Sketch	
X Preliminary	FILE NO.:
X Final	

## SUBDIVISION AND LAND DEVELOPMENT APPLICATION CITY OF ALLENTOWN ALLENTOWN CITY PLANNING COMMISSION

	ALLENTO	WN CITY PLANNING CO	MMISSION	
DATE: 9/30/2022				
NAME OF SUBDIVIS	SION:	Nathaл's Famous Hot I	Dogs	
ADDRESS OF SUBI	DIVISION:	328 West Linden Stree	et	
PROPERTY OWNER	₹:	328 W. Linden St., LLC	3	
ADDRESS:		727 N. Meadow Stree	ot	
CITY, STAT	E, ZIP	Allentown, PA 18102		
E-MAIL ADD	DRESS:	nat.hymangroup@rcr	n.com	
PHONE #:	610-433-4114	FAX#:		
APPLICANT (If other	than owner):			
ADDRESS:				
CITY, STATI	E, ZIP			
E-MAIL ADD	RESS:			
PHONE #:		FAX#:		
SURVEYOR/ENGINE	EER/ATTORNEY:	Black Forest Engineering	ng, LLC	
ADDRESS:		2455 Black Forest Driv		
CITY, STATE	E, ZIP	Coplay, PA 18037		
E-MAIL ADD	RESS:	JERengineering@gn	nail.com	
PHONE #:	570-239-4499	FAX #:		
SUBDIVISION CLAS	SIFICATION: Mi	nor Major		
LAND DEVELOPMEN	NT: Mi	nor X Major	<u> </u>	
NUMBER OF LOTS:	1 ACF	REAGE: 0.5290		
SQ. FT OF FLOOR AF	REA: Office:	Retail: 1,668 SF	Warehouse:	Other:
PROPOSED DEVELO	OPMENT:	Drive thru/takout on	ly restaurant. Nathan's i	Famous Hot Doos
ARE MUNICIPAL UT	ILITIES AVAILABLE?		YES_X_	NO
FEE: (Please comple (The fee must accomp	ete page 2 and enter the pany submission)	ne fee here): \$315		
Note:				
<ol> <li>All materials, inclu public records as</li> </ol>	defined in the Pennsy	d other documentation su Ivania Right to Know Law III subdivisions must	v, 65 p.s. § 66.1 et. Seq.	
=	=	iii suouivisions must te plan (8.5" x 11"),	_	-
		documentation of L		
	unty Authority sui			
3. All new submission	ons require 10 sets of	plans and <u>four</u> (4) copies	of all reports.	
SIGNATURE OF OW	NER, APPLICANT OR	AUTHORIZED REPRES	SENTATIVE:	
	Signature		Title	

Effective January 2019

(Turn over for fee schedule.)

### SUBDIVISION & LAND DEVELOPMENT APPLICATION FEE CALCULATION

Application Type	Base Fee	+	# of lots x fee =		Fee
Major Subdivisions					
Sketch Plan <sup>1</sup>	\$100.00		N/A		\$
Preliminary Plan <sup>2</sup>	\$500.00	+	# of lots x \$50.00	=	\$
Final Plan <sup>2</sup>	One-half of the	e prelimi	nary fee		\$
Minor Subdivisions					
Final	\$140.00	+	# of lots x \$40.00	=	\$
Deed Consolidation	\$140.00	+	# of lots x \$40.00	=	\$
Major Land Development					
Sketch Plan <sup>1</sup>	\$250.00		N/A		\$
Preliminary Plan <sup>2</sup>	\$1,000.00	+	\$1,000.00 x # of OR **partial acre		\$
+	Retail - S Warehouse - S	\$25 / 1,0 \$20 / 1,0	000 square foot of f 000 square foot of fl 00 square foot of fl	oor area	\$
up to next 1.000 square foot)	Other - S	\$10 / 1,0	00 square foot of fl Total prelimin		\$
Final Plan <sup>2</sup>	One-half of the	•			\$
** Partial acro	e - round up to r	next num	nber (ex: 2½ acres	becomes	3 acres)
Minor Land Development					
Final Plan	\$315.00		N/A	\$	315
Total Fee				\$	315

### NOTES:

- 1. SKETCH PLAN REQUIRED FOR SUBDIVISIONS INVOLVING 10 OR MORE LOTS AND OPTIONAL FOR LAND DEVELOPMENTS.
- 2. PRELIMINARY/FINAL PLAN APPLICATION MAY BE MADE CONCURRENTLY.
- 3. ALL SUBDIVISIONS AND MAJOR LAND DEVELOPMENTS MUST HAVE A LVPC TRANSMITTAL WITH THE SUBMISSION.

The current fees were effective on January 1, 2019 and are subject to change.

# A LAND DEVELOPMENT LOCATED IN THE CITY OF ALLENTOWN COUNTY OF LEHIGH COMMONWEALTH OF PENNSYLVANIA

INVOLVING THE PARCEL LOCATED AT 328 WEST LINDEN STREET

# Tunsicker Flosoria Aidote sch Station Sewage: Contracuse Possoria Aidote BM Sasaria Contracuse Possoria BM Sasaria Contracuse BM Sasaria Contracuse BM Sasaria BM Sasaria Contracuse BM Sasaria Contracuse BM Sasaria Contracuse Contracuse BM Sasaria Contracuse BM Sasaria Contracuse BM Sasaria Contracuse Contracus Cont

LOCATION MAP

USGS ALLENTOWN EAST QUADRANGLE
SCALE: 1"=1000'

FINAL PLAN SHEET INDEX

SHEET NO.

PLAN TITLE

\* COVER SHEET

ESPC PLAN
ESPC DETAILS

EXISTING FEATURES PLAN
GRADING AND UTILITY PLAN

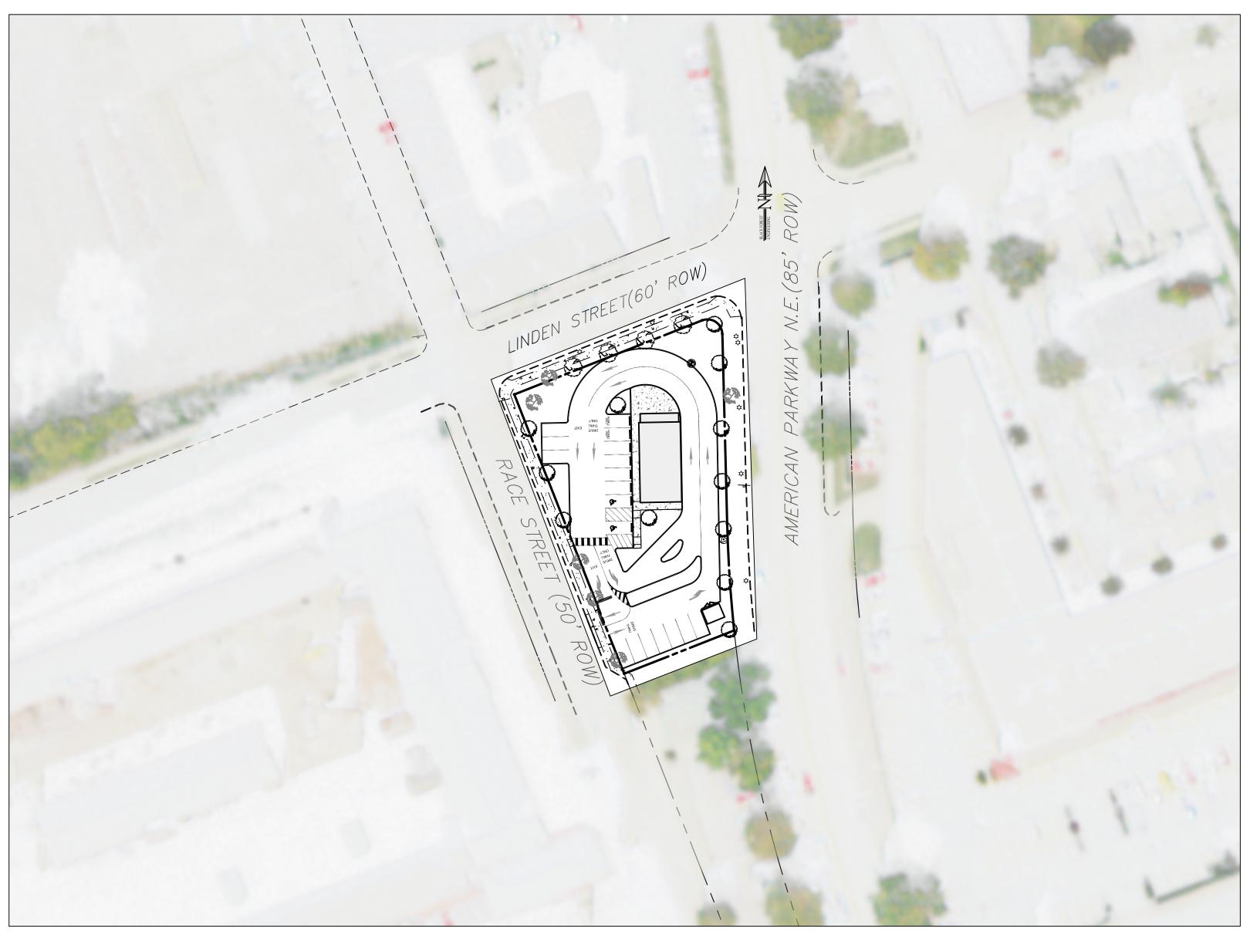
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS

LANDSCAPE AND LIGHTING PLAN

\* DENOTES PLAN TO BE RECORDED

# NATHAN'S FAMOUS HOT DOGS

PRELIMINARY/FINAL PLAN



# 50 0 25 50 100 20



PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE — STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.

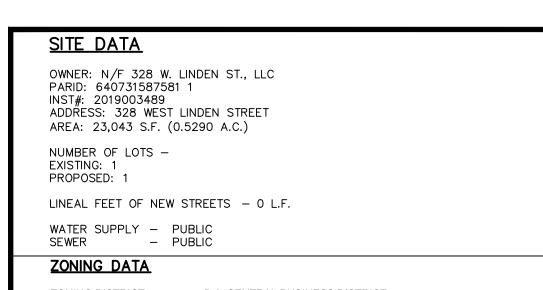
1-800-242-1776

REV:	DES	CRIPTION:		BY	DATE
PROJECT 2		SCALE: 1"=50'	DATE: 9/30/22	REVI	SION:

### PLAN INTENT

THE APPLICANT WISHES TO CONSTRUCT A DRIVE—THRU/TAKE—OUT ONLY RESTAURANT WITHIN AN EXISTING PAVED LOT. THE PROPOSED RESTAURANT WILL BE SERVICED BY PUBLIC WATER AND SEWER UTILITIES.

OWNER / DEVELOPER: 328 W LINDEN STREET LLC 727 N MEADOW STREET ALLENTOWN, PA 18102



ZONING DISTRICT: B-2, CENTRAL BUSINESS DISTRICT USE: RESTAURANT

MINIMUM LOT SIZE; MINIMUM LOT WIDTH: 30 FT 80 FT 80 FT MINIMUM YARDS: FRONT: 0 FT SIDE: 0 FT REAR: 0 FT

MAX. BUILDING COVERAGE: NO MAX 7% (1,668 SF) MAX. IMP. COVERAGE: N/A 88% (20,316SF) 77% (17,730 SF) MAX. BUILDING HEIGHT: NO MAX <35 FT

SURVEY NOTES:

1. FIELD SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE

FIELD SURVEY PERFORMED AUGUST 28, 2022. BEARING SYSTEM BASED ON PA STATE PLANE SOUTH, NAD83. ELEVATIONS BASED ON NGVD88. PLAN REFERENCE:

FINAL MINOR SUBDIVISION PLAN CITY OF ALLENTOWN, PA. DEPARTMENT OF PUBLIC WORKS; RECORDED IN MAP BOOK MS VOL. 9, PG 483.

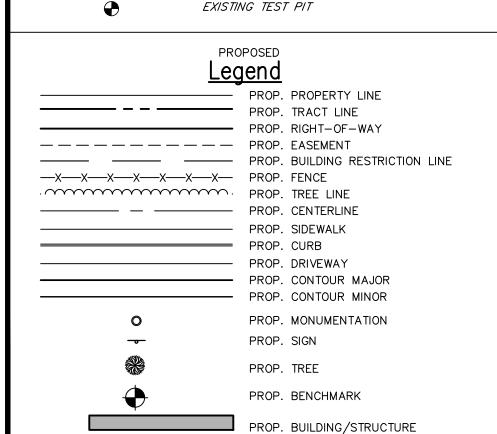
### BENCHMARK FOR THIS PLAN

VERTICAL CONTROL IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BEARING SYSTEM BASED UPON THE PENNSYLVANIA NORTH AMERICAN DATUM OF 1983, SOUTH ZONE, US FOOT (PA-NAD83).

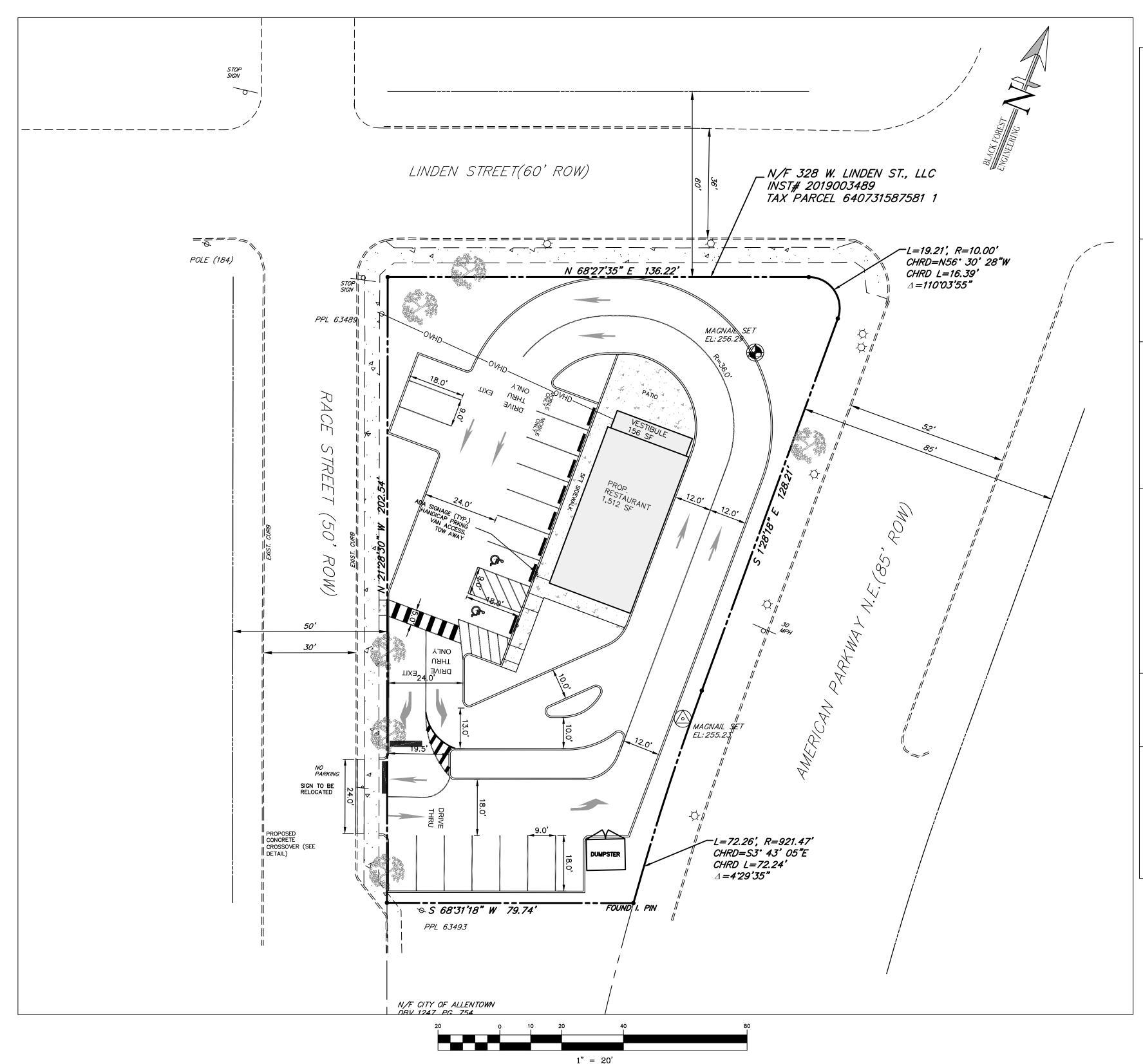
1. EXISTING MAGNAIL ELEV.=256.29

### <u>Legenc</u> PROPERTY LINE --- EXISTING RIGHT-OF-WAY ---- EXISTING EDGE OF PAVE EXISTING VEGETATION ----- EXISTING CENTERLINE EXISTING ROAD PAVEMENT EXISTING SIDEWALK EXISTING STRUCTURE EXISTING ADJOINER EXISTING MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING ELECTRIC POLE EXISTING IRON PIN

EXISTING CONTROL POINT



PROP. DRIVEWAY



### **RECORD NOTES**

- 1. EACH LOT SHOWN IS SUBJECT TO ALL EASEMENTS VISIBLE, OR ON RECORD, OR AS REQUIRED BY A UTILITY TO SERVE SAID LOT AT SUCH TIME AS THE UTILITY IS INSTALLED.
- 2. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE CITY OF ALLENTOWN STANDARDS AND SPECIFICATIONS AND THE APPROPRIATE PUBLIC UTILITY AUTHORITIES (LCA).
- 3. THIS PLAN PROPOSES A DECREASE IN IMPERVIOUS COVER. THEREFORE STORMWATER MANAGEMENT HAS NOT BEEN SUBMITTED TO THE LEHIGH VALLEY PLANNING COMMISSION.
- 4. THE SITE WAS EVALUATED FOR WETLANDS AND WATERCOURSES AND IT WAS DETERMINED THAT WETLANDS AND WATERCOURSES DO NOT EXIST ON THE SITE.
- 5. ACTUAL UTILITY CONNECTION POINTS SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
- 6. ALL LOTS SHALL BE LAID OUT AND GRADED TO PREVENT CROSS LOT DRAINAGE AND TO PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED BUILDING AREAS.
- 7. ALL CITY PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- 8. ALL STORM SEWER COLLECTION PIPING SHALL HAVE WATER-TIGHT JOINTS.
- 9. ALL LATERAL SANITARY SEWER PIPING IS TO BE SCH 40 OR SDR-26 PVC PIPING.
- 10. THE PLUMBER SHALL UTILIZE ONE OF THE EXISTING WYES TO CONNECT THE SANITARY SEWER LATERAL TO THE EXISTING SANITARY SEWER MAIN.
- 11. WORK TO BE PERFORMED ONSITE, SHALL BE DONE IN ACCORDANCE WITH THE IBC.
- 12. ALL PAVEMENT MARKINGS MUST BE THERMOPLASTIC PAVEMENT MARKINGS.
- 13. ALL STORM SEWER COLLECTION SYSTEM PIPING SHALL HAVE WATER-TIGHT JOINTS CONFORMING TO THE LATEST OR SUPERSESSION OF ASTM C361, C443, C877, C1628, C1896, D3212, AND OTHERS AS APPROVED BY THE CITY ENGINEER.
- 14. THE DEVELOPER SHALL COMPLY WITH THE STIPULATIONS OF THE CITY OF ALLENTOWN CODIFIED ORDINANCE NO. 14476 (ACT 167).
- 15. RUNOFF FROM ALL ON-SITE IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE PUBLIC SANITARY SEWER, ACROSS THE SIDEWALK AREA WITH THE PUBLIC RIGHT-OF-WAY, OR ONTO ADJOINING PROPERTIES §455-108B(4) (FORMERLY 1753.08.B.4) OF CITY REHABILITATION & MAINTENANCE CODE.

### SIGNATURE BLOCKS

### CERTIFICATION OF OWNER OF RECORD AND DEDICATION

I (WE), THE UNDERSIGNED, BEING THE OWNER(S) IN PEACEFUL POSSESSION OF THE LAND HÈREIN PLATTED AND BEING THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF THE SAME, DO HEREBY ADOPT THIS PLAN AND PROPERTY SITUATED IN \_\_\_\_\_ \_\_\_\_\_LEHIGH COUNTY, PENNSYLVANIA, (AND DEDICATED TO THE USE OF THE PUBLIC FOREVER ALL LAND FOR PUBLIC PURPOSES SHOWN HEREON).

THE FOREGOING ADOPTION (AND DEDICATION) IS MADE BY ME (US) WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL BY THE ALLENTOWN CITY PLANNING COMMISSION, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF THE LEHIGH COUNTY, PENNSYLVANIA WITHIN NINETY (90) DAYS OF THE DATE OF SAID APPROVAL.

SIGNATURE OF OWNER DATE

### NOTARIZATION SWORN AND SUBSCRIBED BEFORE ME THIS \_\_\_\_ DAY

(LEGIBLE IMPRESSION OF NOTARY SEAL)

NOTARY PUBLIC MY COMMISSION EXPIRES: \_\_\_\_

### PLANNING COMMISSION APPROVAL THE WITHIN PLOT OR PLAN OF LAND LOCATED IN ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA, WAS APPROVED BY THE ALLENTOWN CITY PLANNING COMMISSION.

CHAIRMAN PLANNING DIRECTOR APPROVED: CITY ENGINEER

### PROOF OF RECORDING PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY.

PENNSYLVANIA, UNDER DOCKET ID # \_\_\_\_\_ WITNESS MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY

RECORDER OF DEEDS WITNESS: \_\_\_

### L.V.P.C REVIEW REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

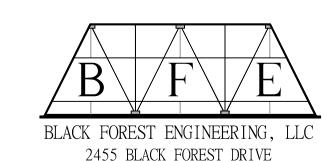
PLANNING

### **SURVEYOR'S CERTIFICATION**

I HERBY CERTIFY THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE, ON THE GROUND, THAT IT IS CORRECT AND AT THE TIME THE SURVEY WAS MADE, THERE WERE NO EASEMENTS OR ENCROACHMENTS ACROSS PROPERTY LINES, OTHER THAN THOSE

> REGISTERED SURVEYOR DATE

"CALL BEFORE YOU DIG" PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776



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COPLAY, PA 18037

SEAL:

JOSEPH E. RENTKO, P.E. #PE085609 2455 BLACK FOREST DRIVE COPLAY, PA 18037

570-239-4499

REV: DESCRIPTION: PROJECT TITLE:

NATHAN'S FAMOUS HOT DOGS PROJECT OWNER:

> 328 WEST LINDEN, LLC 727 N MEADOW ST ALLENTOWN, PA 181024

PROJECT LOCATION: CITY OF ALLENTOWN 1ST WARD LEHIGH COUNTY

PENNSYLVANIA

RECORD PLAN

PLAN TITLE:

CHECKED: SCALE: DRAWN: 1"=20' 9/30/22 DMB ROJECT NO REVISION: DRAWING NO.

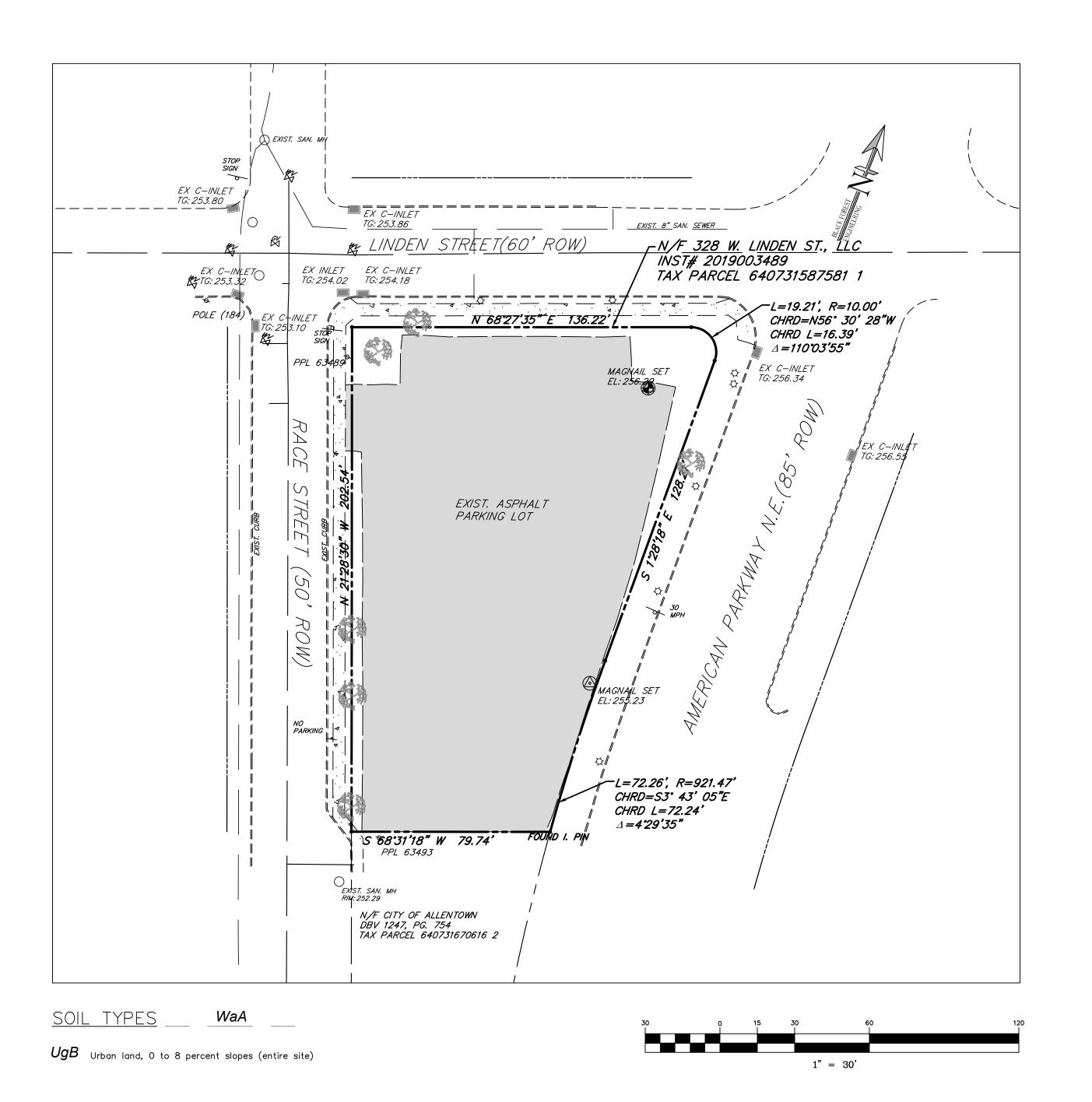
### PARKING REQUIREMENT:

\$1321.01.S (ZONING) - OFF-STREET PARKING IS NOT REQUIRED FOR NON-RESIDENTIAL USES WITHIN THE B-2 ZONING DISTRICT 1 SPACE PER 4 SEATS 1 SPACE PER 100SF FLOOR AREA ACCESSIBLE TO CUSTOMERS 1 SPACE PER THREE EMPLOYEES 0 SEATS X 0.25 = 0 SPACES REQ.

156 SF FLOOR AREA X 0.01 = 2 SPACES REQ.  $6 \text{ EMPLOYEES } \times 0.33 = 2 \text{ SPACES REQ.}$ TOTAL SPACES REQ. = 4 SPACES TOTAL SPACES PROVIDED = 19 SPACES

100-YR FLOODPLAIN NOTE:

FINISHED ELEVATION OF BUILDING SHALL BE BUILT ABOVE 100-YR BASE FLOOD ELEVATION (BFE)

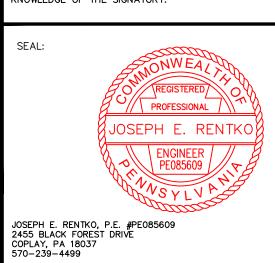


### EXISTING Legend

PROPERTY LINE -----EXISTING RIGHT-OF-WAY ----- BUILDING RESTRICTION LINE —— —— EXISTING EDGE OF PAVE EXISTING VEGETATION ———— — EXISTING CENTERLINE EXISTING ROAD PAVEMENT EXISTING SIDEWALK EXISTING STRUCTURE — — — EXISTING ADJOINER ----- EXISTING GAS LINE ----- EXISTING SANITARY LINE EXISTING STORM SEWER —— EXISTING WATER LINE ---- EXISTING CURB EXISTING FENCE ——————— EXISTING MINOR CONTOUR ---- EXISTING MAJOR CONTOUR EXISTING ELECTRIC POLE EXISTING GAS VALVE EXISTING WATER VALVE EXISTING FIRE HYDRANT EXISTING IRON PIN EXISTING CONTROL POINT EXISTING TEST PIT EXISTING INLET



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REV:	DESCRIPTION:	BY	DATE
PROJEC	T TITLE:		
	•		

NATHAN'S FAMOUS HOT DOGS

PROJECT OWNER:

328 WEST LINDEN, L

328 WEST LINDEN, LLC 727 N MEADOW ST ALLENTOWN, PA 181024

PROJECT LOCATION:

CITY OF ALLENTOWN

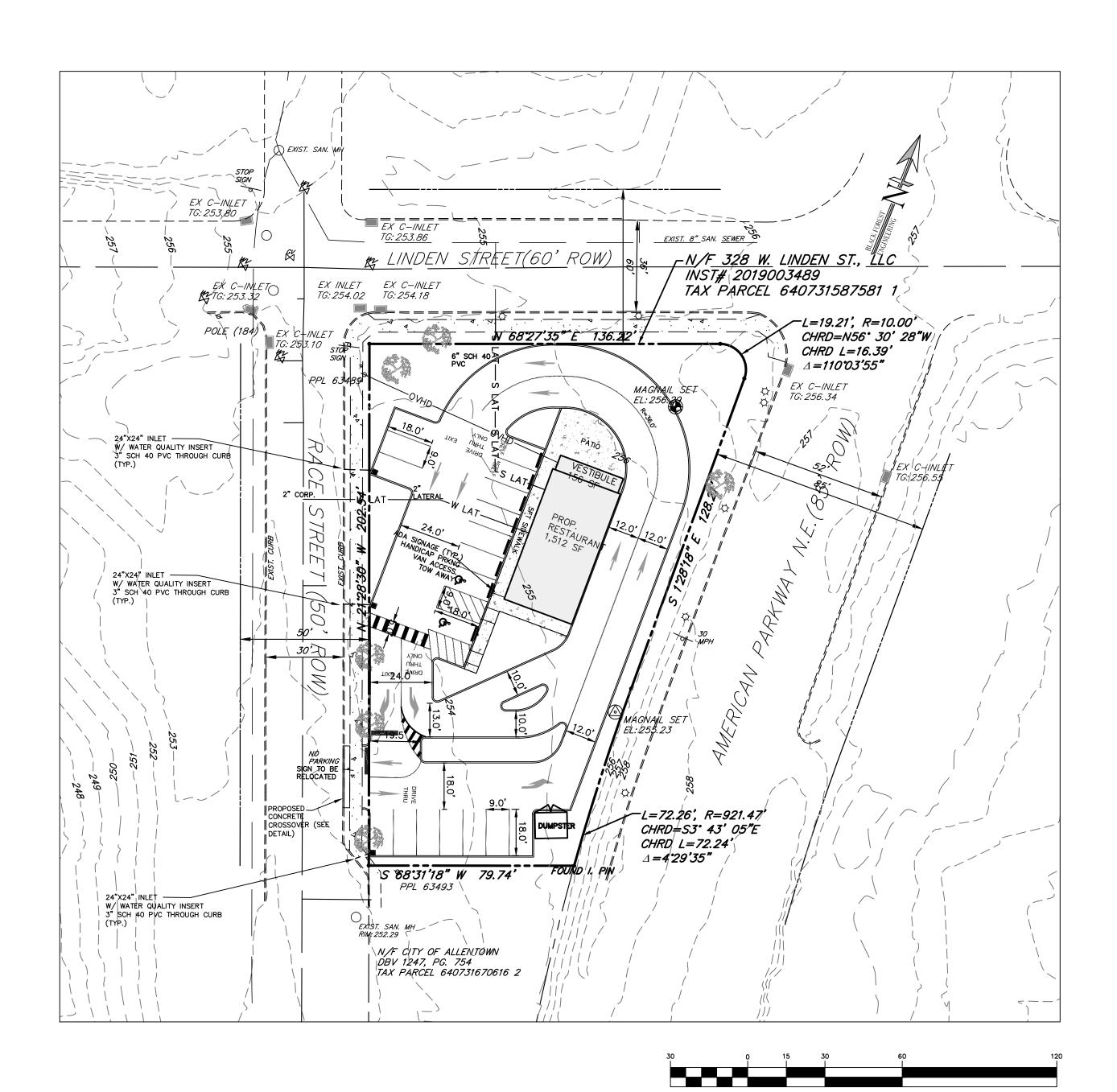
1ST WARD

LEHIGH COUNTY

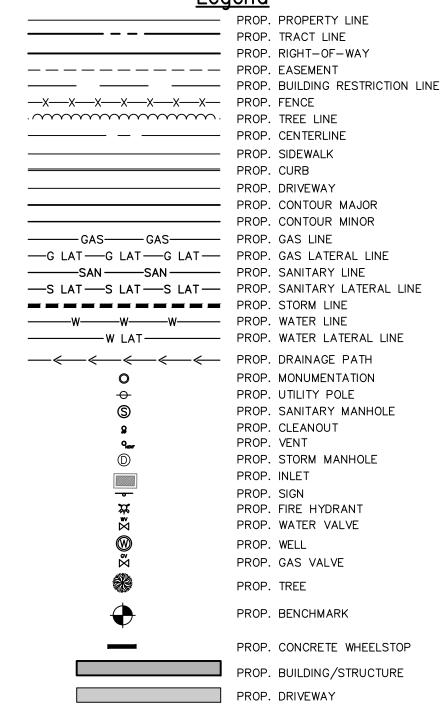
PENNSYLVANIA

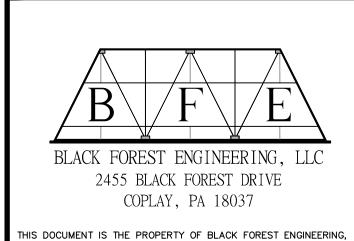
PLAN	TITLE:	
	EXISTING	<b>FEATURES</b>

SCALE:	DATE:	DRAWN:	CHECKED:
1"=30'	9/30/22	DMB	JER
PROJECT NO. 2202	2 DRAWII	NG NO. OF	REVISION:

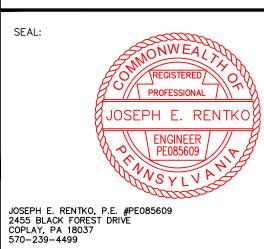


### PROPOSED <u>Legend</u>





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REV:	DESCRIPTION:	BY	DATE		
PROJECT TITLE:					

NATHAN'S FAMOUS HOT DOGS

PROJECT OWNER:

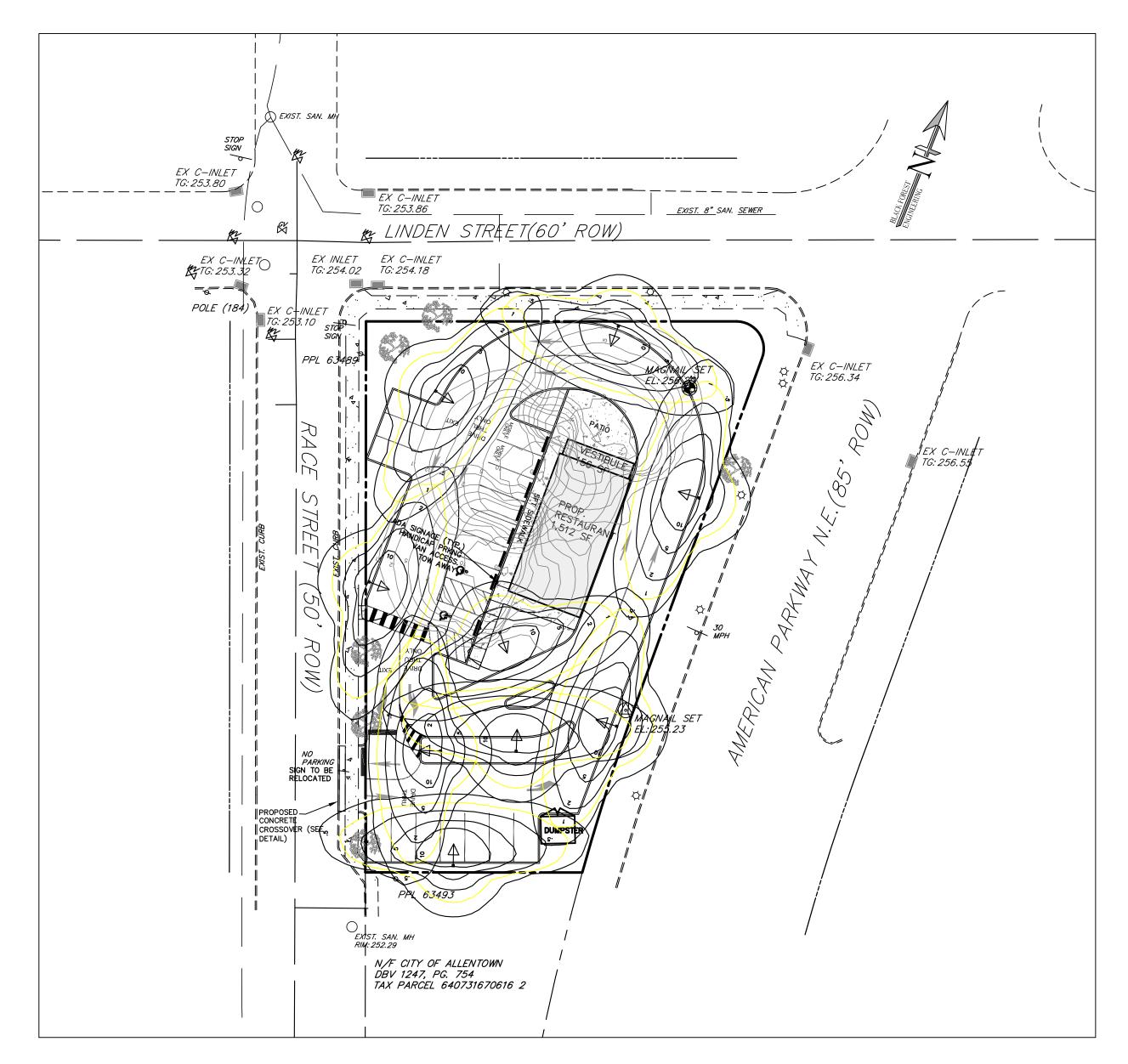
328 WEST LINDEN, LLC 727 N MEADOW ST ALLENTOWN, PA 181024

PROJECT LOCATION:

CITY OF ALLENTOWN 1ST WARD LEHIGH COUNTY PENNSYLVANIA

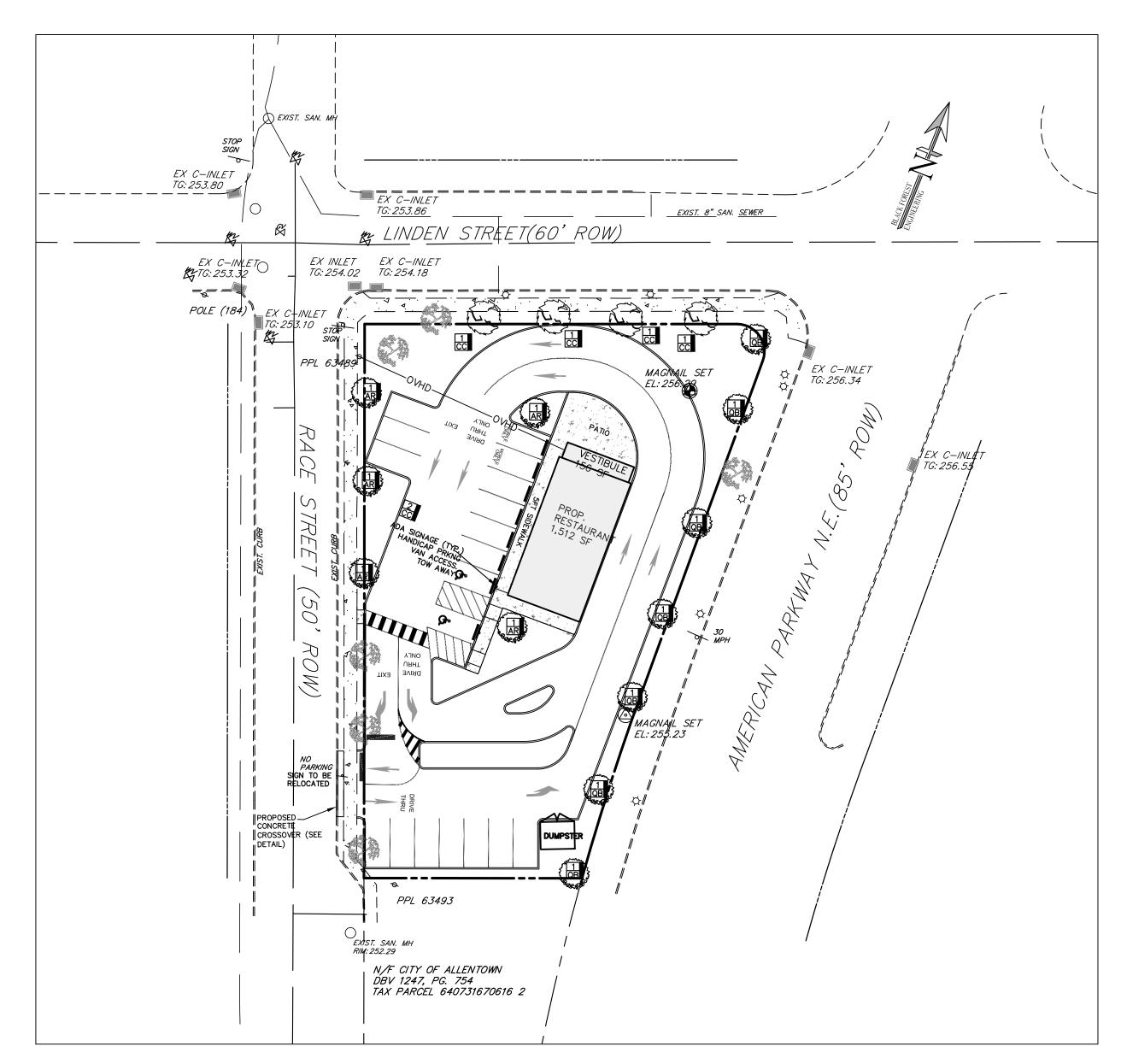
### GRADING & UTILITY

SCALE:	DATE:	DRAWN:	CHECKED:
1"=50'	9/30/22	DMB	JER
project no. 2202	3 o		



LIGHTING SCHEDULE					
KEY	COMPANY	PRODUCT NAME	QTY	HT.	
BEAC	BEACON	TRV-D WALL PACK	3	10	
ARCH	COOPER EATON	PA2 POLE MOUNT	9	12	

SITE LIGHTING PLAN



PLANTING STRIP ALONG STREETS

1 TREE REQUIRED PER EVERY 40 FEET OF RIGHT-OF-WAY
RACE STREET 202/40 =5.05 TREES (3 PROVIDED)
LINDEN STREET - 136/40 =3.4 TREES (4 PROVIDED)
AMERICAN PARKWAY - 200/40 =5 TREES (7 PROVIDED)

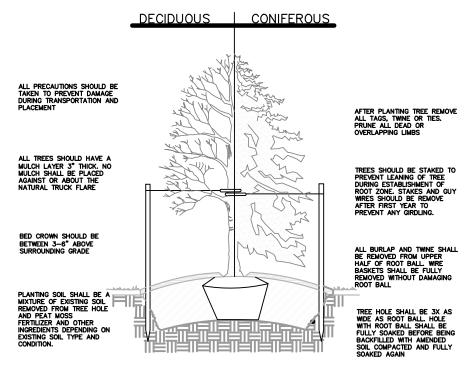
PARKING AREA LANDSCAPING:

LANDSCAPE AREAS EQUAL TO 10 PERCENT OF THE PAVED LOT AREA SHALL BE PROVIDED.

APPROX PARKING AREA=3,800 SF
REQ'D LANDSCAPE AREA=380 SF
PROVIDED LANDSCAPE AREA=>1000 SF

ONE SHADE TREE PER 10 PARKING SPACES SHALL BE PROVIDED:
18 PARKING SPACES = 2 TREES REQUIRED (2 PROVIDED)





ALL PLANTING BEDS TO RECEIVE 3"
LAYER OF HARDWOOD BANK,
RIVERSTORE OF APPROVED MALCH

NO MULCH SMALL BE PLACED
AGAINST OR UPON BASE OR
TRUNK OF SIRUBS

PROVIDE A BLACK CUT
BETWEEN HALCH BED AND
LASH A WIN. OF 16" BEYOND
EDGE OF DRIP LINE

LOOSEN AND SCARRY ALL SOIL,
BERKY UP ALL CONTAINER
CUT AND REMOVE ANY
DAMAGED ROOTS AND CLEARLY
CUT AND REMOVE ANY
DAMAGED ROOTS AT THIS TIME

CROWN OF AMENDED PLANTING
BED SOIL SHALL BE A MIN. OF
6" ABOVE SUARROUNDING GRADE

TREE PLANTING

PLANTING POCKET SHALL BE 2X
AS WIDE AS ROOT BALL SOL.
SHALL BE A MAX OF MATIVE
SOL, FEAT MOSS, AND OTHER
NECESSARY AMENITIES TO BE
DETERMINED FROM SOL. SAMPLE

ALL DEBRIS AND SOD SHALL
BE REMOVED FROM PLANTING
BED BEFORE ANY AMENITIES
ARE ADDED TO PLANTING BEDS

ALL SHRUBS SHALL BE
WATERED THOROUGHLY BEFORE
AND AFTER PLANTING

ALL BURLAP AND TWINE SHALL BE REMOVED FROM TOP HALF OF ROOT BALL

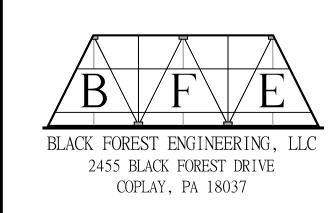
ALL TAGS AND MARKERS SHALL BE REMOVED FROM PLANT

SHRUB PLANTING

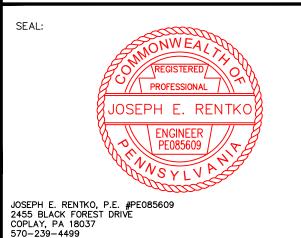
NOTES

1. REFER TO SITE PLAN FOR LANDSCAPED AREAS.

PLAN PREPARER
BLACK FOREST ENGINEERING, LLC
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
(570)-239-4499



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₋AY,	PH E. RENTKO, P.E. #PE085609 BLACK FOREST DRIVE AY, PA 18037 -239-4499					
<b>/</b> :	DESCRIPTION:	BY	DATE			
JEC	T TITLE:					
	<u>_</u>					

NATHAN'S FAMOUS
HOT DOGS

PROJECT OWNER:

328 WEST LINDEN, LLC

727 N MEADOW ST

ALLENTOWN, PA 181024

PROJECT LOCATION:

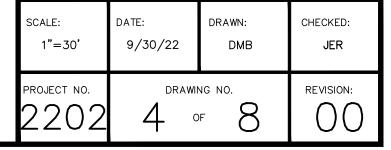
CITY OF ALLENTOWN

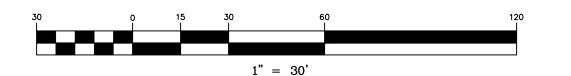
1ST WARD

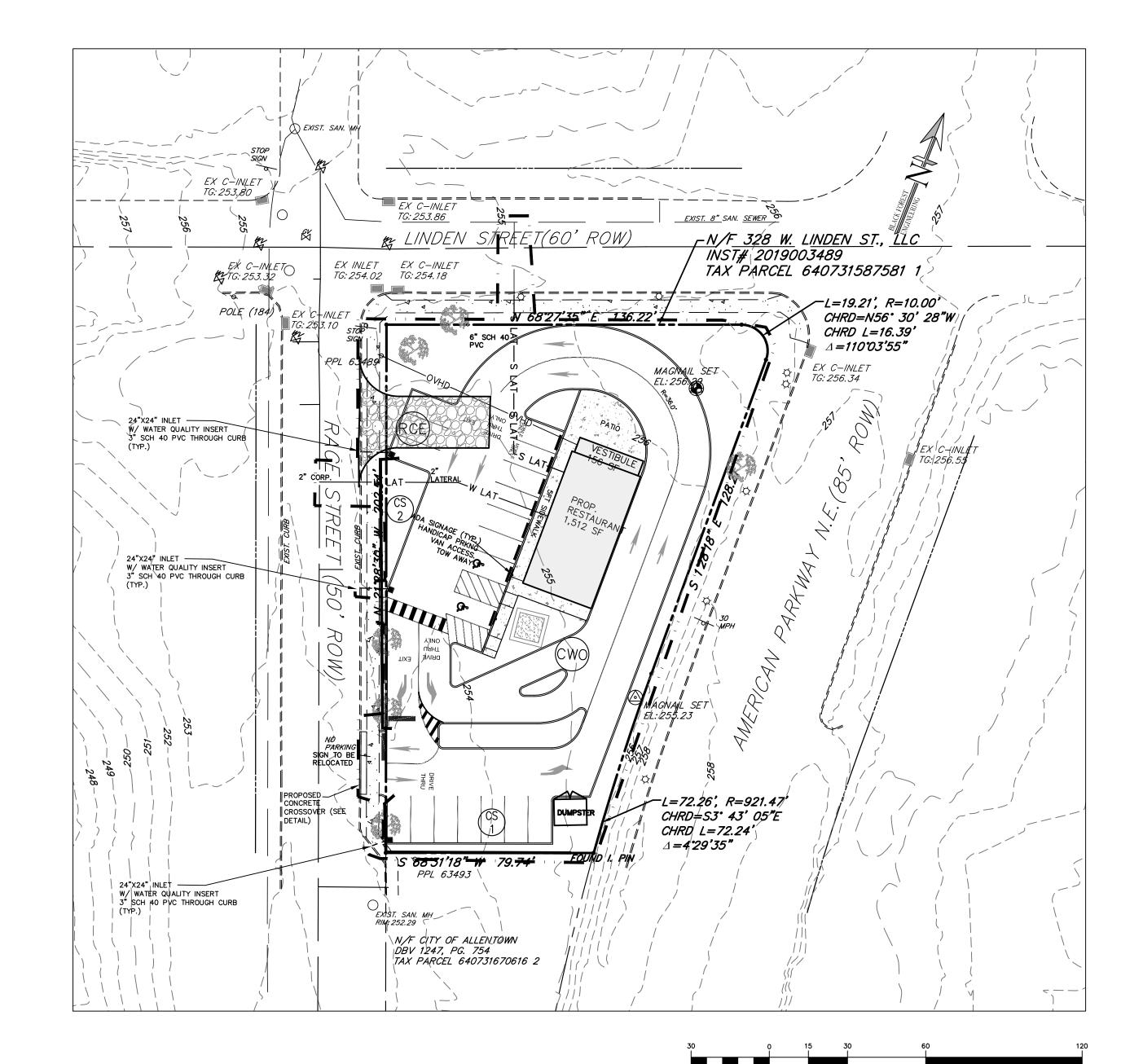
LEHIGH COUNTY

PENNSYLVANIA

LIGHTING & LANDSCAPE PLAN







ASSURANCE OF DESIGN PERFORMANCE

THE SPECIFICATIONS AND REQUIREMENTS OF THE PROJECT PLANS, NARRATIVE AND SPECIFICATION ARE THE MINIMUM ACCEPTABLE CONSTRUCTION CRITERIA FOR THIS PROJECT.

DURING THE CONSTRUCTION PHASE, MEASURES TO CONTROL

ACCELERATED EROSION INCLUDE BUT ARE NOT LIMITED TO THE USE OF

AND DURATION OF THE EARTH DISTURBANCE ACTIVITIES, MINIMIZE SOIL COMPACTION (WHERE PRUDENT), MAXIMIZE THE PRESERVATION OF EXISTING DRAINAGE FEATURES AND VEGETATION, AND TO EMPLOY OTHER MEASURES OR CONTROLS TO PREVENT THE INCREASE OF STORMWATER

RESPONSIBILITY FOR E & S CONTROL FACILITIES

STABILIZATION & MAINTENANCE OF ALL SITE EROSION & SEDIMENTATION

NOTE: CONTRACTOR SHALL COMPLETE "INSPECTION REPORT FORM

3150-FM-BWEW-0083" INSURING MAINTENANCE OF E&S FACILITIES.

CONTROL FACILITIES. AFTER CONTRACTOR INVOLVEMENT CEASES.

RESPONSIBILITY SHALL REVERT TO THE OWNER OF THE PROPERTY.

DURING IMPROVEMENTS CONSTRUCTION, THE SITE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION,

TEMPORARY STOCKPILES, PUMPED WATER FILTERS, AND PERMANENT STABILIZATION OF FINAL GRADES. ALL EFFORTS TO MINIMIZE THE EXTENT

DURING SITE DEVELOPMENT CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENT CONTROL FACILITIES MUST BE CHECKED BY THE SITE CONTRACTOR AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ANY DAMAGE TO THE FACILITIES MUST BE REPAIRED IMMEDIATELY. ANY LOST SOIL MATERIAL SHALL BE RECOVERED, IF POSSIBLE. WASHED OUT LAWN OR SLOPE AREAS MUST HAVE TOPSOIL REPLACED AND THEN MUST BE RE-SEEDED AND

IF, FOR ANY REASON, THE DESIGNED FACILITIES OR MEASURES DO NOT PROVIDE THE NECESSARY PROTECTION, THE CONTRACTOR SHALL ADJUST THE EROSION CONTROL MEASURES AND SEDIMENT CONTROL MEASURES TO ACHIEVE A COMPLETE NON-ERODED STABILIZED SITE

AFTER THE TOWNSHIP'S FINAL ACCEPTANCE OF SITE WORK CONSTRUCTION AND STABILIZATION BY THE CONTRACTOR, THE GROUND SURFACE AND ALL DRAINAGE FACILITIES LOCATED ON PUBLIC PROPERTY WILL BE MAINTAINED BY THE TOWNSHIP.

EROSION AND SEDIMENT

POLLUTION CONTROL LEGEND

ROCK CONSTRUCTION ENTRANCE

TOPSOIL STOCKPILE

COMPOST FILTER SOCK (XX REPRESENTS SOCK NUMBER)

INLET PROTECTION

CONCRETE WASHOUT BASIN

RECYCLING AND DISPOSAL OF MATERIALS

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH, AND TO INFORM HIS WORKERS OF ALL LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS REGARDING THE CONDUCT OF WORK AND HANDLING OF MATERIALS ON THE PROJECT, AND TO PERFORM ALL ACTIVITIES IN ACCORDANCE WITH THOSE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EMERGENCY RESPONSE PLANS FOR ANY HAZARDOUS OR POLLUTING MATERIALS USED IN THE WORK.

ALL RUBBISH OR WASTE MATERIALS PRODUCED BY CONTRACTOR'S WORKERS SHALL BE PROTECTED FROM DISSEMINATION BY WIND, RAIN, OR ANIMALS, AND SHALL BE LEGALLY DISPOSED OF REGULARLY. ANY CONSTRUCTION DEBRIS OR OTHER UNSUITABLE MATERIALS TRAPPED BY SILT BARRIER FACILITIES SHALL BE SEPARATED FROM SOIL MATERIALS AND DISPOSED OF IN A LAWFUL MANNER.

SEDIMENT WHICH HAS BEEN TRAPPED BY SILT BARRIER FACILITIES MUST BE REMOVED AND STOCKPILED OR REDISTRIBUTED ON THE PROJECT SITE. SEDIMENT WHICH COLLECTS TO THE SPECIFIED CLEAN-OUT ELEVATION IN THE BOTTOM OF STORMWATER MANAGEMENT PONDS, OR THE SPECIFIED ELEVATIONS IN SEDIMENT TRAPS, MUST BE REMOVED AND STOCKPILED OR REDISTRIBUTED AND STABILIZED ON THE PROJECT SITE.

IF THE CONTRACTOR EXPECTS TO RECYCLE OR DISPOSE OF ANY SOIL OR ROCK MATERIAL TO LOCATIONS OTHER THAN THE PROJECT AREA FOR WHICH THIS PLAN AND NARRATIVE HAVE BEEN PREPARED, THE CONTRACTOR SHALL ARRANGE FOR PREPARATION AND SUBMITTAL TO THE APPROPRIATE COUNTY CONSERVATION DISTRICT OF EROSION AND SEDIMENT CONTROL PLANS FOR ALL SUCH OFF-PROJECT AREAS PRIOR TO COMMENCEMENT OF WORK.

DISPOSAL OF MATERIALS FROM CONTROL FACILITIES

SEDIMENT WHICH HAS BEEN TRAPPED BY EROSION CONTROL FACILITIES MUST BE REMOVED AND STOCKPILED OR REDISTRIBUTED ON THE PROJECT SITE. ALL CONSTRUCTION DEBRIS OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A LAWFUL MANNER.

ALL SILT BARRIER FACILITIES MUST BE CHECKED FOR CAPACITY AND PROPER FUNCTION WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL ALL UPSTREAM AREAS HAVE A UNIFORM PERENNIAL VEGETATIVE COVER OF OVER SEVENTY (70) PERCENT.

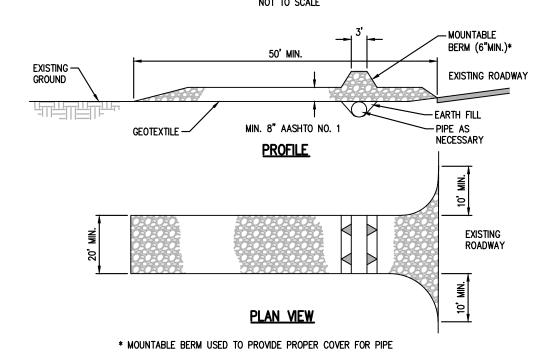
RECYCLING AND/OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE MUST BE IN ACCORDANCE WITH PENNSYLVANIA

DEPARTMENT OF ENVIRONMENTAL PROTECTION.

Standard Construction Detail # 3-1 ROCK CONSTRUCTION ENTRANCE

NECESSARY REPAIRS MUST BE MADE IMMEDIATELY.

ALL BMP'S SHALL BE INSPECTED AFTER EVERY RUNOFF EVENT AND ON A WEEKLY BASIS. ANY



### General Notes:

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF

2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE. 3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

PLAN PREPARER BLACK FOREST ENGINEERING, LLC 2455 BLACK FOREST DRIVE COPLAY, PA 18037 (570)-239-4499

LIMIT OF DISTURBANCE: 26,232 SF (0.60 AC)

COMPOST SOCK SUMMARY CHART					
SOCK NUMBER	SIZE (IN)				
1	12				
2	12				
SPOIL PILE	12				

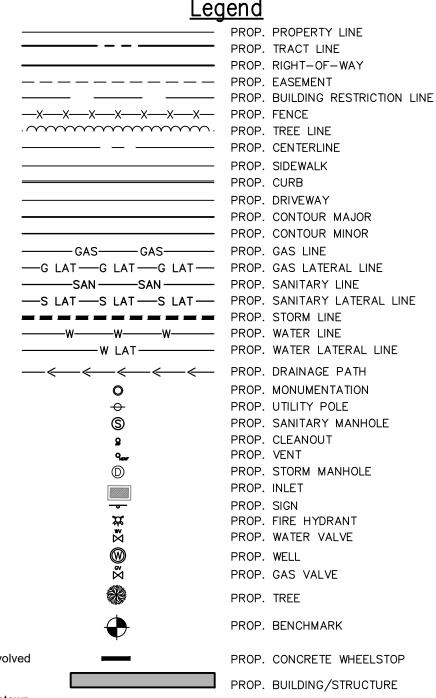
### **CONSTRUCTION NOTES:**

1. All grading shall be done in accordance with the City of Allentown.

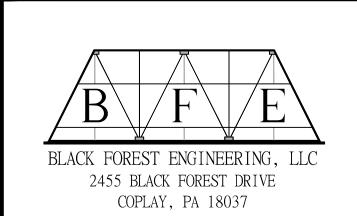
- 2. No earthmoving or grading activities may take place until a grading permit is granted by the City of Allentown.
- 3. The City Engineer and/or staff may enter the property to inspect all grading and construction activities on the site.
- 4. At least 7 days prior to any earth disturbance activities, the operator shall notify the City and invite all contractors involved in those activities, and the landowner to an on-site meeting.
- 5. At least 7 days prior to any earth disturbance activities, the operator shall provide notice in writing to the City of Allentown that earth disturbance activities will be commencing.
- 6. Temporary and permanent seeding shall be in accordance with requirements on the details. Compost Filter Socks shall be installed downslope of all topsoil stockpiles as indicated in the Topsoil Stockpile detail.
- a. Topsoil pile locations may be adjusted to fit the contractor schedule as long as the silt sock is placed downslope of the pile
- b. Prior to any seeding and lime and fertilize application, a soil test shall be performed to determine the pH factor. Additional lime and fertilizer may be required.
- 6. All disturbed areas shall be immediately stabilized if earth disturbance/construction has ceased. Disturbed slopes of 3:1 or greater shall be stabilized with erosion control matting.
- 7. Soil compaction and vehicle traffic shall be kept to a minimum at areas designated for sanitary absorption or stormwater infiltration BMPs.
- 8. Topsoil should be stripped and stockpiled prior to all earthwork. Only strip the amount of topsoil necessary to perform earthwork. All disturbed areas shall be stabilized immediately if disturbance has ceased.
- 9. On a daily basis, the Contractor shall inspect and clean any sediment that is tracked onto existing roads.
- 10. All erosion control facilities shall be inspected after every runoff event and on a weekly basis, any necessary repairs must be made immediately.
- 11. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and
- 12. NAGS75 matting to be applied to all proposed 3:1 slopes.

### SEQUENCE OF CONSTRUCTION

- 1. At least 7 days before starting any earth disturbance activities, the operator provide written notification to the City of Allentown and shall invite all contractors involved in those activities, appropriate municipal officials, the ESPC plan preparer, a representative from the City of Allentown, and the landowner to an on-site meeting.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System, Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
- 3. Flag and mark the Limits of Disturbance. No grading or earthmoving may take place beyond the Limits of Disturbance. High visibility construction fence shall be installed along property lines to ensure grading does not extend beyond property lines.
- 4. Install Rock Construction Entrance (RCE) off of Race Street where indicated on the Plan. This shall be the only ingress and egress from the site. Any sediment tracked onto the public roadway shall be collected and returned to the site by the end of each workday. Any sediment tracked onto the public roadway during RCE construction shall be cleaned immediately.
- 5. Install perimeter compost filter socks at locations indicated on plan and per details.
- 6. Remove existing asphalt at building pad and other areas of proposed lawn restoration from the site. Immediately stabilize any disturbed areas outside of construction area. Any remaining topsoil shall be stockpiled in stockpile locations indicated on the Plan.
- 7. Begin primary site work consisting of proposed curb/island installation and building pad. The existing asphalt is at grade and therefore only the curbed islands and building will be stepped up 6 inches. 24" x24" yard drains have been added along the interior curb to collect runoff, treat through a water quality insert, and discharge through the existing Race Street Curb.
- Begin building construction and utility connections installation. Utilize existing lateral connections to the Sanitary and Water Mains. Install inlet protection on inlets upon completion.
- 9. Upon completion of proposed improvements, any temporary staging area shall be restored to existing condition. Proposed landscaping and striping shall be installed upon completion of buildings.
- 10. After the site is stabilized, remove E&S BMPs. Immediately stabilize any areas disturbed by the removal of the erosion and sediment pollution controls. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.

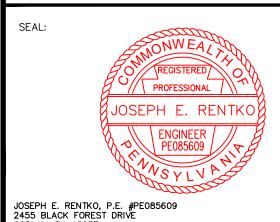


PROPOSED



PROP. DRIVEWAY

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2433 BLACK FOREST DRIVE COPLAY, PA 18037 570–239–4499				
REV:	DESCRIPTION:		BY	DATE
PROJECT TITLE:				

NATHAN'S FAMOUS HOT DOGS

PROJECT OWNER: 328 WEST LINDEN, LLC 727 N MEADOW ST

ALLENTOWN, PA 181024

PROJECT LOCATION:

CITY OF ALLENTOWN 1ST WARD LEHIGH COUNTY PENNSYLVANIA

**EROSION CONTROL** DRAWN:

CHECKED: SCALE: 1"=50' 9/30/22 DMB JER REVISION: ROJECT NO DRAWING NO

MULCHING-Mulch absorbs rainfall impact, increases the rate of infiltration, reduces soil moisture loss due to evaporation, moderates soil temperatures, provides a suitable environment for germination, and protects the seeding from intense sunlight. All seeded areas should be mulched or blanketed to minimize the potential for failure to establish an adequate vegetative cover. Mulching may also be used as a temporary stabilization of disturbed areas in non-germinating séasons.

Apply mulches at the rates shown in table 11.6

Straw and hay mulch should be anchored immediately after application to prevent being windblown. A tractor-drawn implement may be used to crimp the straw or hay into the soil(about 3 inches). This method should be limited to slopes no steeper than 3H:1V. The machinery should be operated on the contour. (Note: Crimping of hav or straw by running over it with tracked machinery is not recommended.

### Table 11.6. Mulch Application Rates

1 1 1 1 1	Application Rate (Min.)			
Mulch Type	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq.yd.	Notes
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw, free of weeds, not chopped or finely broken
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses
Wood Chips	4-6 tons	185-275 lb.	1,650-2,500 lb.	May prevent germination of grasses and legumes
Hydromulch	1 ton	47 lb.	415	See limitations above

### STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, TH LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE

PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE

GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.

CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE.

TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.

ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THIS SITE.

ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO

ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.

VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES). VEHICLES AND EQUIPMENT MAY ONLY ENTER AND EXIT THE CONSTRUCTION SITE VIA A STABILIZED ROCK CONSTRUCTION ENTRANCE. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO LEHICH COUNTY CONSERVATION DISTRICT COMPLETE WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIA

MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED

IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.

SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY

AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND

ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.

FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.

FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR

ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR OTHER PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN.

AREAS NOT AT FINISHED GRADE. WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY

STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE

PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR MOTHER MOVEMENTS. EROSION AND SEDIMENT BMPS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY

AREAS OF THOSE BMPS. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR

OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE

UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO

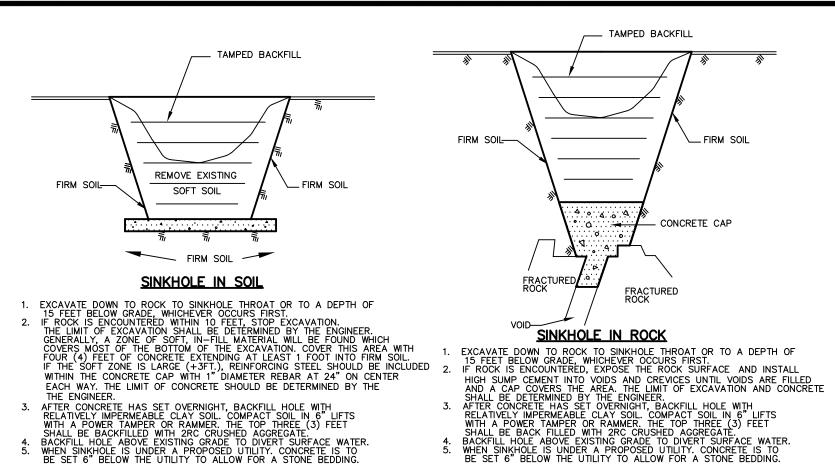
\$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES IN THE EVENT OF SINKHOLE DISCOVERY A PROFESSIONAL GEOLOGIST OR ENGINEER WILL BE CONTACTED CONCERNING MITIGATION. ADDITIONALLY, THE LEHIGH COUNTY CONSERVATION DISTRICT WILL BE MADE AWARE OF THE SINKHOLE DISCOVERY IMMEDIATELY.

THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III,

THE E&S CONTROL PLAN MAPPING MUST DISPLAY A PA ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. ( THIS IS A NUMBERED SYMBOL NOT A NOTE. ) AT STREAM CROSSINGS, 50' BUFFER AREAS SHOULD BE MAINTAINED. ON BUFFERS, CLEARING, SOD DISTURBANCES, EXCAVATION, AND EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITIES SUCH AS STACKING LOGS, BURNING CLEARED BRUSH, DISCHARGING RAINWATER FROM TRENCHES, WELDING

PIPE SECTIONS, REFUELING AND MAINTAINING EQUIPMENT SHOULD BE ACCOMPLISHED OUTSIDE OF BUFFERS. ALL WETLANDS MUST BE DELINEATED AND PROTECTED WITH ORANGE SAFETY FENCE PRIOR TO ANY EARTHMOVING ACTIVITY. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN

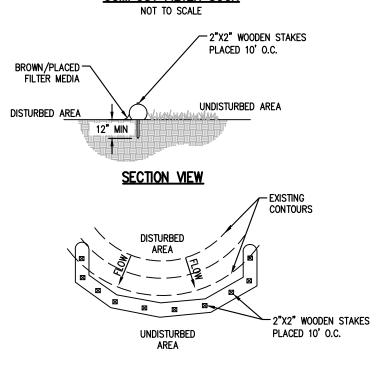


AFTER CONCRETE HAS SET OVERNIGHT, BACKFILL HOLE WITH RELATIVELY IMPERMEABLE CLAY SOIL. COMPACT SOIL IN 6" LIFTS WITH A POWER TAMPER OR RAMMER. THE TOP THREE (3) FEET SHALL BE BACKFILLED WITH 2RC CRUSHED AGGREGATE. BACKFILL HOLE ABOVE EXISTING GRADE TO DIVERT SURFACE WATER. WHEN SINKHOLE IS UNDER A PROPOSED UTILITY. CONCRETE IS TO BE SET 6" BELOW THE UTILITY TO ALLOW FOR A STONE BEDDING.

EACH WAY. THE LIMIT OF CONCRETE SHOULD BE DETERMINED BY THE

THE ENGINEER.

### Standard Construction Detail # 4-1 COMPOST FILTER SOCK



### PLAN VIEW

### <u>General Notes:</u>

1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (SEE FIGURE 4.1 OF THE PA DEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, MAR. 2012) MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN OF FIGURE 4.2 OF THE PA DEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (MAR. 2012). STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.

- . ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE
- SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
  4. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF
- 5. BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S

### 6. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

TABLE 4.1	

	CC		IC MINIMUM SPECIFICA	TIONS	
MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)
MATERIAL CHARACTERISTICS	PHOTO — DEGRADABLE	PHOTO — DEGRADABLE	BIO – DEGRADABLE	PHOTO — DEGRADABLE	PHOTO — DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH	•	26 psi	26 psi	44 psi	202 psi
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
		TWO-PLY	SYSTEMS		L
				HDPE BIAXIAL NET	
ININED OO	AITAINMENT METTINA		CONTINUOUSLY WOUND		
INNER CONTAINMENT NETTING			FUSION—WELD JUNCTURES		
			3/4" X 3/4" MAX. APERTURE SIZE		
OUTER FILTRATION MESH			COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER & NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)		
				3/16" MAX. APERTURE SIZ	<u>'E</u>
SOCK FABRICS COMPOSED OF	BURLAP MAY BE U	SED ON PROJECTS I	ASTING 6 MONTHS O	R LESS.	

### SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION AND SEDIMENT POLLUTION CONTROL PROG

GRAM MANUAL (MAR. 2012). COMPOST	SHALL MEET THE FOLLOWING STANDAR		
	E 4.2 Standards		
ORGANIC MATTER CONTENT 25% - 100% (DRY WEIGHT B/			
ORGANIC PORTION	FIBROUS AND ELONGATED		
рН	5.5 - 8.5		
MOISTURE CONTENT	30% - 60%		
PARTICLE SIZE	30%-50% PASS THROUGH 3/8" SIEVE		
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM		

### STANDARD CONSTRUCTION DETAIL # 4-16

FILTER BAG INLET PROTECTION - TYPE M INLET

- EXPANSION RESTRAINT (1/4" NYLON ROPF) -2" X 2" X 3/4" RUBBER BLOCK (TYP)  $abla : : : \nabla : : : \nabla : : : \nabla : : : \nabla : : : \nabla : : \nabla : : \nabla : : : \nabla : : \nabla : : : \nabla : : \nabla : : \nabla : : : \nabla :$ INSTALLATION DETAIL

ISOMETRIC VIEW FARTHEN BERM TO BE STABILIZED. WITH TEMPORARY OR PERMANENT VEGETATION STORM INLET PLAN VIEW

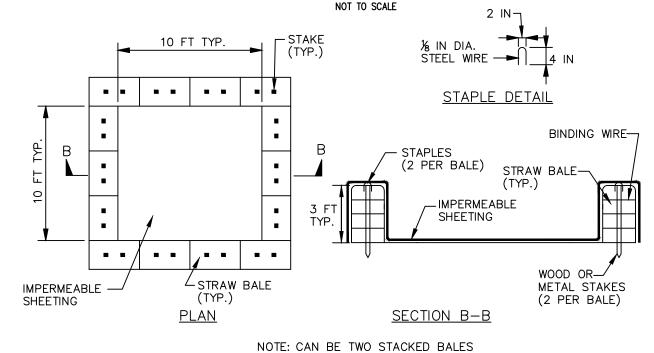
### ADAPTED FROM PENNDOT RC-70, 2008 EDITION

**ELEVATION VIEW** 

### **GENERAL NOTES:**

- 1. MAXIMUM DRAINAGE AREA = 1/2 ACRE. 2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS
- SHALL BE REQUIRED FOR ALL INSTALLATIONS. 3. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE
- MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY
- 4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE. 5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE
- INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES. 6. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

### Site Specific Detail **CONCRETE WASHOUT STRUCTURE**



### OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH

### CONSTRUCTION SPECIFICATIONS 1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN

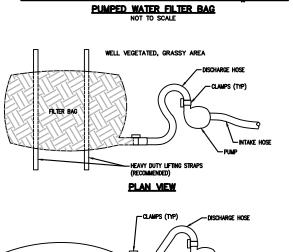
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3

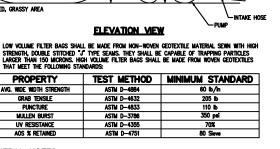
INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION

- 3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- 4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- 5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY, DO NOT REUSE PLASTIC LINER, WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

ALL BMP'S SHALL BE INSPECTED AFTER EVERY RUNOFF EVENT AND ON A WEEKLY BASIS. ANY NECESSARY REPAIRS MUST BE MADE IMMEDIATELY.

### STANDARD CONSTRUCTION DETAIL # 3-16





SOURCE THE PROPERTY OF THE PRO

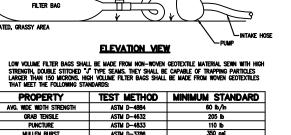
STAPLE PATTERN GUIDE

' (0.9m)

6' (1.8m)

∕ Seam Stitch™

3.3' (1.0m)



### STRETCHED; IT MUST MAINTAIN GOOD SOIL CONTACT.

THE BLANKET SHOULD NOT BE

BLANKET EDGES

OVERLAPPED 4"(MIN.) AND STAPLED.

1. SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING

Standard Construction Detail # 11-1

EROSION CONTROL BLANKET INSTALLATION

STARTING AT TOP OF SLOPE,

DIRECTION OF WATER FLOW

ROLL BLANKETS IN

INSTALL BEGINNING OF ROLL

IN 6" x 6" ANCHOR TRENCH,

PREPARE SEED BED (INCLUDING APPLICATION OF

REFER TO MANUFACTURER'S RECOMMENDED STAPLING PATTERN

BEING BLANKETED

OVERLAP BLANKET ENDS 6" (MIN.) WITH THE UPSLOPE BLANKET

OVERLAYING THE DOWNSLOPE BLANKET (SHINGLE STYLE). STAPLE

LIME, FERTILIZER, & SEED) PRIOR TO INSTALLATION OF

FOR STEEPNESS AND LENGTH OF SLOPE

STAPLE, BACKFILL AND

COMPACT SOIL.

- 2. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE. 3. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS. 4. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET
- LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

  THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. 6. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

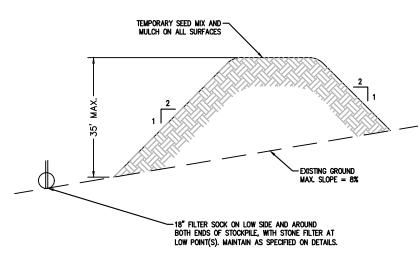




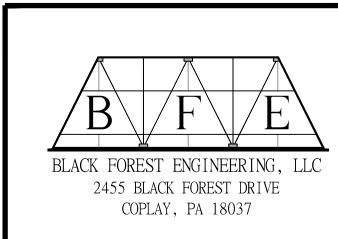
0.7 STAPLES PER SQ. YD. (0.8 STAPLES PER SQ. M) For blankets with the optional North American Green DOT System™ place staples/stakes through each of the BLUE colored dots. —— \*2"-5" (5cm-12.5cm) —  $\rightarrow$  |-- \*2"-5" (5cm-12.5cm) \*2"-5" (5cm-12.5cm) --- |--(0.6m)<del>|</del> 1.6'(0.5m) For blankets with the optional North American Green DOT System place staples/stakes For blankets with the optional North American Green DOT System™ place staples/stakes through each of the RED colored dots. through each of the GREEN colored dots. \*2"-5" (5cm-12.5cm) - |-2' (0.6m)  $\rightarrow$  | \*2"-5" (5cm-12.5cm) <del>-</del>|-4' (1.2m) 0 0 0 \_ 3.3' (1.0m) 0 0 0 0 0 0

For blankets with the optional North American Green DOT System™ place staples/stakes through each of the WHITE colored dots. For blankets with the optional North American Green DOT System™ place staples/stakes through each of the YELLOW colored dots. \*Location of Seam Stitch" will vary depending on North American Green product type:

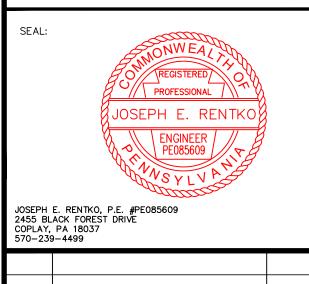
.4 STAPLES PER SQ. YD 4.1 STAPLES PER SQ. M)



**GENERAL NOTES:** STOCKPILE TOPSOIL OR EXCAVATED SOIL MATERIAL AT LOCATIONS SHOWN FOR EACH PHASE OF CONSTRUCTION.
 HEIGHT AND SIDE SLOPES SHALL NOT EXCEED MAXIMUM VALUES SHOWN ON DETAIL.
 INSTALL FLITER SOCK PRIOR TO STOCKPILING OF MATERIAL REPLACE ANY SOCK REMOVED FOR VEHICULAR ACCESS AFTER EACH WORK DAY.
 APPLY A TEMPORARY SEED MIX AND MULCH WHEN PILE WILL REMAIN FOR 30 DAYS OR MORF.



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DESCRIPTION: DATI

NATHAN'S FAMOUS HOT DOGS PROJECT OWNER:

328 WEST LINDEN, LLC 727 N MEADOW ST ALLENTOWN, PA 181024

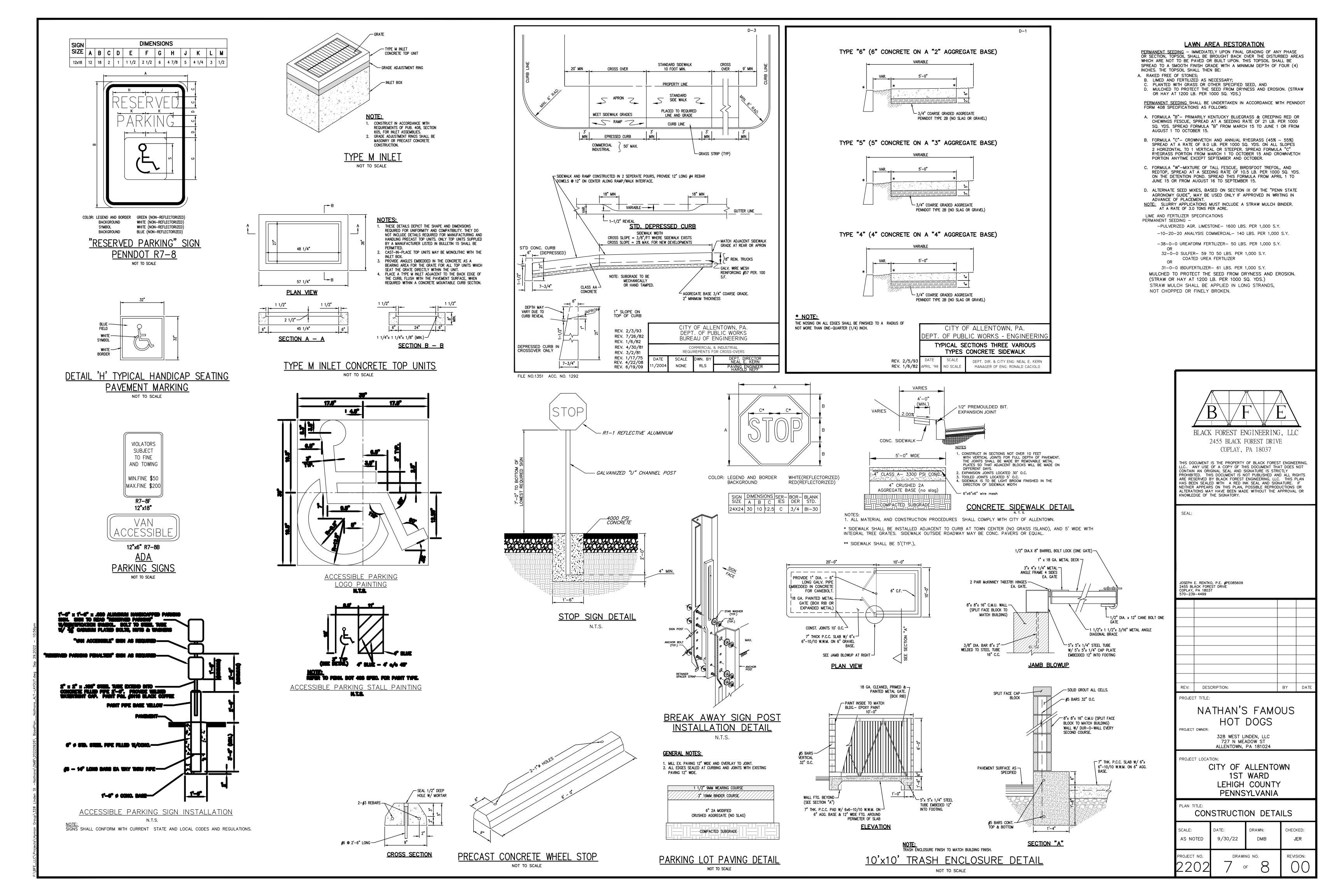
PROJECT TITLE:

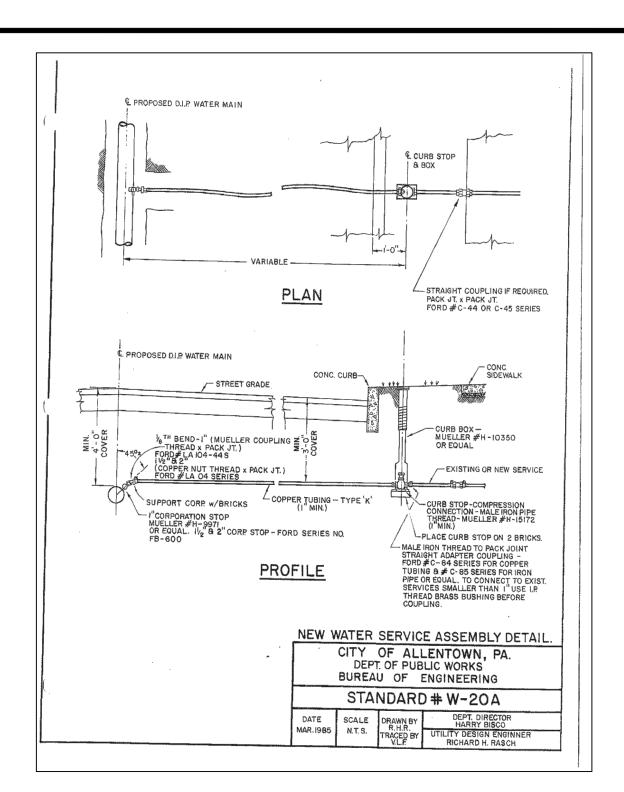
CITY OF ALLENTOWN 1ST WARD LEHIGH COUNTY

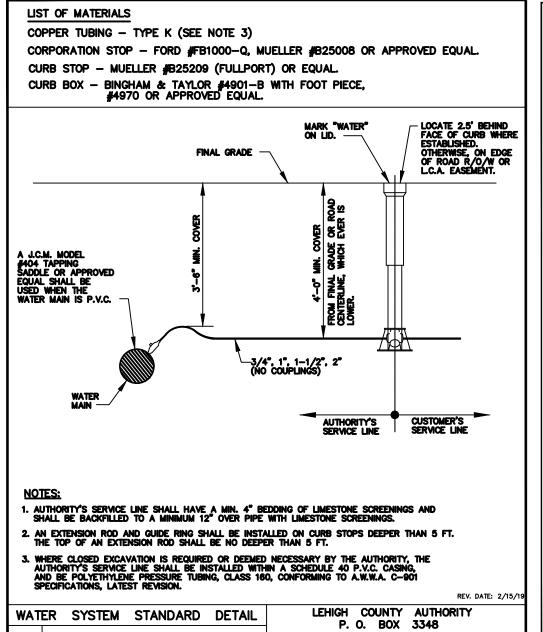
**EROSION CONTROI** 

PENNSYLVANIA

CHECKED: SCALE: DRAWN 1"=50' 9/30/22 REVISION: ROJECT NO DRAWING NO



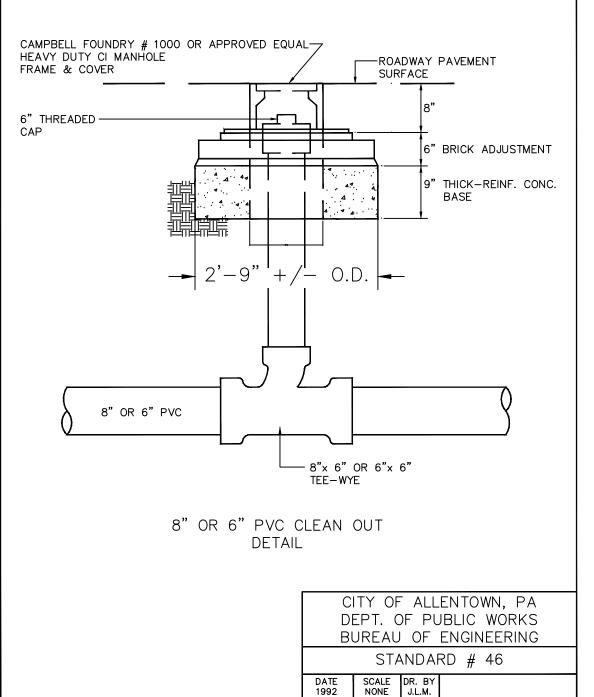


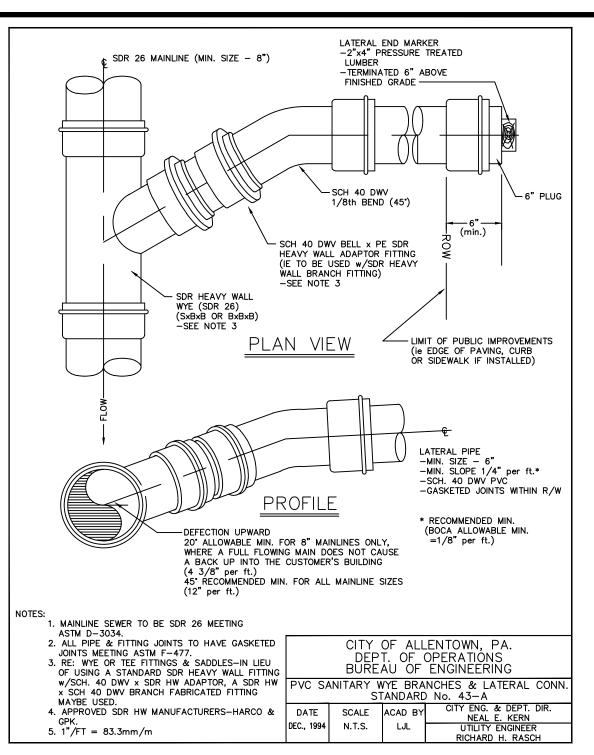


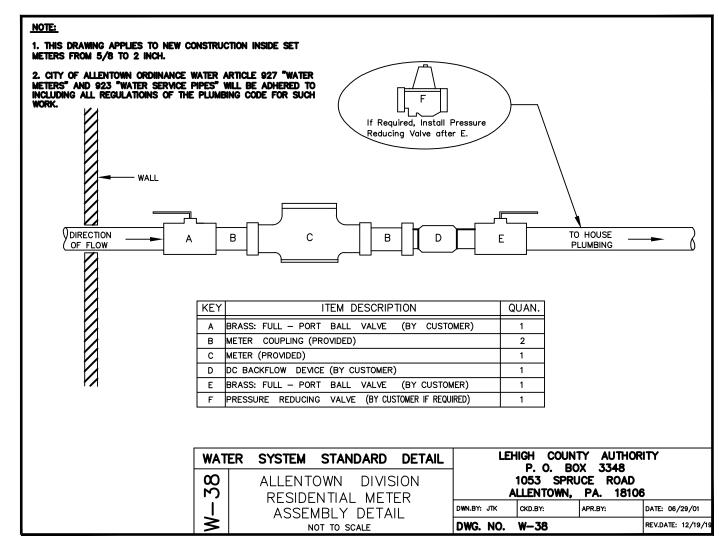
SMALL SERVICE

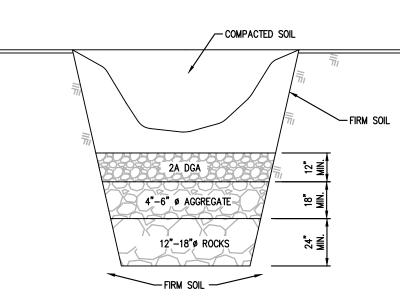
CONNECTION

DETAIL









1053 SPRUCE ROAD

ALLENTOWN, PA. 18106

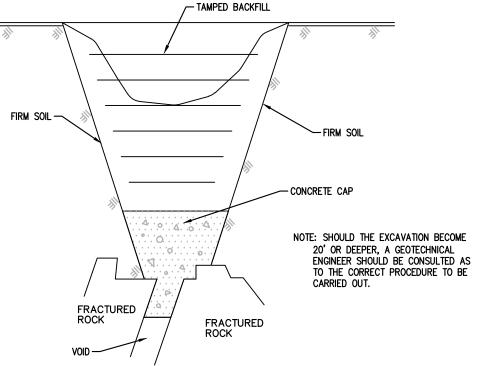
DWN. BY.: C.R.D. | CKD. BY.: E.L.H. | APPR. BY: M.A.B. | DATE DWN.: 4/10/0

DWG. NO. W-12

### Sinkhole In Soil

NOT TO SCALE

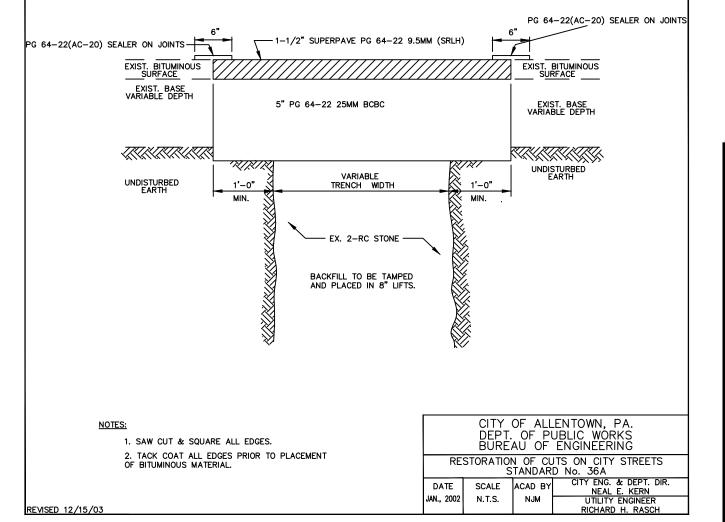
- 1. THE REPAIR TECHNIQUES AS DESCRIBED BELOW ARE SUITABLE ONLY IF THE SINKHOLE IS LOCATED IN AN OPEN AREA. IF THE SINKHOLE IS LOCATED UNDER OR NEAR A STRUCTURE OR A BUILDING, COMPACTION GROUTING MAY BE NECESSARY FOR REMEDIATION, AS DETERMINED BY A GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.
- 2. EXCAVATE DOWN TO ROCK TO SINKHOLE THROAT OR TO A DEPTH OF 15 FEET BELOW GRADE, WHICHEVER
- 3. IF ROCK IS ENCOUNTERED WITHIN 10 FEET, STOP EXCAVATION. THE LIMIT OF EXCAVATION SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER. GENERALLY, A ZONE OF SOFT, IN-FILL MATERIAL WILL BE FOUND WHICH COVERS MOST OF THE BOTTOM OF THE EXCAVATION. COVER THIS AREA WITH A GRADED ROCK FILTER AS SHOWN AROVE
- 4. BACKFILL HOLE WITH RELATIVELY IMPERMEABLE CLAY SOIL. COMPACT SOIL IN 6" LIFTS WITH A POWER TAMPER OR RAMMER TO AT LEAST 95% OF THE STANDARD PROCTOR.
- 5. BACKFILL HOLE ABOVE EXISTING GRADE TO DIVERT SURFACE WATER.

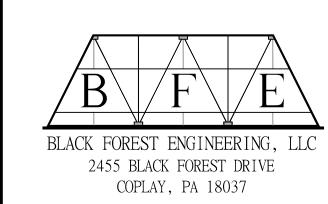


### **Sinkhole In Rock**

- 1. THE REPAIR TECHNIQUES AS DESCRIBED BELOW ARE SUITABLE ONLY IF THE SINKHOLE IS LOCATED IN AN OPEN AREA. IF THE SINKHOLE IS LOCATED UNDER OR NEAR A STRUCTURE OR A BUILDING, COMPACTION GROUTING MAY BE NECESSARY FOR REMEDIATION, AS DETERMINED BY A GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.
- 2. EXCAVATE DOWN TO BEDROCK OR TO THE SINKHOLE THROAT .
- 3. EXPOSE THE ROCK SURFACE BY WASHING THE AREA WITH A SMALL HOSE WATER SPRAY AND INSTALL HIGHSUMP CEMENT INTO VOIDS AND CREVICES UNTIL VOIDS ARE FILLED AND A CAP COVERS THE AREA. THE LIMIT OF EXCAVATION AND CONCRETE SHALL BE DETERMINED BY THE ENGINEER.
- 4. AFTER CONCRETE HAS SET OVERNIGHT, BACKFILL HOLE WITH RELATIVELY IMPERMEABLE CLAY SOIL. COMPACT SOIL IN 6" LIFTS WITH A POWER TAMPER OR RAMMER TO AT LEAST 95% OF THE STANDARD PROCTOR. THE TOP
- THREE(3) FEET SHALL BE BACKFILLED WITH 2RC CRUSHED AGGREGATE.

  5. BACKFILL HOLE ABOVE EXISTING GRADE TO DIVERT SURFACE WATER.
- 6. WHEN SINKHOLE IS UNDER A PROPOSED UTILITY. CONCRETE IS TO BE SET 6" BELOW THE UTILITY TO ALLOW FOR





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SEAL:

JOSEPH E. RENTKO, P.E. #PE085609 2455 BLACK FOREST DRIVE COPLAY, PA 18037 570-239-4499

REV:	DESCRIPTION:	BY	DATE		
PROJEC	PROJECT TITLE:				

NATHAN'S FAMOUS HOT DOGS

PROJECT OWNER:

328 WEST LINDEN, LLC

727 N MEADOW ST

ALLENTOWN, PA 181024

PROJECT LOCATION:

CITY OF ALLENTOWN

1ST WARD

LEHIGH COUNTY

PENNSYLVANIA

CONSTRUCTION DETAILS

001101110011011			
SCALE: AS NOTED	DATE: 9/30/22	DRAWN: DMB	CHECKED: <b>JER</b>
PROJECT NO. 2202	DRAWII 8 0	NG NO. F 8	REVISION: