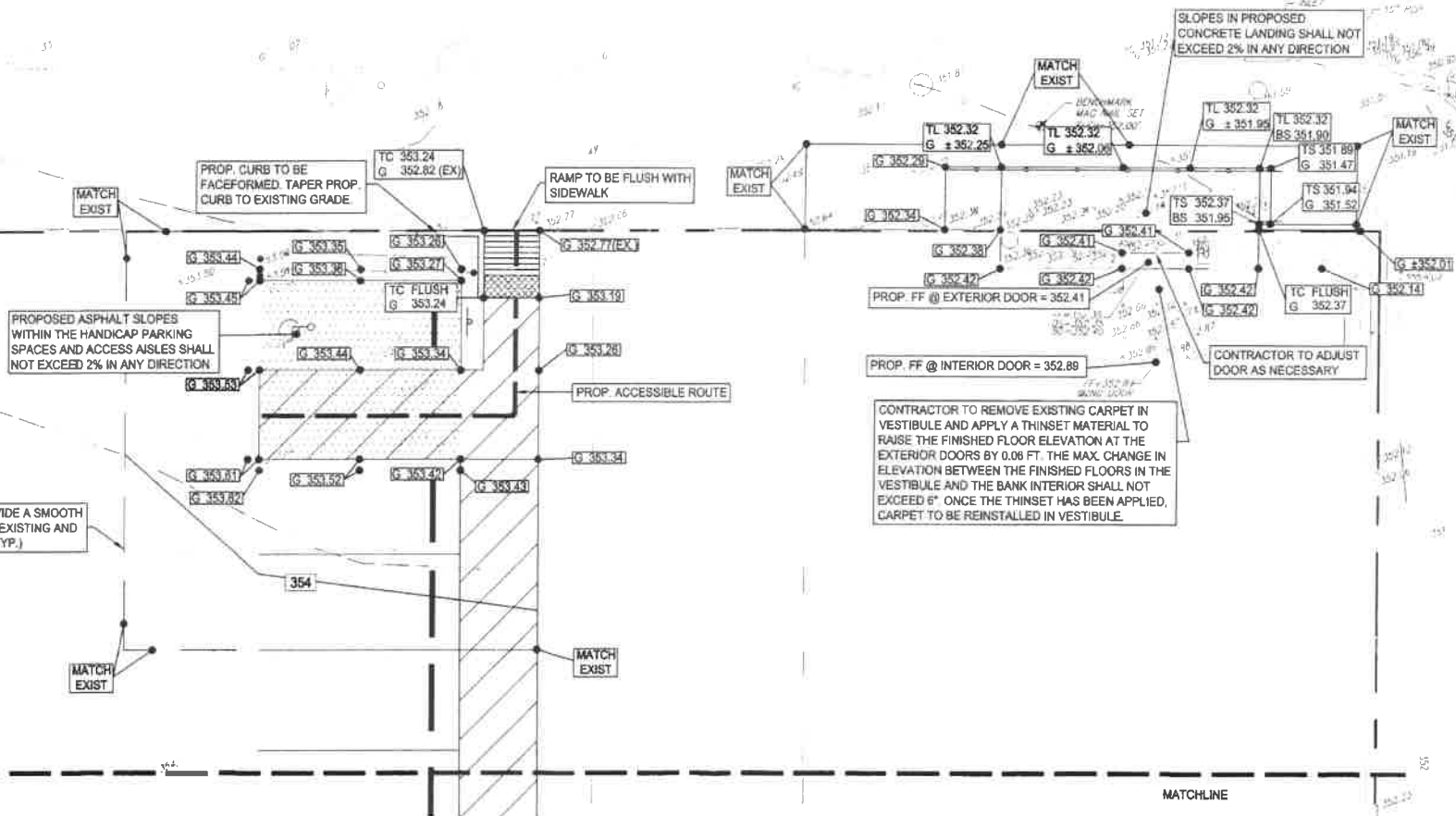
REV U 12/07/17



# NORTH 7TH STREET

(80' WIDE R.O.W.)(PUBLIC ROADWAY)

ONE WAY  
TRAFFIC →



**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL  
PA 1  
1-800-343-1776



REV	DATE	REVISION/COMMENT	BY

**ADA  
REMEDIAL PLAN**  
**WELLS FARGO BANK**  
PARCEL #55544312769902, WF PROJECT #141576  
702 NORTH 7TH STREET  
CITY OF ALLENTOWN  
LEHIGH COUNTY, PENNSYLVANIA

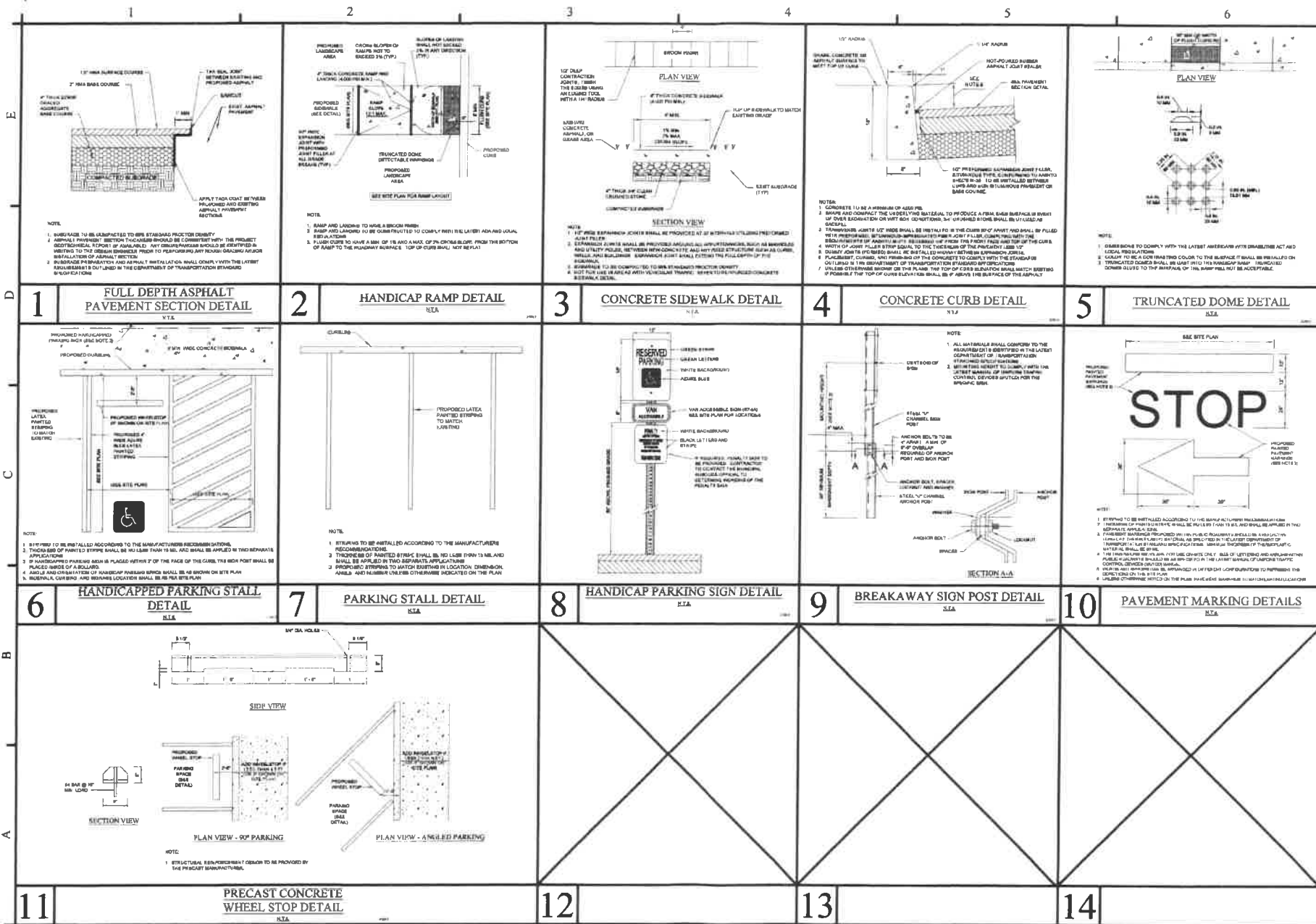
**W. C. VIOLA, Jr.**  
PRINCIPAL ENGINEER  
PA LICENSE #000000000000000000

**GRADING  
PLAN**

SHEET NO  
**5  
OF 7**

DESIGN DATE: 12/07/17  
DRAWN BY: BC  
CHECKED BY: WCV  
DRAWING SCALE: AS SHOWN  
PROJECT: 17-017105800  
CAD FILE: 17-017105800

REV 0 12/07/17



**North Star Design LLC**  
 1000 SOUTH 13TH STREET, SUITE 100  
 ALLENTOWN, PA 18103-1000  
 610-261-1234  
 WWW.NORTHSTARDESIGN.COM

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BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 KEY: \_\_\_\_\_

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**ADA  
 REMEDIATION PLAN  
 WELLS FARGO BANK  
 PARCEL #55544312769902, WE PROJECT #141576  
 701 NORTH 7TH STREET  
 CITY OF ALLENTOWN  
 LEHIGH COUNTY, PENNSYLVANIA**

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**W. C. VIOLA, Jr.**  
 PROFESSIONAL ENGINEER  
 PA LICENSE NO. 10794

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**DETAIL SHEET**

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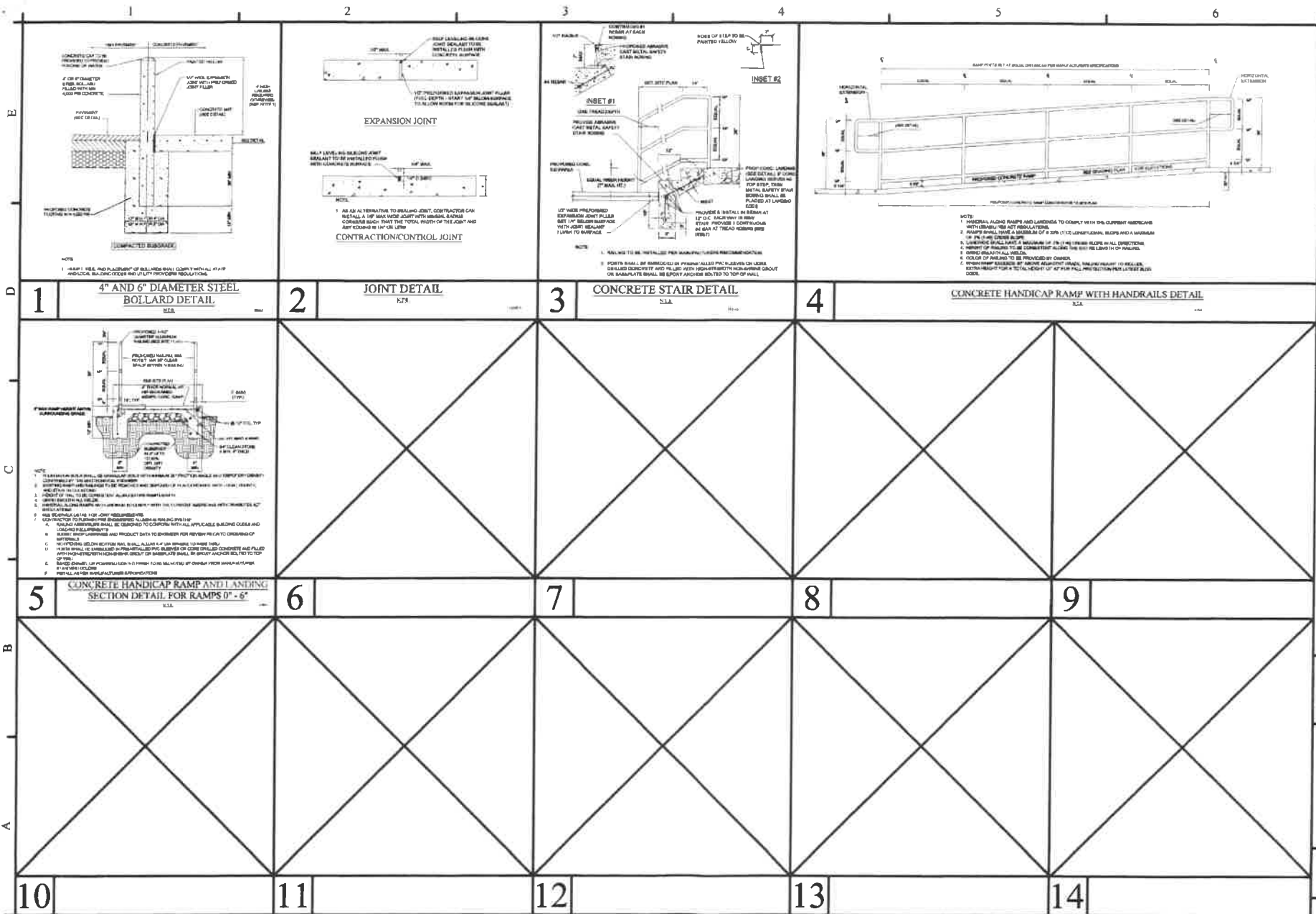
SHEET NO. **6**  
 OF 7

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DESIGN DATE: 12/20/17  
 DRAWN BY: DC  
 CHECKED BY: WCV  
 DRAWING SCALE: AS SHOWN  
 PROJECT: 17-017106009  
 CAD FILE: 17-017106009

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REV 0 12/20/17



REV.	DATE	REVISION/COMMENT	BY

**ADA  
REMEDATION PLAN  
WELLS FARGO BANK**  
PARCEL #55544312769902, WY PROJECT #141576  
700 NORTH 7TH STREET  
CITY OF ALLENSTOWN  
LEHIGH COUNTY, PENNSYLVANIA

**W. C. VIOLA, Jr.**  
Professional Engineer  
PA LICENSE #100004

**DETAIL  
SHEET**

SHEET NO  
**7**  
OF 7

DESIGN DATE: 12/01/17  
DRAWN BY: DC  
CHECKED BY: WCV  
DRAWING SCALE: As Shown  
PROJECT # 1407110  
CAD FILE: 17-01108.DWG

REV# 126717