

Sketch
☒ Preliminary
☒ Final

FILE NO.: LMA- 2022- 00018

SUBDIVISION AND LAND DEVELOPMENT APPLICATION
CITY OF ALLENTOWN
ALLENTOWN CITY PLANNING COMMISSION

DATE: 9/30/2022

NAME OF SUBDIVISION: Nathan's Famous Hot Dogs
ADDRESS OF SUBDIVISION: 328 West Linden Street
PROPERTY OWNER: 328 W. Linden St. LLC
ADDRESS: 727 N. Meadow Street
CITY, STATE, ZIP: Allentown, PA 18102
E-MAIL ADDRESS: nat.hyman@rcn.com
PHONE #: 610-433-4114 FAX#: _____

APPLICANT (If other than owner): _____
ADDRESS: _____
CITY, STATE, ZIP: _____
E-MAIL ADDRESS: _____
PHONE #: _____ FAX#: _____

SURVEYOR/ENGINEER/ATTORNEY: Black Forest Engineering, LLC
ADDRESS: 2455 Black Forest Drive
CITY, STATE, ZIP: Coplay, PA 18037
E-MAIL ADDRESS: JERengineering@gmail.com
PHONE #: 570-239-4499 FAX #: _____

SUBDIVISION CLASSIFICATION: Minor _____ Major _____ Deed Consolidation _____

LAND DEVELOPMENT: Minor X Major _____

NUMBER OF LOTS: 1 ACREAGE: 0.5290

SQ. FT OF FLOOR AREA: Office: _____ Retail: 1,668 SF Warehouse: _____ Other: _____

PROPOSED DEVELOPMENT: Drive thru/takout only restaurant. Nathan's Famous Hot Dogs

ARE MUNICIPAL UTILITIES AVAILABLE? YES X NO _____

FEE: (Please complete page 2 and enter the fee here): \$ 315
(The fee must accompany submission)

Note:

1. All materials, including plans, reports and other documentation submitted on behalf of an application become public records as defined in the Pennsylvania Right to Know Law, 65 p.s. § 66.1 et. Seq.
2. **Major land developments and all subdivisions must be accompanied by an electronic copy and a hard copy of the site plan (8.5" x 11"), location map, project description, project elevation/rendering, and documentation of Lehigh Valley Planning Commission and Lehigh County Authority submissions.**
3. All new submissions require 10 sets of plans and four (4) copies of all reports.

SIGNATURE OF OWNER, APPLICANT OR AUTHORIZED REPRESENTATIVE:

Signature

Title

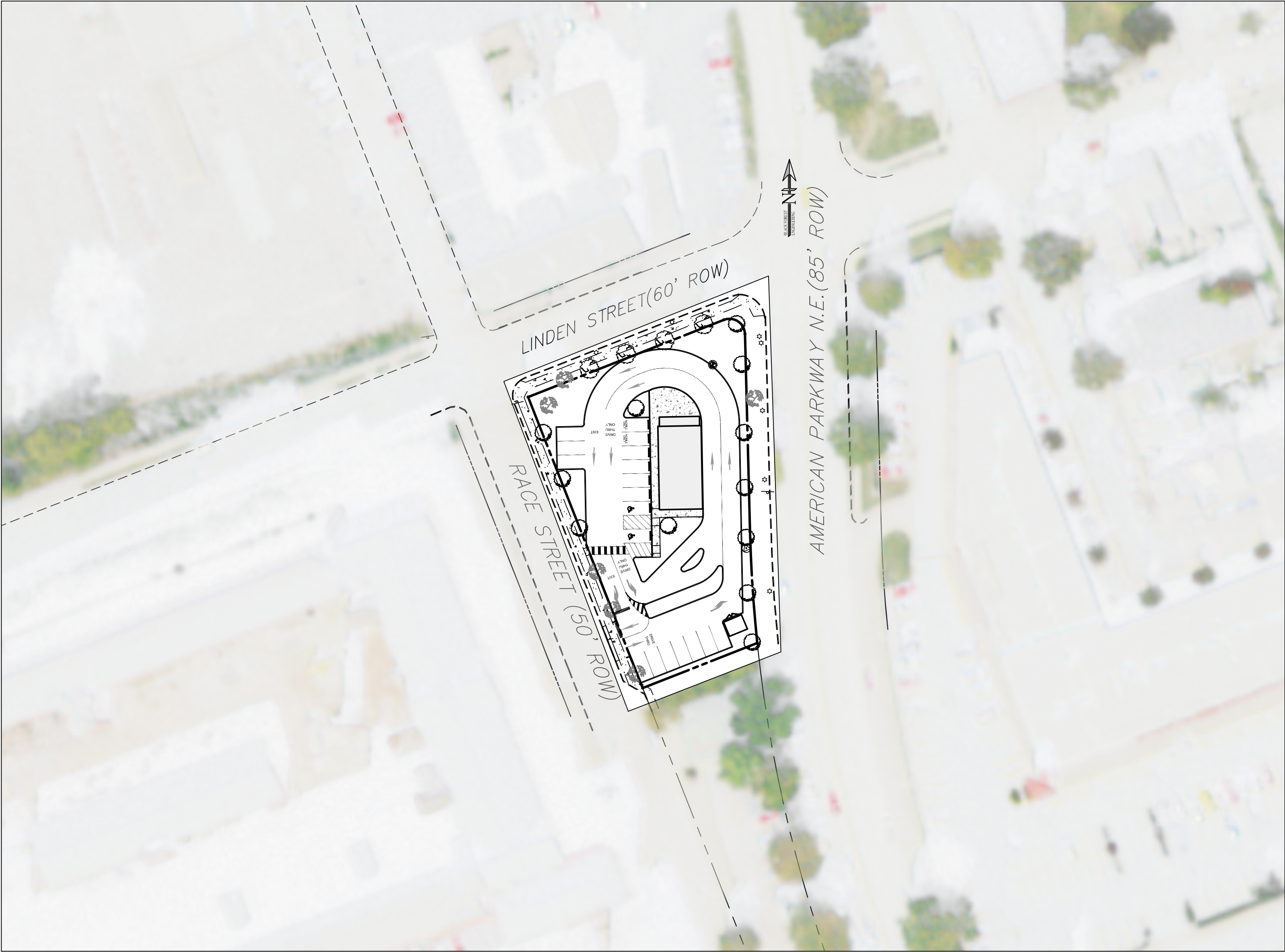
SUBDIVISION & LAND DEVELOPMENT APPLICATION FEE CALCULATION

Name of Subdivision:			
Application Type	Base Fee	+ # of lots x fee =	Fee
Major Subdivisions			
Sketch Plan ¹	\$100.00	N/A	\$
Preliminary Plan ²	\$500.00	+ # of lots x \$50.00 =	\$
Final Plan ²	One-half of the preliminary fee		\$
Minor Subdivisions			
Final	\$140.00	+ # of lots x \$40.00 =	\$
Deed Consolidation			
	\$140.00	+ # of lots x \$40.00 =	\$
Major Land Development			
Sketch Plan ¹	\$250.00	N/A	\$
Preliminary Plan ²	\$1,000.00	+ \$1,000.00 x # of acres OR **partial acre =	\$
+	Office - \$35 / 1,000 square foot of floor area Retail - \$25 / 1,000 square foot of floor area Warehouse - \$20 / 1,000 square foot of floor area Other - \$10 / 1,000 square foot of floor area		\$
(Partial square footage - round up to next 1,000 square foot)			
Total preliminary fee:			\$
Final Plan ²	One-half of the preliminary fee		\$
** Partial acre - round up to next number (ex: 2½ acres becomes 3 acres)			
Minor Land Development			
Final Plan	\$315.00	N/A	\$ 315
Total Fee			\$ 315
NOTES:			
1. SKETCH PLAN REQUIRED FOR SUBDIVISIONS INVOLVING 10 OR MORE LOTS AND OPTIONAL FOR LAND DEVELOPMENTS.			
2. PRELIMINARY/FINAL PLAN APPLICATION MAY BE MADE CONCURRENTLY.			
3. ALL SUBDIVISIONS AND MAJOR LAND DEVELOPMENTS MUST HAVE A LVPC TRANSMITTAL WITH THE SUBMISSION.			
The current fees were effective on January 1, 2019 and are subject to change.			

A LAND DEVELOPMENT LOCATED IN THE
CITY OF ALLENTOWN
COUNTY OF LEHIGH
COMMONWEALTH OF PENNSYLVANIA

INVOLVING THE PARCEL LOCATED AT
328 WEST LINDEN STREET

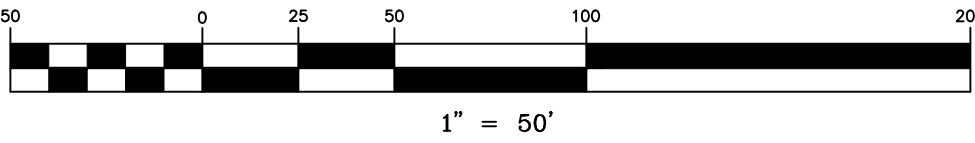
NATHAN'S FAMOUS HOT DOGS
PRELIMINARY/FINAL PLAN



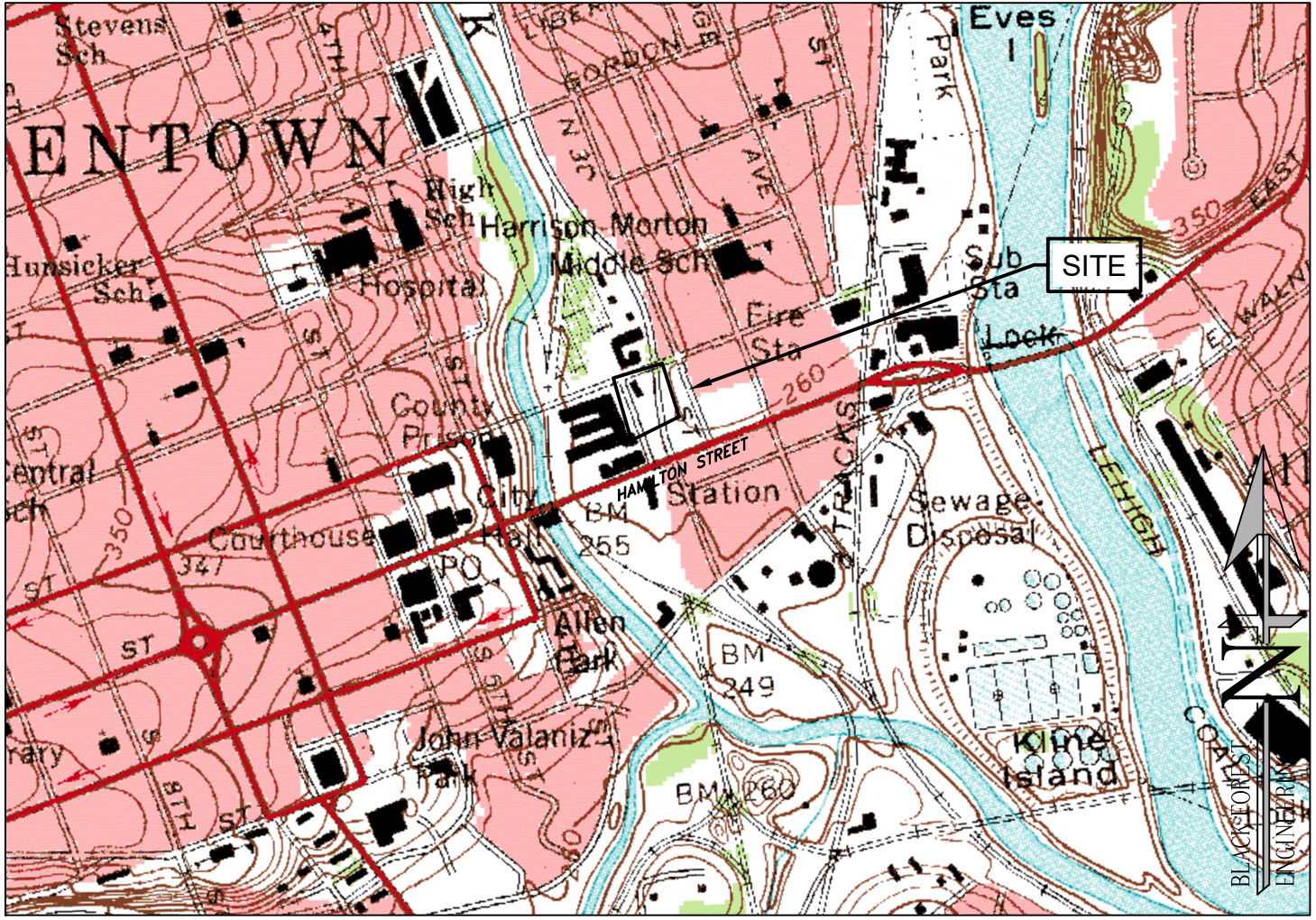
PLAN INTENT

THE APPLICANT WISHES TO CONSTRUCT A DRIVE-THRU/TAKE-OUT ONLY RESTAURANT WITHIN AN EXISTING PAVED LOT. THE PROPOSED RESTAURANT WILL BE SERVICED BY PUBLIC WATER AND SEWER UTILITIES.

OWNER / DEVELOPER:
328 W LINDEN STREET LLC
727 N MEADOW STREET
ALLENTOWN, PA 18102



B F E
BLACK FOREST ENGINEERING, LLC
2455 BLACK FOREST DRIVE
COPLAY, PA 18037



LOCATION MAP
USGS ALLENTOWN EAST QUADRANGLE
SCALE: 1"=1000'

FINAL PLAN SHEET INDEX		
PLAN TITLE		SHEET NO.
* COVER SHEET		
* RECORD PLAN		1 OF 8
EXISTING FEATURES PLAN		2 OF 8
GRADING AND UTILITY PLAN		3 OF 8
LANDSCAPE AND LIGHTING PLAN		4 OF 8
ESPC PLAN		5 OF 8
ESPC DETAILS		6 OF 8
CONSTRUCTION DETAILS		7 OF 8
CONSTRUCTION DETAILS		8 OF 8
* DENOTES PLAN TO BE RECORDED		

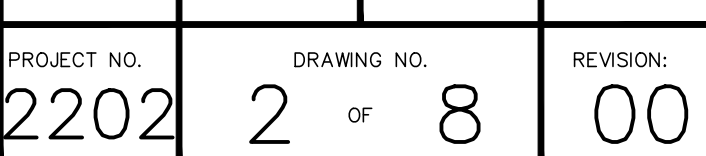
"CALL BEFORE YOU DIG"
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE
FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN
DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

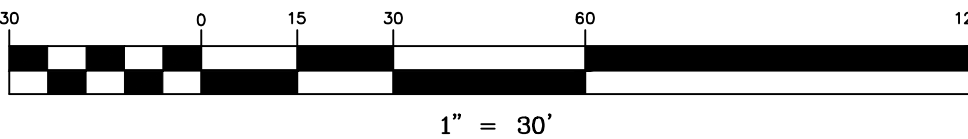
REV:	DESCRIPTION:		BY:	DATE:	
PROJECT NO.	SCALE:	DATE:	REVISION:		
2202	1"=50'	9/30/22	00		

	PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	BUILDING RESTRICTION LINE
	EXISTING EDGE OF PAVE
	EXISTING VEGETATION
	EXISTING CENTERLINE
	EXISTING ROAD PAVEMENT
	EXISTING SIDEWALK
	EXISTING STRUCTURE
	EXISTING ADJOINER
	EXISTING GAS LINE
	EXISTING SANITARY LINE
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING CURB
	EXISTING FENCE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING ELECTRIC POLE
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING IRON PIN
	EXISTING CONTROL POINT
	EXISTING TEST PIT
	EXISTING INLET

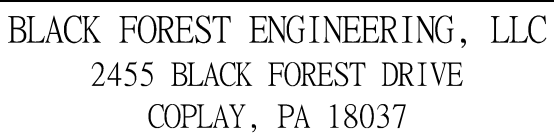


UgB Urban land, 0 to 8 percent slopes (entire site)



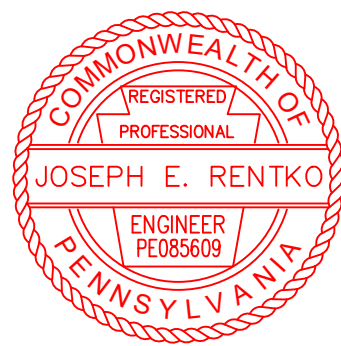


PROPOSED <u>Legend</u>	
	PROP. PROPERTY LINE
	PROP. TRACT LINE
	PROP. RIGHT-OF-WAY
	PROP. EASEMENT
	PROP. BUILDING RESTRICTION LINE
	PROP. FENCE
	PROP. TREE LINE
	PROP. CENTERLINE
	PROP. SIDEWALK
	PROP. CURB
	PROP. DRIVEWAY
	PROP. CONTOUR MAJOR
	PROP. CONTOUR MINOR
	PROP. GAS LINE
	PROP. GAS LATERAL LINE
	PROP. SANITARY LINE
	PROP. SANITARY LATERAL LINE
	PROP. STORM LINE
	PROP. WATER LINE
	PROP. WATER LATERAL LINE
	PROP. DRAINAGE PATH
	PROP. MONUMENTATION
	PROP. UTILITY POLE
	PROP. SANITARY MANHOLE
	PROP. CLEANOUT
	PROP. VENT
	PROP. STORM MANHOLE
	PROP. INLET
	PROP. SIGN
	PROP. FIRE HYDRANT
	PROP. WATER VALVE
	PROP. WELL
	PROP. GAS VALVE
	PROP. TREE
	PROP. BENCHMARK
	PROP. CONCRETE WHEELSTOP
	PROP. BUILDING/STRUCTURE
	PROP. DRIVEWAY



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SEAL:



JOSEPH E. RENTKO, P.E. #PE085606
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
570-239-4499

[illegible]

REV:	DESCRIPTION:	BY	DA
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PROJECT TITLE:

NATHAN'S FAMOUS HOT DOGS

PROJECT OWNER:
328 WEST LINDEN, LLC
727 N MEADOW ST
ALLENTOWN, PA 18102

PROJECT LOCATION:

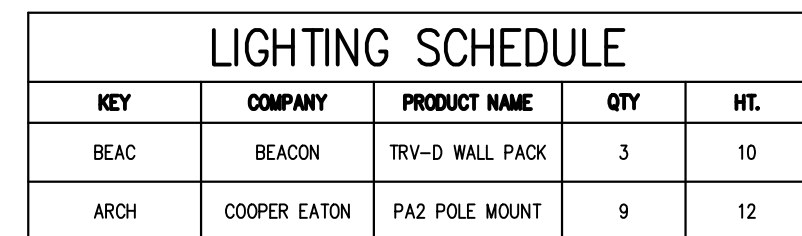
CITY OF ALLENTOWN
1ST WARD
LEHIGH COUNTY
PENNSYLVANIA

PLAN TITLE:

GRADING & UTILITY

SCALE:	DATE:	DRAWN:	CHECKED:
1"=50'	9/30/22	DMB	JER

PROJECT NO. 2202	DRAWING NO. 3 OF 8	REVISION: 00
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1 TREE REQUIRED PER EVERY 40 FEET OF RIGHT-OF-WAY
RACE STREET 202/40 = 5.05 TREES (3 PROVIDED)
LINDEN STREET - 136/40 = 3.4 TREES (4 PROVIDED)
AMERICAN PARKWAY - 200/40 = 5 TREES (7 PROVIDED)

LANDSCAPE AREAS EQUAL TO 10 PERCENT OF THE PAVED LOT AREA SHALL BE PROVIDED.
APPROX PARKING AREA=3,800 SF
REQD LANDSCAPE AREA=380 SF
PROVIDED LANDSCAPE AREA>1000 SF

ONE SHADE TREE PER 10 PARKING SPACES SHALL BE PROVIDED:
18 PARKING SPACES = 2 TREES REQUIRED (2 PROVIDED).

PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
AR	ACER RUBRUM	SUN VALLEY RED MAPLE	3	MIN. 2"-2.5" CAL.	B&B
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	7	MIN. 2"-2.5" CAL.	B&B
CC	CERIS CANADENSIS	EASTERN REDBUD	4	MIN. 2"-2.5" CAL.	B&B


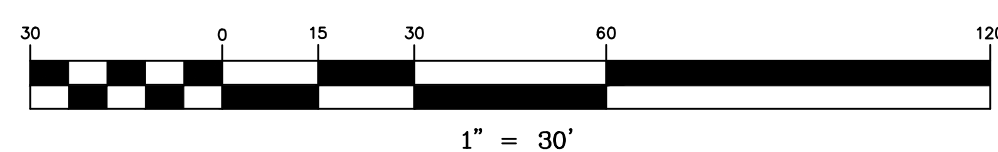
Diagram illustrating the care of a tree in a container, showing the tree, root ball, and surrounding soil. The diagram includes the following instructions:

- ALL PRECAUTIONS SHOULD BE TAKEN TO PREVENT DAMAGE DURING TRANSPORTATION AND PLACEMENT
- ALL TREES SHOULD HAVE A MULCH LAYER 3" THICK. NO MULCH SHALL BE PLACED AGAINST THE TRUNK OF A NATURAL TRUNK FLAKE
- BED CROWN SHOULD BE BETWEEN 2" & 4" ABOVE SURROUNDING GRADE
- PLANTING SOIL SHALL BE A Mixture OF EXISTING SOIL REMOVED FROM TREE HOLE AND PLANT MIX
- FOR EXISTENTS DEPENDENT ON PLANTING SITE TYPE AND CLIMATE CONDITION
- AFTER PLANTING TREE REMOVE ALL TAGS, TIES OR TAGS OVERLAPPING LIMBS
- TREES SHOULD BE STAKED TO PREVENT SWAYING OF THE TREE DURING ESTABLISHMENT OF ROOT SOIL STABIL AND GUY WIRE SHOULD BE REMOVED AFTER FIRST YEAR TO PREVENT ANY GROWING
- ALL BURLAP AND TWINE SHALL BE REMOVED FROM UPPER HALF OF ROOT BALL. WIRE BASKETS SHALL BE FULLY SUBSIDED WITHOUT DAMAGING ROOT BALL
- TREE HOLE SHALL BE 3X AS WIDE AS ROOT BALL WITH ROOT BALL SHALL BE FULLY SLOTTED BETWEEN NEW SOIL COMPACTED AND FULLY SUBSIDED

NOT TO SCALE

NOTES

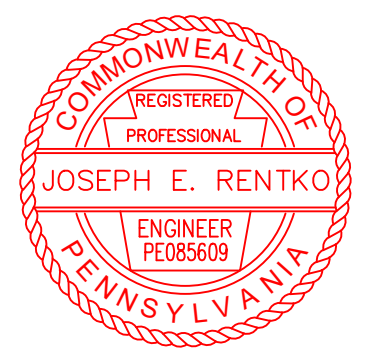
1. REFER TO SITE PLAN FOR LANDSCAPED AREAS.



BLACK FOREST ENGINEERING, LLC
2455 BLACK FOREST DRIVE
COPLAY, PA 18037

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SEAL:



JOSEPH E. RENTKO, P.E. #PE085609
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
570-239-4499

[illegible]

PROJECT TITLE:

NATHAN'S FAMOUS HOT DOGS

PROJECT OWNER:
328 WEST LINDEN, LLC
727 N MEADOW ST
ALLENTOWN, PA 181024

PROJECT LOCATION:
CITY OF ALLENTOWN
1ST WARD
LEHIGH COUNTY
PENNSYLVANIA

PLAN TITLE:
LIGHTING & LANDSCAPE PLAN

SCALE: 1"=30'	DATE: 9/30/22	DRAWN: DMB	CHECKED: JER
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PROJECT NO. 2202	DRAWING NO. 4 OF 8	REVISION: 00
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ACCELERATED EROSION CONTROL DURING THE CONSTRUCTION PHASE, MEASURES TO CONTROL ACCELERATED EROSION INCLUDE BUT ARE NOT LIMITED TO THE USE OF TEMPORARY STOCKPILES, PUMPED WATER FILTERS, AND PERMANENT STABILIZATION OF FINAL GRADES. ALL EFFORTS TO MINIMIZE THE EXTENT AND DURATION OF THE EARTH DISTURBANCE ACTIVITIES, MINIMIZE SOIL COMPACTION (WHERE PRUDENT), MAXIMIZE THE PRESERVATION OF EXISTING DRAINAGE FEATURES AND VEGETATION, AND TO EMPLOY OTHER MEASURES OR CONTROLS TO PREVENT THE INCREASE OF STORMWATER RUNOFF.

RESPONSIBILITY FOR E & S CONTROL FACILITIES
NOTE: CONTRACTOR SHALL COMPLETE "INSPECTION REPORT FORM 3150-FM-BWEW-0083" INSURING MAINTENANCE OF E&S FACILITIES. DURING IMPROVEMENTS CONSTRUCTION, THE SITE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION, STABILIZATION & MAINTENANCE OF ALL SITE EROSION & SEDIMENTATION CONTROL FACILITIES. AFTER CONTRACTOR INVOLVEMENT CEASES, RESPONSIBILITY SHALL REVERT TO THE OWNER OF THE PROPERTY.

ASSURANCE OF DESIGN PERFORMANCE

THE SPECIFICATIONS AND REQUIREMENTS OF THE PROJECT PLANS, NARRATIVE AND SPECIFICATION ARE THE MINIMUM ACCEPTABLE CONSTRUCTION CRITERIA FOR THIS PROJECT.

DURING SITE DEVELOPMENT CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENT CONTROL FACILITIES MUST BE CHECKED BY THE SITE CONTRACTOR AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ANY DAMAGE TO THE FACILITIES MUST BE REPAIRED IMMEDIATELY. ANY LOST SOIL MATERIAL SHALL BE RECOVERED, IF POSSIBLE, WASHED OUT LAWN OR SLOPE AREAS MUST HAVE TOPSOIL REPLACED AND THEN MUST BE RE-SEEDD AND MULCHED.

IF, FOR ANY REASON, THE DESIGNED FACILITIES OR MEASURES DO NOT PROVIDE THE NECESSARY PROTECTION, THE CONTRACTOR SHALL ADJUST THE EROSION CONTROL MEASURES AND SEDIMENT CONTROL MEASURES TO ACHIEVE A COMPLETE NON-ERODED STABILIZED SITE CONDITION.

AFTER THE TOWNSHIP'S FINAL ACCEPTANCE OF SITE WORK CONSTRUCTION AND STABILIZATION BY THE CONTRACTOR, THE GROUND SURFACE AND ALL DRAINAGE FACILITIES LOCATED ON PUBLIC PROPERTY WILL BE MAINTAINED BY THE TOWNSHIP.

EROSION AND SEDIMENT POLLUTION CONTROL LEGEND

(RCE)		ROCK CONSTRUCTION ENTRANCE
(SP)		TOPSOIL STOCKPILE
(CS-XX)		COMPOST FILTER SOCK (XX REPRESENTS SOCK NUMBER)
(IP)		INLET PROTECTION
(CWB)		CONCRETE WASHOUT BASIN
(HVF)		HIGH-VISIBILITY FENCE

RECYCLING AND DISPOSAL OF MATERIALS

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH, AND TO INFORM HIS WORKERS OF ALL LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS REGARDING THE CONDUCT OF WORK AND HANDLING OF MATERIALS ON THE PROJECT, AND TO PERFORM ALL ACTIVITIES IN ACCORDANCE WITH THOSE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EMERGENCY RESPONSE PLANS FOR ANY HAZARDOUS OR POLLUTING MATERIALS USED IN THE WORK.

ALL RUBBISH OR WASTE MATERIALS PRODUCED BY CONTRACTOR'S WORKERS SHALL BE PROTECTED FROM DISSEMINATION BY WIND, RAIN, OR ANIMALS, AND SHALL BE LEGALLY DISPOSED OF REGULARLY. ANY CONSTRUCTION DEBRIS OR OTHER UNSUITABLE MATERIALS TRAPPED BY SILT BARRIER FACILITIES SHALL BE SEPARATED FROM SOIL MATERIALS AND DISPOSED OF IN A LAWFUL MANNER.

SEDIMENT WHICH HAS BEEN TRAPPED BY SILT BARRIER FACILITIES MUST BE REMOVED AND STOCKPILED OR REDISTRIBUTED ON THE PROJECT SITE. SEDIMENT WHICH COLLECTS TO THE SPECIFIED CLEAN-OUT ELEVATION IN THE BOTTOM OF STORMWATER MANAGEMENT PONDS, OR THE SPECIFIED ELEVATIONS IN SEDIMENT TRAPS, MUST BE REMOVED AND STOCKPILED OR REDISTRIBUTED AND STABILIZED ON THE PROJECT SITE.

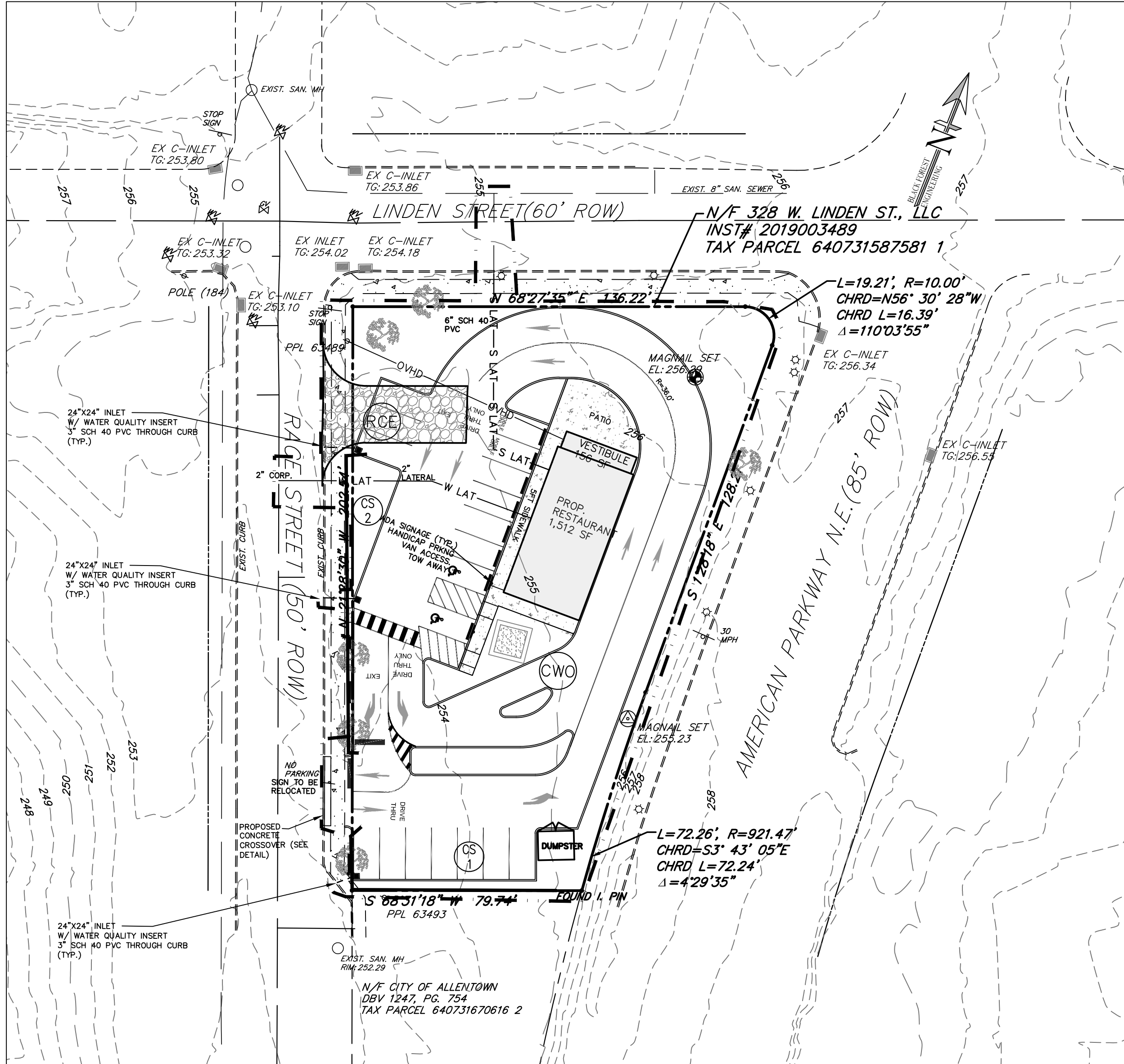
IF THE CONTRACTOR EXPECTS TO RECYCLE OR DISPOSE OF ANY SOIL OR ROCK MATERIAL TO LOCATIONS OTHER THAN THE PROJECT AREA FOR WHICH THIS PLAN AND NARRATIVE HAVE BEEN PREPARED, THE CONTRACTOR SHALL ARRANGE FOR PREPARATION AND SUBMITTAL TO THE APPROPRIATE COUNTY CONSERVATION DISTRICT OF EROSION AND SEDIMENT CONTROL PLANS FOR ALL SUCH OFF-PROJECT AREAS PRIOR TO COMMENCEMENT OF WORK.

DISPOSAL OF MATERIALS FROM CONTROL FACILITIES

SEDIMENT WHICH HAS BEEN TRAPPED BY EROSION CONTROL FACILITIES MUST BE REMOVED AND STOCKPILED OR REDISTRIBUTED ON THE PROJECT SITE. ALL CONSTRUCTION DEBRIS OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A LAWFUL MANNER.

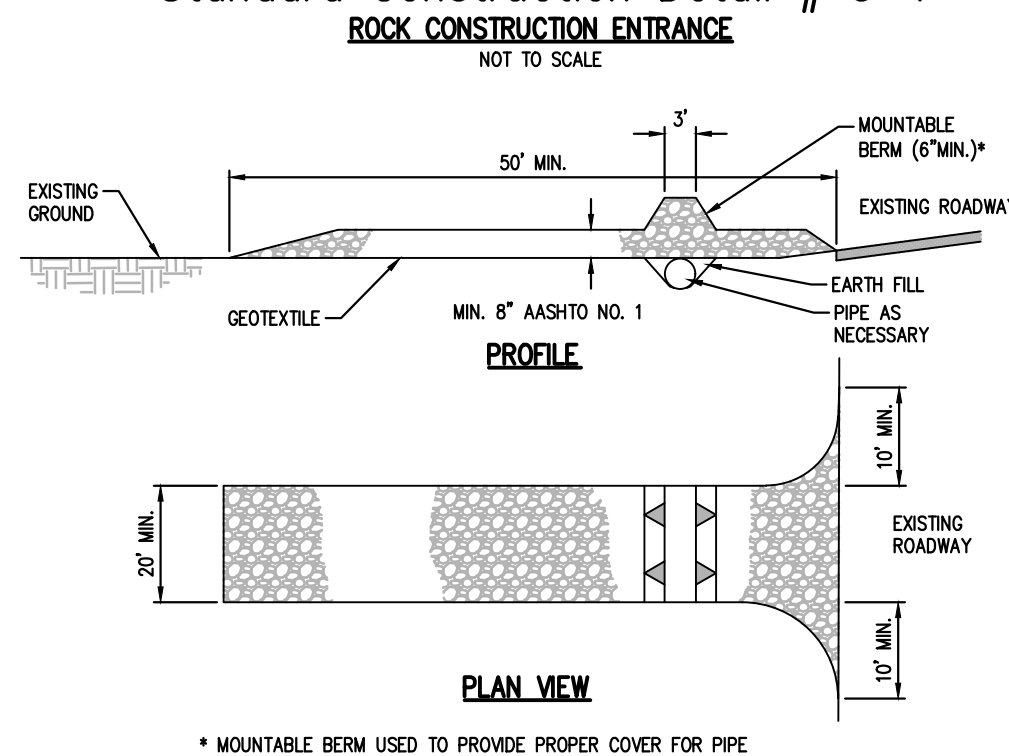
ALL SILT BARRIER FACILITIES MUST BE CHECKED FOR CAPACITY AND PROPER FUNCTION WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL ALL UPSTREAM AREAS HAVE A UNIFORM PERENNIAL VEGETATIVE COVER OF OVER SEVENTY (70) PERCENT.

RECYCLING AND/OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE MUST BE IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.



ALL BMP'S SHALL BE INSPECTED AFTER EVERY RUNOFF EVENT AND ON A WEEKLY BASIS. ANY NECESSARY REPAIRS MUST BE MADE IMMEDIATELY.

Standard Construction Detail # 3-1



General Notes:

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY. EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONFINEMENT IS ACHIEVED OR INSTALL WASH RACK OR SLEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

PLAN PREPARER
BLACK FOREST ENGINEERING, LLC
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
(570)-239-4499

LIMIT OF DISTURBANCE:
26,232 SF (0.60 AC)

COMPOST SOCK SUMMARY CHART

SOCK NUMBER	SIZE (ft)
1	12
2	12
SPOIL PILE	12

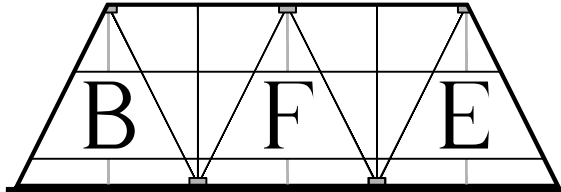
CONSTRUCTION NOTES:

1. All grading shall be done in accordance with the City of Allentown.
2. No earthmoving or grading activities may take place until a grading permit is granted by the City of Allentown.
3. The City Engineer and/or staff may enter the property to inspect all grading and construction activities on the site.
4. At least 7 days prior to any earth disturbance activities, the operator shall notify the City and invite all contractors involved in those activities, and the landowner to an on-site meeting.
5. At least 7 days prior to any earth disturbance activities, the operator shall provide notice in writing to the City of Allentown that earth disturbance activities will be commencing.
6. Temporary and permanent seeding shall be in accordance with requirements on the details. Compost Filter Socks shall be installed downslope of all topsoil stockpiles as indicated in the Topsoil Stockpile detail.
- a. Topsoil pile locations may be adjusted to fit the contractor schedule as long as the silt sock is placed downslope of the pile locations.
- b. Prior to any seeding and lime and fertilizer application, a soil test shall be performed to determine the pH factor. Additional lime and fertilizer may be required.
6. All disturbed areas shall be immediately stabilized if earth disturbance/construction has ceased. Disturbed slopes of 3:1 or greater shall be stabilized with erosion control matting.
7. Soil compaction and vehicle traffic shall be kept to a minimum at areas designated for sanitary absorption or stormwater infiltration BMPs.
8. Topsoil should be stripped and stockpiled prior to all earthwork. Only strip the amount of topsoil necessary to perform earthwork. All disturbed areas shall be stabilized immediately if disturbance has ceased.
9. On a daily basis, the Contractor shall inspect and clean any sediment that is tracked onto existing roads.
10. All erosion control facilities shall be inspected after every runoff event and on a weekly basis, any necessary repairs must be made immediately.
11. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.
12. NAGS75 matting to be applied to all proposed 3:1 slopes.

SEQUENCE OF CONSTRUCTION

1. At least 7 days before starting any earth disturbance activities, the operator provide written notification to the City of Allentown and shall invite all contractors involved in those activities, appropriate municipal officials, the ESPC plan preparer, a representative from the City of Allentown, and the landowner to an on-site meeting.
2. At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System, Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
3. Flag and mark the Limits of Disturbance. No grading or earthmoving may take place beyond the Limits of Disturbance. High visibility construction fence shall be installed along property lines to ensure grading does not extend beyond property lines.
4. Install Rock Construction Entrance (RCE) off of Race Street where indicated on the Plan. This shall be the only ingress and egress from the site. Any sediment tracked onto the public roadway shall be collected and returned to the site by the end of each workday. Any sediment tracked onto the public roadway during RCE construction shall be cleaned immediately.
5. Install perimeter compost filter socks at locations indicated on plan and per details.
6. Remove existing asphalt at building pad and other areas of proposed lawn restoration from the site. Immediately stabilize any disturbed areas outside of construction area. Any remaining topsoil shall be stockpiled in stockpile locations indicated on the Plan.
7. Begin primary site work consisting of proposed curb/land installation and building pad. The existing asphalt is at grade and therefore only the curbed islands and building will be stepped up 6 inches. 24" x24" yard drains have been added along the interior curb to collect runoff, treat through a water quality insert, and discharge through the existing Race Street Curb.
8. Begin building construction and utility connections installation. Utilize existing lateral connections to the Sanitary and Water Mains. Install inlet protection on inlets upon completion.
9. Upon completion of proposed improvements, any temporary staging area shall be restored to existing condition. Proposed landscaping and striping shall be installed upon completion of buildings.
10. After the site is stabilized, remove E&S BMPs. Immediately stabilize any areas disturbed by the removal of the erosion and sediment pollution controls. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.

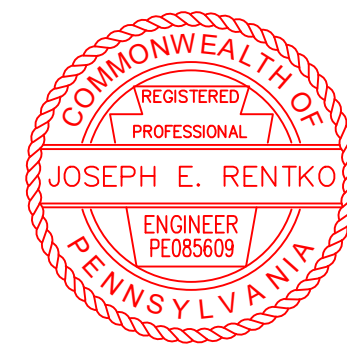
PROPOSED Legend	
	PROP. PROPERTY LINE
	PROP. TRACT LINE
	PROP. RIGHT-OF-WAY
	PROP. EASEMENT
	PROP. BUILDING RESTRICTION LINE
	PROP. FENCE
	PROP. TREE LINE
	PROP. CENTERLINE
	PROP. SIDEWALK
	PROP. CURB
	PROP. DRIVEWAY
	PROP. CONTOUR MAJOR
	PROP. CONTOUR MINOR
	PROP. GAS LINE
	PROP. GAS LATERAL LINE
	PROP. SANITARY LINE
	PROP. SANITARY LATERAL LINE
	PROP. STORM LINE
	PROP. WATER LINE
	PROP. WATER LATERAL LINE
	PROP. DRAINAGE PATH
	PROP. UTILITY POLE
	PROP. SANITARY MANHOLE
	PROP. CLEANOUT
	PROP. VENT
	PROP. STORM MANHOLE
	PROP. INLET
	PROP. SIGN
	PROP. FIRE HYDRANT
	PROP. WATER VALVE
	PROP. WELL
	PROP. GAS VALVE
	PROP. TREE
	PROP. BENCHMARK
	PROP. CONCRETE WHEELSTOP
	PROP. BUILDING/STRUCTURE
	PROP. DRIVEWAY



BLACK FOREST ENGINEERING, LLC
2455 BLACK FOREST DRIVE
COPLAY, PA 18037

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SEAL:



JOSEPH E. RENTKO, P.E. #005809
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
570-239-4499

REV.	DESCRIPTION:	BY	DATE

PROJECT TITLE:

NATHAN'S FAMOUS
HOT DOGS

PROJECT OWNER:
328 WEST LINDEN, LLC
727 N MEADOW ST
ALLENTOWN, PA 181024

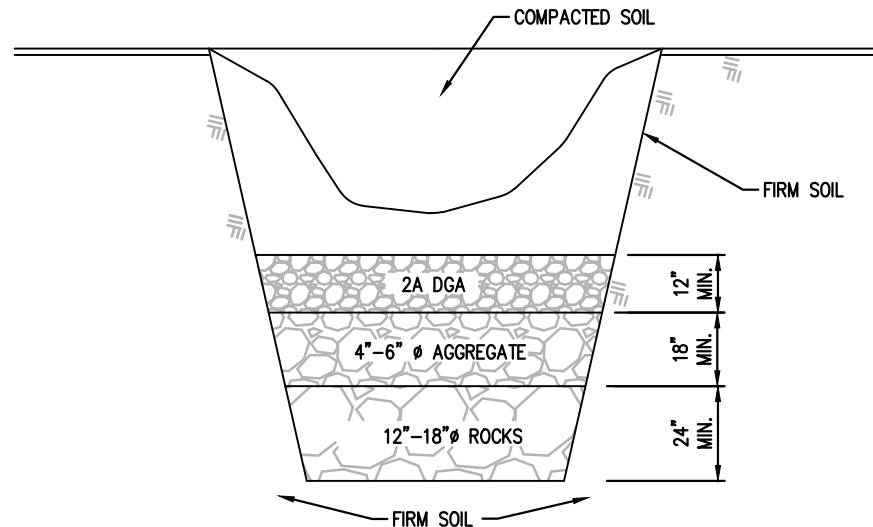
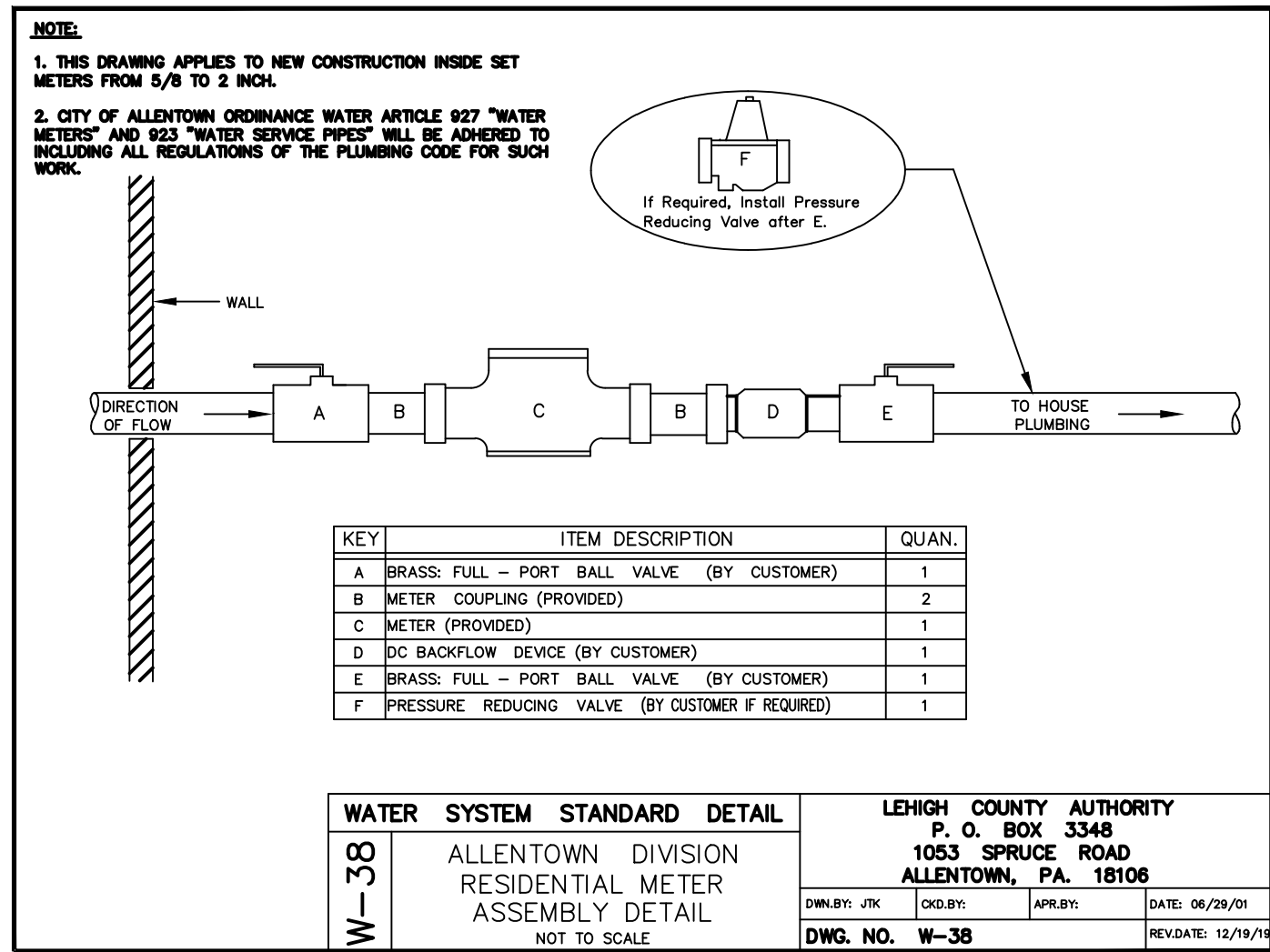
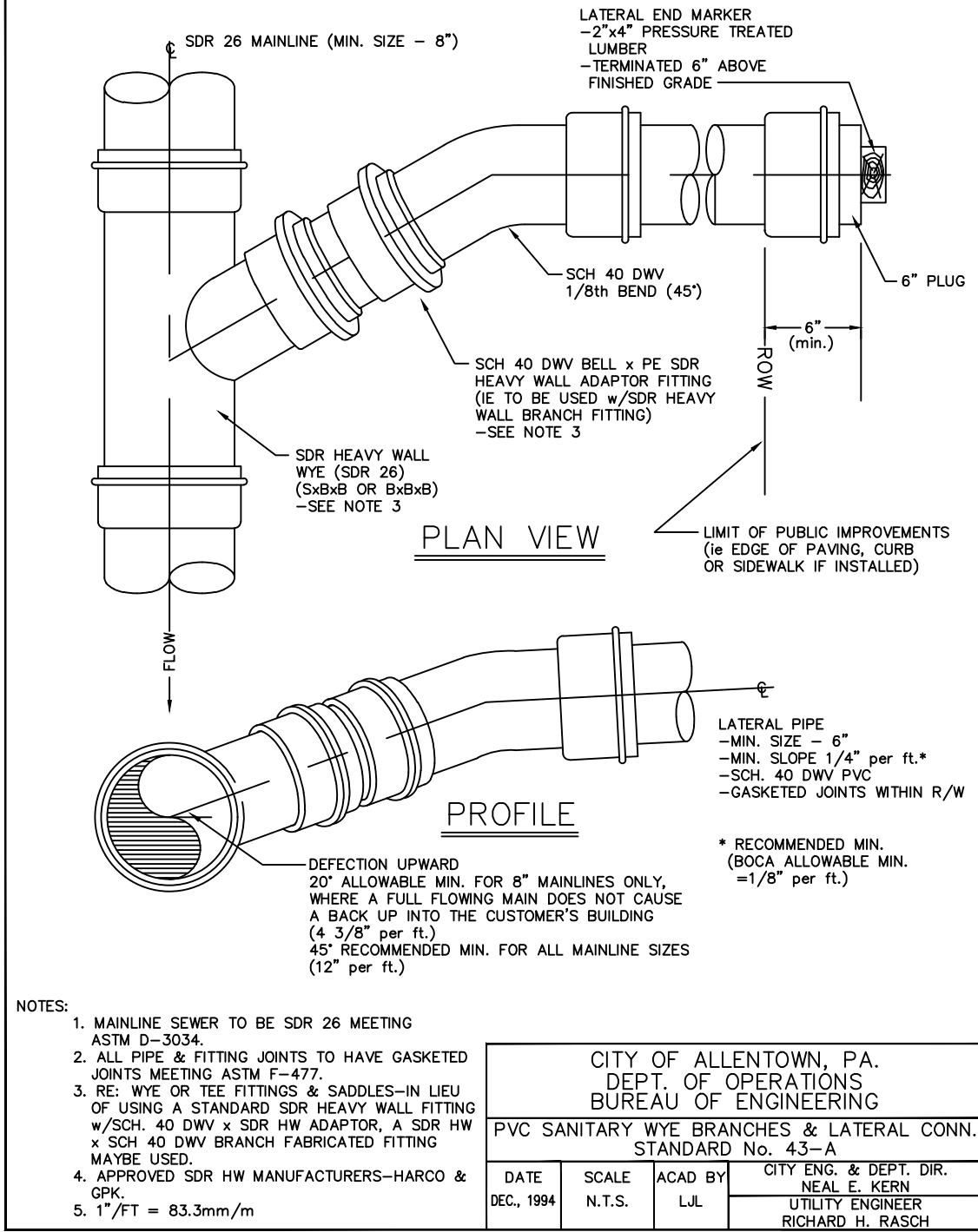
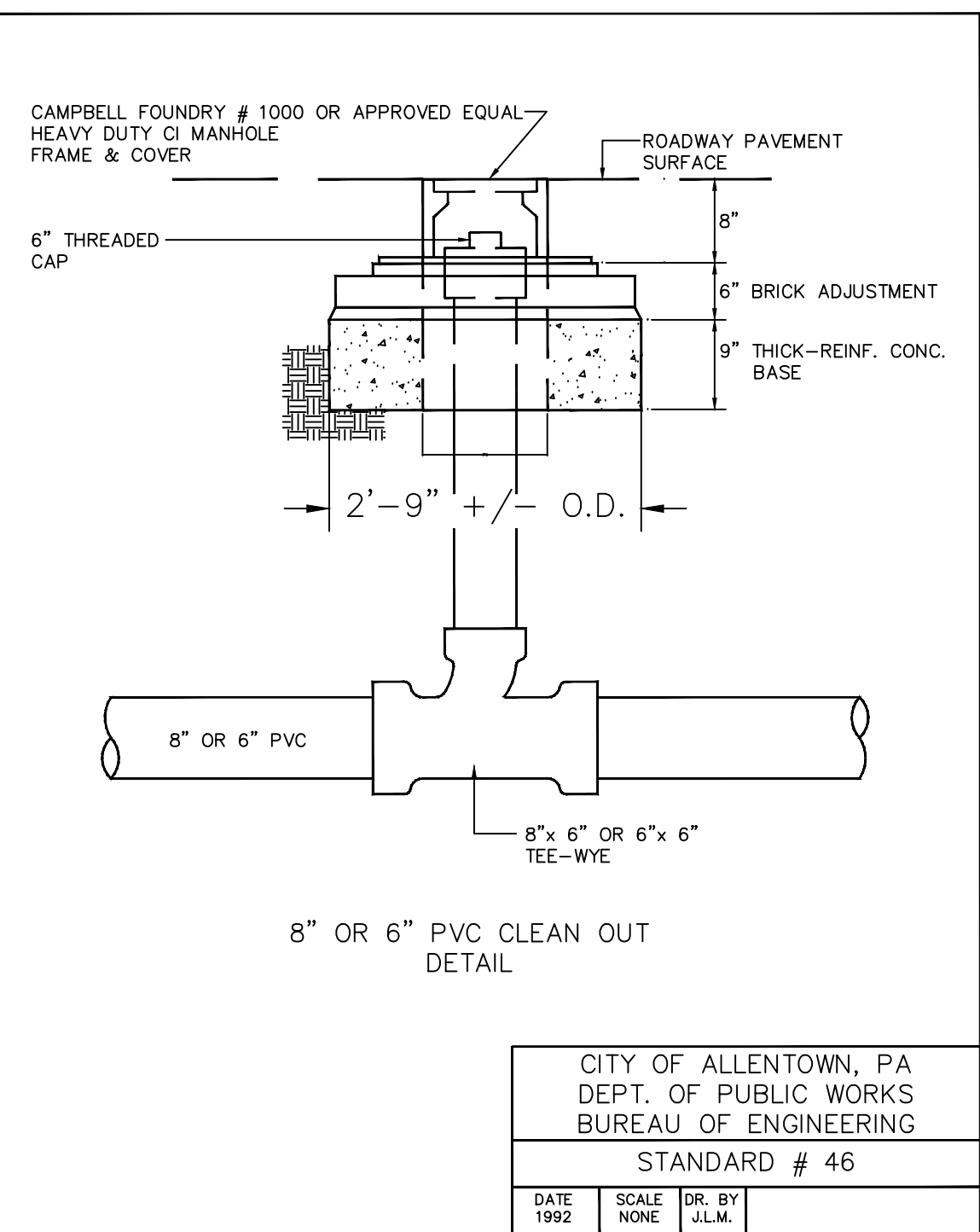
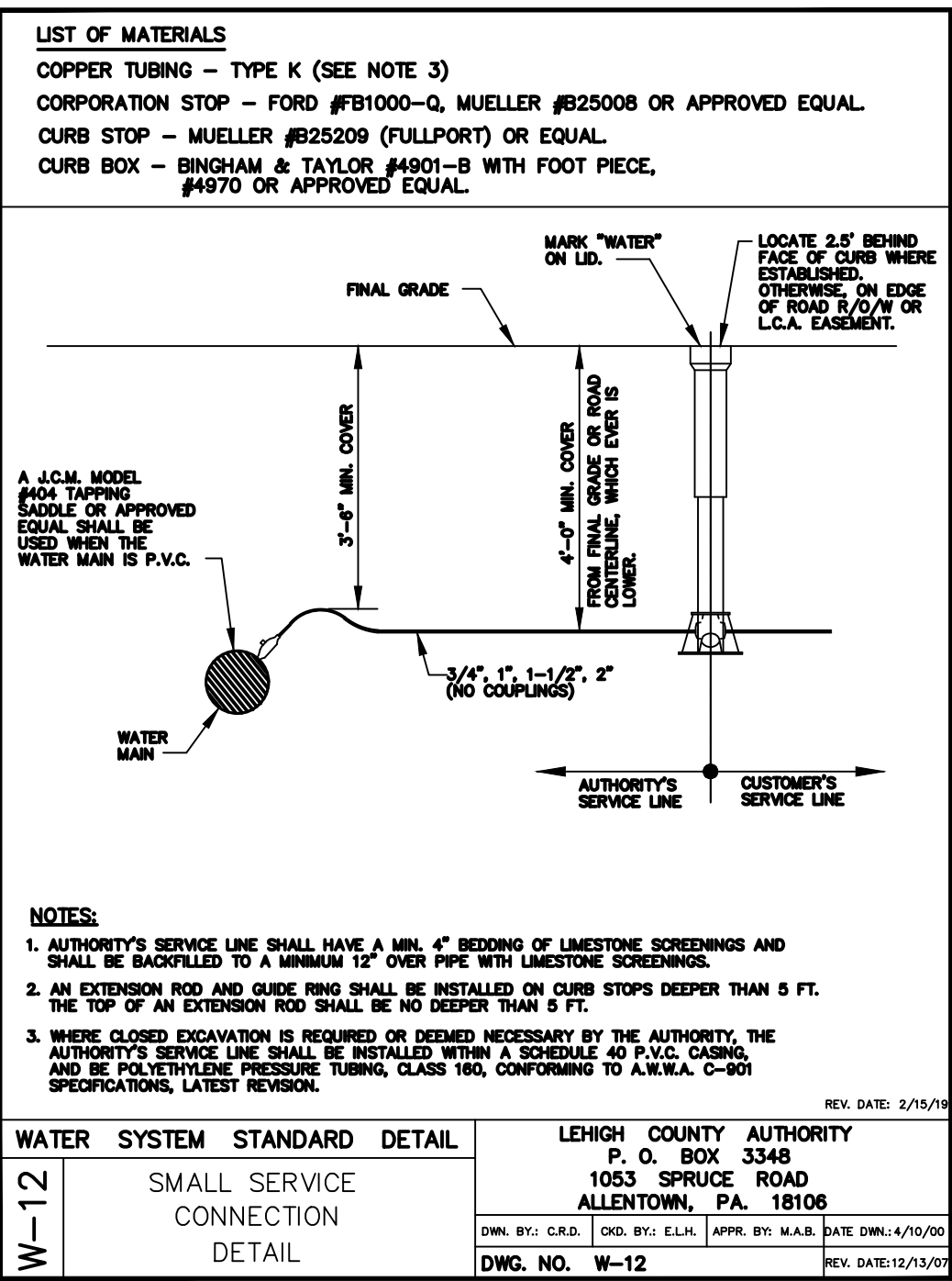
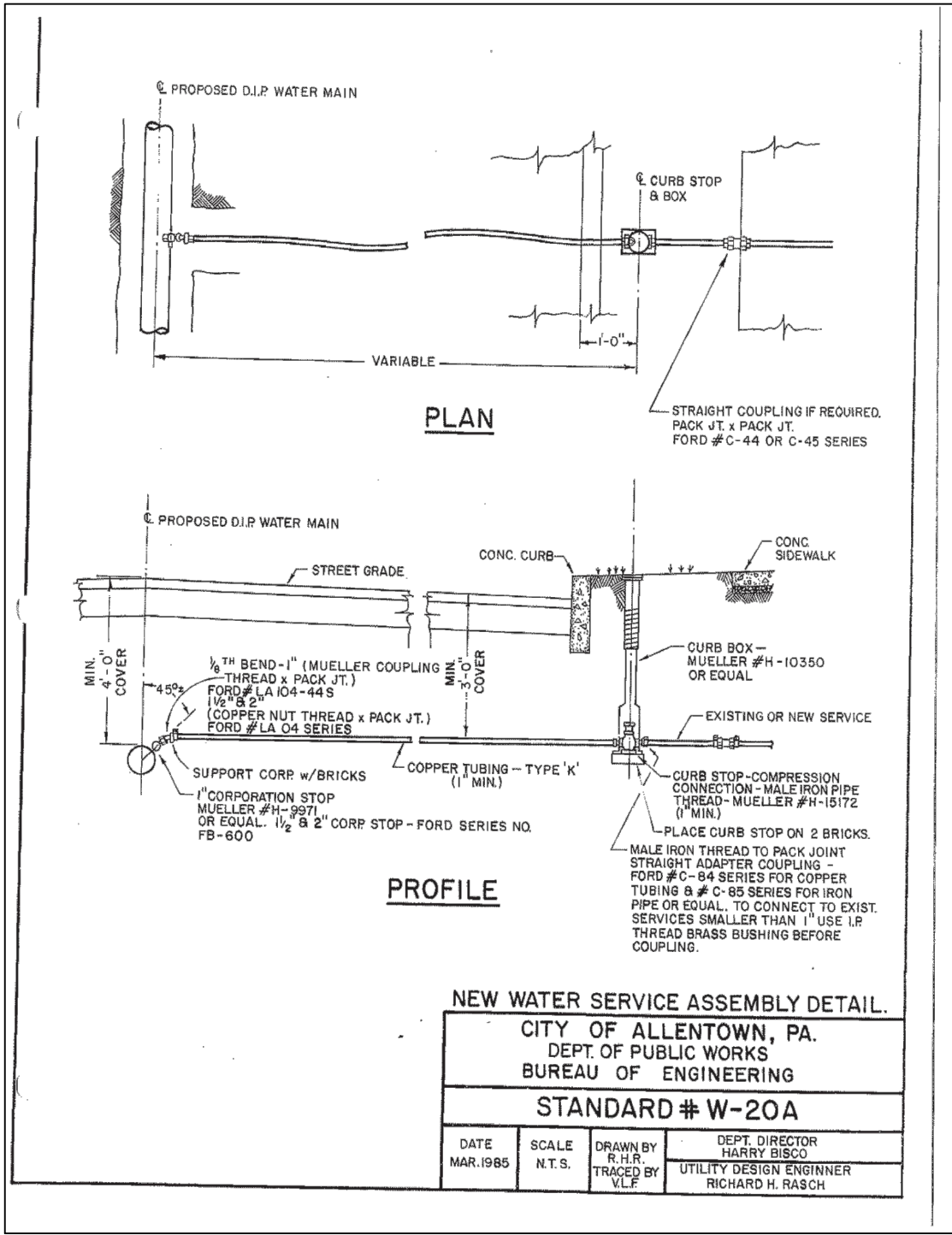
PROJECT LOCATION:

CITY OF ALLENTOWN
1ST WARD
LEHIGH COUNTY
PENNSYLVANIA

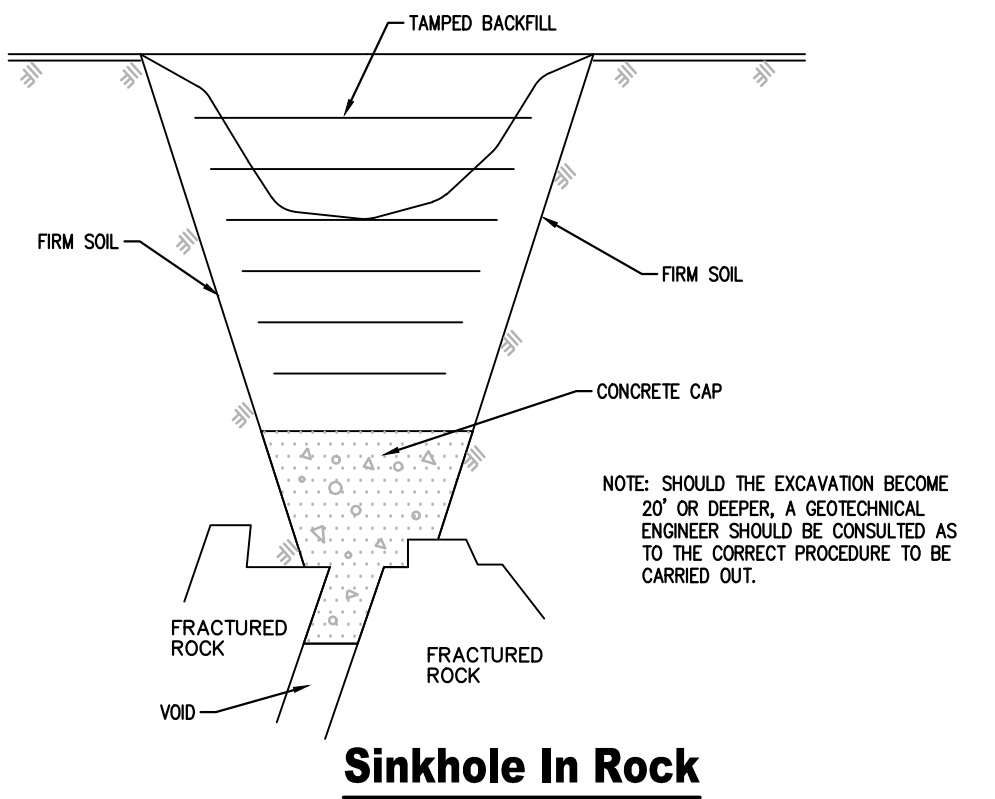
PLAN TITLE:

EROSION CONTROL

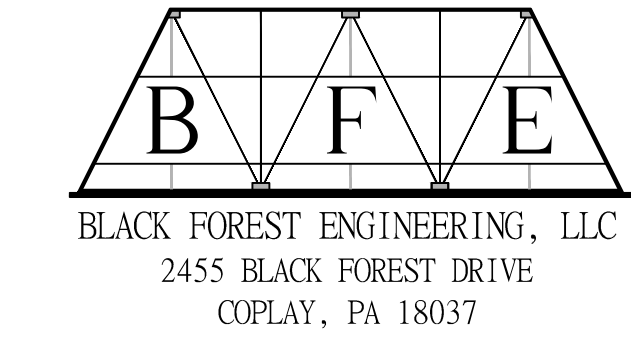
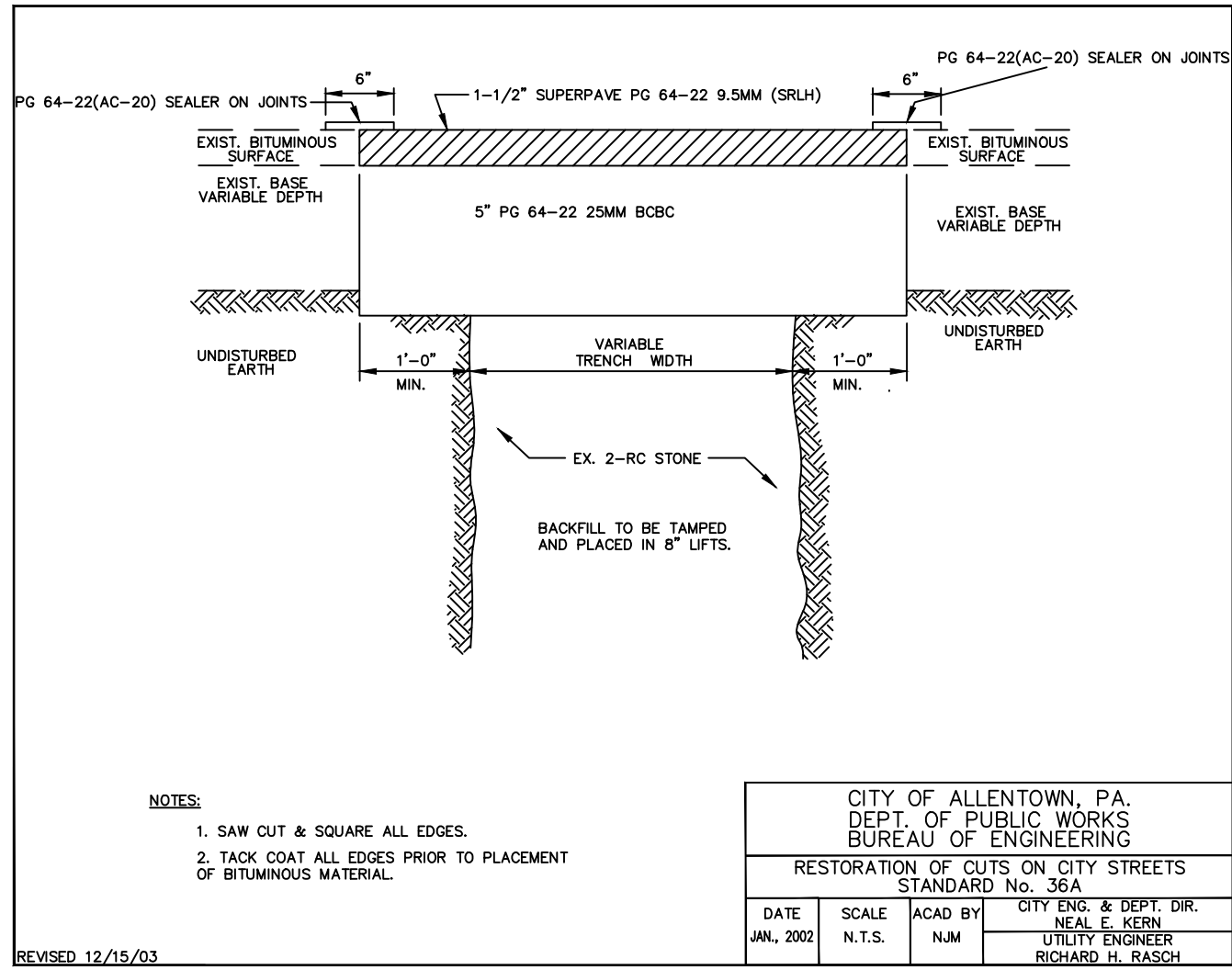
SCALE: 1"=50'	DATE: 9/30/22	DRAWN: DMB	CHECKED: JER
PROJECT NO. 2202	DRAWING NO. 5 OF 8	REVISION: 00	



- NOT TO SCALE
1. THE REPAIR TECHNIQUES AS DESCRIBED BELOW ARE SUITABLE ONLY IF THE SINKHOLE IS LOCATED IN AN OPEN AREA. IF THE SINKHOLE IS LOCATED UNDER OR NEAR A STRUCTURE OR A BUILDING, COMPACTION GROUTING MAY BE NECESSARY FOR REMEDIATION, AS DETERMINED BY A GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.
 2. EXCAVATE DOWN TO ROCK TO SINKHOLE THROAT OR TO A DEPTH OF 15 FEET BELOW GRADE, WHICHEVER OCCURS FIRST.
 3. IF ROCK IS ENCOUNTERED WITHIN 10 FEET, STOP EXCAVATION. THE LIMIT OF EXCAVATION SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER. GENERALLY, A ZONE OF SOFT, IN-FILL MATERIAL WILL BE FOUND WHICH COVERS MOST OF THE BOTTOM OF THE EXCAVATION. COVER THIS AREA WITH A GRADED ROCK FILTER AS SHOWN ABOVE.
 4. BACKFILL HOLE WITH RELATIVELY IMPERMEABLE CLAY SOIL, COMPACT SOIL IN 6" LIFTS WITH A POWER TAMPER OR RAMMER TO AT LEAST 95% OF THE STANDARD PROCTOR.
 5. BACKFILL HOLE ABOVE EXISTING GRADE TO DIVERT SURFACE WATER.



- NOT TO SCALE
1. THE REPAIR TECHNIQUES AS DESCRIBED BELOW ARE SUITABLE ONLY IF THE SINKHOLE IS LOCATED IN AN OPEN AREA. IF THE SINKHOLE IS LOCATED UNDER OR NEAR A STRUCTURE OR A BUILDING, COMPACTION GROUTING MAY BE NECESSARY FOR REMEDIATION, AS DETERMINED BY A GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.
 2. EXCAVATE DOWN TO BEDROCK OR TO THE SINKHOLE THROAT .
 3. EXPOSE THE ROCK SURFACE BY WASHING THE AREA WITH A SMALL HOSE WATER SPRAY AND INSTALL HIGHSLUMP CEMENT INTO VOIDS AND CREVICES UNTIL VOIDS ARE FILLED AND A CAP COVERS THE AREA. THE LIMIT OF EXCAVATION AND CONCRETE SHALL BE DETERMINED BY THE ENGINEER.
 4. AFTER CONCRETE HAS SET OVERNIGHT, BACKFILL HOLE WITH RELATIVELY IMPERMEABLE CLAY SOIL, COMPACT SOIL IN 6" LIFTS WITH A POWER TAMPER OR RAMMER TO AT LEAST 95% OF THE STANDARD PROCTOR. THE TOP THREE(3) FEET SHALL BE BACKFILLED WITH 2RC CRUSHED AGGREGATE.
 5. BACKFILL HOLE ABOVE EXISTING GRADE TO DIVERT SURFACE WATER.
 6. WHEN SINKHOLE IS UNDER A PROPOSED UTILITY, CONCRETE IS TO BE SET 6" BELOW THE UTILITY TO ALLOW FOR A STONE BEDDING.



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SEAL:

JOSEPH E. RENTKO, P.E. #PE085609
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
270-239-4469

REV: DESCRIPTION: BY DATE

PROJECT TITLE:

NATHAN'S FAMOUS
HOT DOGS

PROJECT OWNER:
328 WEST LINDEN, LLC
727 N MEADOW ST
ALLENTOWN, PA 181024

PROJECT LOCATION:

CITY OF ALLENTOWN
1ST WARD
LEHIGH COUNTY
PENNSYLVANIA

PLAN TITLE:
CONSTRUCTION DETAILS

SCALE: AS NOTED DATE: 9/30/22 DRAWN: DMB CHECKED: JER

PROJECT NO. 2202 DRAWING NO. 8 OF 8 REVISION: 00