

____ Sketch
____ Preliminary
XX Final

FILE NO.: LMA-2022-00009
51220 - BAKSH ED
LMA-2022-00009 Land Development-Major
Payment Amount: 3,045.00

SUBDIVISION AND LAND DEVELOPMENT APPLICATION
CITY OF ALLENTOWN
ALLENTOWN CITY PLANNING COMMISSION

DATE: 05.10.22

NAME OF SUBDIVISION: Proposed Popeyes Restaurant w/ Drive-thru
ADDRESS OF SUBDIVISION: 701 North 19th Street
PROPERTY OWNER: CAL4 Associates, LLC
ADDRESS: 5050 Tilghman St.
CITY, STATE, ZIP: Allentown, PA 18104
E-MAIL ADDRESS: stewart.furmansky@gmail.com
PHONE #: _____ FAX#: _____

APPLICANT (If other than owner): Allentown PA Development, LLC c/o Ed Baksh
ADDRESS: 201 Route 17 N, Suite 302
CITY, STATE, ZIP: Rutherford, NJ 07070
E-MAIL ADDRESS: ed.baksh@pnrestaurants.com
PHONE #: 908-531-8021 FAX#: _____

SURVEYOR/ENGINEER/ATTORNEY: Site Design Concepts, Inc.
ADDRESS: 127 West Market St., Suite 200
CITY, STATE, ZIP: York, PA 17401
E-MAIL ADDRESS: aanderson@sitedc.com
PHONE #: 717-757-9414 FAX #: 717-840-8205

SUBDIVISION CLASSIFICATION: Minor _____ Major _____ Deed Consolidation _____

LAND DEVELOPMENT: Minor _____ Major **XX**

NUMBER OF LOTS: One (1) ACREAGE: 0.55 Acres (23,964 s.f.)

SQ. FT OF FLOOR AREA: Office: _____ Retail: _____ Warehouse: _____ Other: 2,475 s.f.

PROPOSED DEVELOPMENT: Commercial - Restaurant Use

ARE MUNICIPAL UTILITIES AVAILABLE? YES **XX** NO _____

FEE: (Please complete page 2 and enter the fee here): \$ 3,045.00
(The fee must accompany submission)

Note:

1. All materials, including plans, reports and other documentation submitted on behalf of an application become *public records* as defined in the Pennsylvania Right to Know Law, 65 p.s. § 66.1 et. Seq.
2. **Major land developments and all subdivisions must be accompanied by an electronic copy and a hard copy of the site plan (8.5" x 11"), location map, project description, project elevation/rendering, and documentation of Lehigh Valley Planning Commission and Lehigh County Authority submissions.**
3. All new submissions require 10 sets of plans and four (4) copies of all reports.

SIGNATURE OF OWNER, APPLICANT OR AUTHORIZED REPRESENTATIVE:



Signature

Director of Construction

Title



**Mark Hartney, Deputy Director
Community and Economic Development**

City of Allentown
435 Hamilton Street, Allentown, PA 18101-1699
610-437-7610 x2734
mark.hartney@allentownpa.gov

October 18, 2022

Allentown PA Development, LLC
c/o Ed Baksh
201 Route 17 N., Suite 302
Rutherford, NJ 07070

SUBJECT: Proposed Popeyes Restaurant with Drive-thru
701 N. 19th Street
LMA-2022-00009

Dear Mr. Baksh:

At the monthly meeting of the Allentown City Planning Commission held on October 11, 2022, the Commission tabled the application and requested that the application be revised to address the following:

- 1) The comments contained in the our letter of October 10, 2022, a copy of which is attached, to the satisfaction of relevant review units.
- 2) The comments provided in the report by planning staff.
- 3) The comments shared by the Commission at the October 11 meeting, summarized below:
 - Rebuild 19th Street sidewalk;
 - Redesign façade to create height and verticality;
 - Install crosswalk marking;
 - Install bus shelter;
 - Provide bicycle parking;
 - Provide a turning radius at 19th Street;
 - Consider converting Buffalo Street to a one-way street; and
 - Consider the creation of outdoor seating along Tilghman or 19th Street.

If you have any questions, please do not hesitate to contact this office at 610-437-7610 x2734.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Mark Hartney", is written over a light blue horizontal line.

Mark Hartney

xc: Adam Anderson, PE, SEO
City of Allentown (Mark Shahda, David Petrik, Nelson Varughese, Melissa Velez)
File



All comments in the report are advisory.

Meredith Keller
Historic Preservation Planner
Bureau of Planning & Zoning
(610) 437-7630
meredith.keller@allentownpa.gov

Planning & Zoning Staff Report to the Allentown City Planning Commission January 10, 2023

Proposed Fast Food Restaurant with Drive-Thru

Project Title (Number): Popeyes (LMA-2022-00009)

Project Location: 701 N. 19th Street

Type: Major Land Dev't: **Final** Plan

Owner: CAL4 Associates, LLC

Engineer: Site Design Concepts, Inc.
Adam W. Anderson, P.E.

Project Overview:

- Demolition and removal of the restaurant building and on-site amenities (Nostos Restaurant).
- Construction of a new one-story, 2,640 SF commercial fast-food restaurant with drive-thru.

Staff Comments

Staff offers the following comments in response to the December 12, 2022 revised application of the proposed new construction at 701 N. 19th Street, as well as the letter submitted by Robert M. Tucker, Esq., dated December 13, 2022.

1. At its October 11, 2022 meeting, the Planning Commission reviewed a final plan for the proposed fast-food restaurant. At the conclusion of its review, the Commission tabled the application and requested that the applicant revise the plans to address several issues, which were communicated to the applicant in writing following the meeting (see attached letter from Mark Hartney dated October 18, 2022).

In response to the Planning Commission's comments summarized in the letter, **the applicant rejected the following requests for revision:**

- a. *Request to install bus shelter.* The Planning Commission recommended the installation of a bus shelter at the intersection of 19th and Tilghman Streets to increase pedestrian amenities. In its report, Staff also recommended the installation of a bus shelter at this location to improve pedestrian comfort and transit access. Staff noted that Allentown Vision 2030 identifies the intersection as a proposed location for streetscape improvements (p. 216-17, 222). Staff views the installation of a bus shelter as an achievable and impactful streetscape improvement to be implemented as part of a land development at the proposed property. Such installation may be done in coordination with LANTA, which has an ongoing program of this type.
- b. *Provide bicycle parking.* Allentown Vision 2030 advocates throughout for multimodal transportation planning and encourages the implementation of bicycle infrastructure, recognizing that residents rely on various modes of transportation and should be accommodated. The comprehensive plan suggests incorporating bicycle infrastructure in new development as part of its goal for alternative, affordable and efficient transportation options and better transportation access (p. 130). Staff refutes the applicants claim that providing bicycle parking is not their responsibility and contends

that it should be included in the redevelopment plans. This can be installed on-site or in conjunction with the bus shelter.

- c. *Provide a turning radius at 19th Street.* On the other hand, the applicant provided a turning radius at 19th Street, which is illustrated on Sheet C-10, Delivery Truck Turning Exhibit. Staff finds the turning radius provided in the revised application satisfies the Planning Commission's request.
 - d. *Consider converting Buffalo Street to a one-way street.* The Planning Commission asked that the applicant consider making a formal request to the City to convert Buffalo Street to a one-way street to make traffic movement predictable and safer in anticipation of increased traffic flow generated by the proposed restaurant. It is the applicant's discretion to pursue this suggestion. However, Staff requests clarification on the flow of delivery trucks and other vehicles. At the previous review, a representative of the application stated that trucks would enter on Buffalo Street and exit onto 19th Street; the revised plans show trucks entering from 19th Street and exiting onto Buffalo Street. Staff asks that the applicant confirm the anticipated entry and exit route of delivery trucks.
 - e. *Consider the creation of outdoor seating along Tilghman or 19th Street.* While not a direct goal of the comprehensive plan, the creation of outdoor seating along Tilghman or 19th street would increase public activity and safety and promote community interaction, which are goals of the plan. Staff notes that while the Planning Commission and Staff recommended outdoor seating, the comment was for the applicant's consideration only.
2. The applicant contends that the Traditional Neighborhood Development Overlay District provides optional design guidelines that an applicant may choose to disregard in the design of new construction within the overlay district. However, Section 660-51.D of the zoning code states: "The following design guidelines *shall* be considered in the design of new construction, additions and exterior alterations in the TND Overlay District" (emphasis added). Staff understands this section of the code as a mandate to the municipality to consider the guidelines in reviewing new construction. As written in the code (Section 660-31.U), the TNDO serves four purposes:
- i. To protect the character of Allentown's traditional neighborhoods and promote development that is consistent with the physical form and characteristics of those neighborhoods.
 - ii. To encourage the continued use, appropriate rehabilitation and adaptive reuse of historic buildings.
 - iii. To promote nonresidential development that is designed to promote walkability and is of a scale and design that is compatible with adjoining residential neighborhoods.
 - iv. To carry out the recommendations of the City's Comprehensive Plan, including recommendations to preserve neighborhoods and community character.

Staff comments that the goals of the TND Overlay align with those of Allentown Vision 2030 and that the Planning Commission is charged with ensuring applications for major land development within the TND Overlay support the comprehensive plan and comply with codified ordinances, such as the zoning code. Staff also notes that the TNDO Design Guidelines provide part of the Commission's basis for reviewing the appropriateness of proposed major land developments that fall within the Traditional Neighborhood Development Overlay District. Non-observance of the TNDO Design Guidelines requires a variance by the Zoning Hearing Board (Section 660-51.D).

3. The previous application included elevation drawings and renderings that showed conflicting design elements and materials. The current application includes revised renderings that closely mirror the previous renderings. It must be understood that Staff is not recommending what designs should be pursued. Rather, Staff would like to encourage more creativity from architects and developers while observing the TNDO design guidelines. For instance, to address the foregoing observations Staff would like to advance the following ideas regarding the design guidelines:
- a. Modern additions and features should be placed toward the rear of a building.
 - i. The proposed project is new construction, and this guideline does not apply.
 - b. New construction should have rooflines that are similar to adjacent buildings. Flat roofs should be avoided, unless they include a decorative cornice in the front. Where a pitched roof is not practical, then the roof should at least appear to have angles and a pitch when viewed from the street.
 - i. The proposed design shows that the building would have a flat roof and no cornice. The design does not satisfy this guideline of the TNDO. Staff suggests that, given the proposed form of the structure, the detailing may reference the historic Art Deco commercial architecture of the nearby Arts District, which largely has flat roofs with parapets. Or, the applicant may wish to consider adding a decorative cornice to satisfy the guideline.
 - c. On sides visible from a street, new construction should use building materials that are similar in appearance to similar, older buildings in close proximity, including brick and stone.
 - i. The renderings submitted are visible from the streets, with primary facades along Tilghman and 19th Streets. The proposed design incorporates stucco and brick into the primary facades in a modern rather than traditional approach. Wood siding is also included. Staff recommends simplifying the materials by eliminating the wood siding and suggests that the building be clad entirely in a buff-colored brick to reference historic buildings in the 19th Street Theatre District.
 - d. Where adjacent buildings have a certain horizontal or vertical orientation, that orientation should be continued in new construction. Where adjacent buildings have a certain spacing of windows and doors, similar spacing (and similar sizes of windows and doors) should be continued in new construction. Blank walls without door and window openings should be avoided along a street.
 - i. The structures in the immediate vicinity consists of two-and-a-half-story residential buildings with one- and two-story commercial buildings. The proposed building is a tall one-story structure but maintains significant horizontality. Staff recommends introducing vertical elements into the design, such as pilasters and Art Deco detailing.
 - ii. The proposed restaurant features a wrap-around glass storefront that spans part of the Tilghman and 19th Street frontages. This feature relates well to the district's large glass commercial storefronts.
 - iii. The building's Buffalo Street façade features two small drive-thru windows, with a single access door at the rear façade. Much of the building consists of blank walls. While the Buffalo Street and rear facades do not front directly onto streets, they are highly visible from the public right-of-way. Staff suggests increasing the number of openings at these locations to reduce the amount of blank space.
 - e. Buildings should include at least two stories. Where a two-story building is not possible, it should have the appearance of a two-story building when viewed from the street (such as using decorative dormers).

- i. As proposed, the building is one story in height with the appearance of two stories. Staff recommends introducing more decorative elements, such as pilasters and cornices to increase verticality.

Summary and Recommendation

1. While staff considers the proposed project an appropriate activity at this location, it raises the following concerns:
 - a. The applicant is unwilling to revise the design of the building to comply with Section 660-51.D TNDO Design Guidelines.
 - b. The applicant is unwilling to provide pedestrian and transportation amenities that have been requested by the Planning Commission and Staff as a means to support the goals of the comprehensive plan.
2. Staff is not inclined to recommend approval of the proposed development unless the applicant agrees to revise the application to satisfy the recommendations of the Planning Commission and Staff.



**Mark Hartney, Deputy Director
Community and Economic Development**

City of Allentown
435 Hamilton Street, Allentown, PA 18101-1699
610-437-7610 x2734
mark.hartney@allentownpa.gov

January 9, 2022

Allentown PA Development, LLC
c/o Ed Baksh
201 Route 17 N., Suite 302
Rutherford, NJ 07070

RE: 701 North 19th Street
(LMA-2022-00009)

Dear Mr. Baksh:

The above referenced major land development plan dated May 16, 2022, last revised December 12, 2022 has been reviewed by the appropriate City offices. We offer the following comments: (If you have any questions, please call the listed phone number.)

Engineering 610-437-7589:

1. All resubmissions must be accompanied by 4 copies of a written response letter addressing each Engineering and Traffic comment and referencing appropriate plan revision locations in the plan set. Attach a copy of the most recent City review letter to your written response.
2. An analysis of existing and proposed sanitary sewage usage will need to be made and submitted. If there is an increase in sanitary flow, a sanitary sewer planning module will need to be proposed, routed through LCA and the City, and submitted to DEP for their review and approval.
3. Provide approval from LCA for the water and sewer connections.
4. Provide PennDOT approved HOP.
5. The sidewalk cross slope on the City's Sidewalk detail should be 1/4" per foot.
6. Prior to final plan signatures for recording, the owner shall sign an operation and maintenance agreement for stormwater BMP's and a Stormwater License agreement for connection to the City stormwater system. The agreement template(s) must be requested from the City Engineering Department (Please contact Mike Lichty at

Michael.Lichty@allentownpa.gov). We encourage the applicant to start the process as soon as possible.

7. A construction sequence must be added to the E&S control plan including a step for a preconstruction meeting with the City. Add inlet protection for Inlet STM EX 1.
8. The Land Development Control Ordinance, § 355-11B indicates that "The horizontal distance from either the toe or top of an excavation or fill slope line shall be five (5) feet or one-half the height of the fill or excavation from any adjoining property or easement line, whichever is greater. This condition is not met along the northern property line of the proposed development. The applicant has requested a waiver.
9. Waivers and variances sought by the applicant and granted by the City of Allentown should be listed on the plan along with the dated granted.
10. A curb grade plan should be submitted for N Buffalo Street due to changes to the design grade. The curb grade plan should show proposed curb elevations at each vertical change and horizontal alignment change. Each horizontal alignment change should be defined from the right-of-way line. The design slopes and a distance between horizontal and vertical changes should be labeled. The plan should also have a project benchmark listed. Please contact City Surveyor, Brian Borzak at brian.borzak@allentownpa.gov with questions.
11. Sheet C-4 should show the existing overhead electric line to the billboard. A utility easement should be proposed encompassing the existing overhead electric line.
12. Proof of plan approval by the Shade Tree Commission must be provided prior to mylar signature.
13. An engineering improvements cost estimate for all public improvements must be prepared and should also include items for E&S controls and maintenance, stormwater BMPs and appurtenant storm sewer. The engineering security cost estimate shall be titled, dated, and signed by a Professional Engineer. The engineering improvements cost estimate for land development escrow must also provide at a minimum a 10% contingency cost, a 5% inspection fee, and a 2% as-built Plans and Profiles in AutoCAD format fee. Also, provide a colored plan depicting the various public improvement items corresponding to the engineering improvements cost estimate.
14. Upon completion of addressing all outstanding comments and at the time of record plan mylar signature by the City Engineer, provide three complete sets of signed and sealed land development plans stamped "FOR CONSTRUCTION" for the Engineering Department's use. Sheets C-5 and C-9 should be provided on mylar after Final Approval.

Traffic: 610-437-7735:

1. All the Traffic Signals are owned and maintained by the City of Allentown. The applicant should bring the traffic signal to current City standards as part of the land development. The City is willing to eliminate the systems upgrade (McCain Controller, Grid Smart Video detection, etc.) part of the original request.
2. The remaining items requested represent the City's minimum standard for traffic signals:
 - a. Change overhead signals to 12" lenses with retroreflective backplates.
 - b. Add hand/Man sign with countdown and push button actuation, 5' push button pole and pedestrian pole.
 - c. Revise the signal permit plan with all the above improvements.
 - d. After project completion, refresh the pavement markings per the signal permit with thermoplastic pavement markings.
3. In consideration of the sentiment expressed by the applicant that the Project does not impact the existing signalized intersection of Tilghman St and N 19th St, the applicant should conduct a traffic and pedestrian study and analysis after the project is complete and the restaurant is operating. The cost for the study, analysis, and implementation of the minimum standard (if necessary), would be required to be secured as part of the Engineer's Public Improvements Cost Estimate.
4. Traffic signal revisions and HOP must be approved by the City and PennDOT.
5. Provide three pedestrian style lights on Northside of Tilghman Street. The plan detail for the streetlight is not showing the city standard pedestrian style lighting and 7-pin telecell photocell. Provide city standard pedestrian style light details with a tabulation chart showing the quantity, type, lumens, wattage, etc. for the fixtures.
6. If you have any questions concerning the Traffic comments and lighting comments, please contact Mr. Varughese at Nelson.Varughese@allentownpa.gov.

Zoning: 610-437-7630:

1. Not meeting TNDO Design Guidelines (**Variance**)
 - a. 660-51D Design guidelines. The following design guidelines shall be considered in the design of new construction, additions and exterior alterations in the TND Overlay District. Some of these features may be required by other sections of this chapter in specific cases.
 1. Modern additions and features should be placed toward the rear of a building.
 2. New construction should have rooflines that are similar to adjacent buildings. Flat roofs should be avoided, unless they include a decorative cornice in the front. Where a pitched roof is not practical, then the roof should at least appear to have angles and a pitch when viewed from the street.

3. On sides visible from a street, new construction should use building materials that are similar in appearance to similar, older buildings in close proximity, including brick and stone.
4. Where adjacent buildings have a certain horizontal or vertical orientation, that orientation should be continued in new construction. Where adjacent buildings have a certain spacing of windows and doors, similar spacing (and similar sizes of windows and doors) should be continued in new construction. Blank walls without door and window openings should be avoided along a street.
5. Buildings should include at least two stories. Where a two-story building is not possible, it should have the appearance of a two-story building when viewed from the street (such as using decorative dormers).

Shade Tree Commission: 610-821-4252:

1. The Shade Tree Commission recognizes the challenges of the site and design to fully comply with the Street Tree Ordinance, however the applicants desire to credit 3 interior trees toward the requirement is not accepted. The applicant shall either find opportunity to accommodate the 3 more trees within or immediately adjacent to the right-of-way or offer cash-in-lieu of planting for the 3 trees. The current cost value to be used is \$401.37 each per the PennDOT ECMS price item history. Should this option be elected, the compliance summary shall be updated accordingly.
2. All other previous comments have been adequately addressed.

When all the comments have been addressed, please submit seven (7) sets of revised plans for further review.

Truly yours,



Mark Hartney

e-copy: City of Allentown (Mark Shahda, David Petrik, Nelson Varughese, Melissa Velez, Michael Lichty, Kyle Sergent)
File

January 3, 2023

The Lehigh and Northampton Transportation Authority (LANTA) has reviewed the submitted Site Layout Plan for the “Proposed Restaurant with Drive-Thru” located at 701 North 19th Street in the City of Allentown and offer the following comments.

LANTA provides public transportation directly to the project site, with a westbound bus stop on Tilghman Street, immediately farside of North Buffalo Street. It is not an ideal bus stop location due to the current access to the parking layout along the side of the existing building on the property. LANTA appreciates all efforts made in the proposed plan to improve the sidewalk and curb along this property frontage on Tilghman Street in between North Buffalo Street and North 19th Street which will allow for a better bus stop location closer to the Tilghman Street and N 19th Street signalized intersection, and will significantly establish a safer boarding/alighting location for both passengers and operators.

For any questions or follow up, please contact me at mwood@lantabus-pa.gov

Molly



Molly S. Wood, AICP
Planner/Land Use Specialist
Lehigh and Northampton Transportation Authority
1060 Lehigh Street, Allentown, PA 18103
PH: 610-439-1376
mwood@lantabus-pa.gov
www.lantabus.com



December 12, 2022

David Petrik, P.E., City Engineer
Department of Public Works
City of Allentown
435 Hamilton Street
Allentown, PA 18101-1699

RE: Allentown PA Development, LLC
Proposed Popeyes Restaurant with Drive-Thru
Final Land Development Plan
Comment Response Letter #2
701 North 19th Street and Tilghman Street
City of Allentown, Lehigh County, PA
SDC #897.10

Dear David,

On behalf of Allentown PA Development, LLC, please find enclosed seven (7) copies of the revised Final Plan for the above referenced project.

We offer the following responses to comment Letter from the Department of Planning and Zoning, dated October 10, 2022 regarding this project:

ENGINEERING:

1. Four (4) copies of a written response letter addressing all comments has been included with this resubmission. A copy of the above referenced comment letter has also been included in the packet.
2. A PA DEP Sewage Facilities Planning Module Exemption request will be completed and included with a future resubmission. SDC has also contacted the LCA and are working through their approval process for additional sewer capacity and the proposed sanitary sewer lateral design.
3. An approval letter from the Lehigh County Authority for water and sewage will be provided prior to final plan approval.
4. A PennDOT HOP will be provided prior to final plan approval. A signal permit is not needed.
5. Surveyors Certification has been revised to match the SALDO.
6. Details for sidewalk, curb and crossover have been added to the plans Sht. C-8.
7. Detectable warning surfaces have been removed from driveway crossing.

8. Operations and maintenance Agreement and Stormwater License Agreement processing is noted prior to recording of plans.
9. Limits of Disturbance (LOD) have been revised and concrete washout added to the Erosion and sediment Control Plans.
10. Waiver requested as noted and the location revised to Northern.
11. Waivers and variances requested and/or approved are noted on Sheet C-1.
12. Curb grade and elevations for the proposed curb on N. Buffalo Street is being prepared for review and will be submitted upon completion.
13. The existing OH Elec. Line has been added as well as the billboard to the plans.
14. We have searched all documents, deeds, etc. for an existing easement width associated with the electric line and have not found any documents referencing an easement width. We believe that it is an assumed blanket easement.
15. Shade Tree Commission approval to be provided when received.
16. A cost estimate for public improvements will be prepared and a colored plan submitted once we have the land development plans closer to final approvals.
17. Three complete sets of signed and sealed land development plan shall be stamped "FOR CONSTRUCTION" for the Engineering Department's use. Sheets C-5 and C-9 (formerly C-8) shall be provided on mylar after final approval.

TRAFFIC:

1. All existing geometry, signals, ramps, signage and pavement markings on N. 19th St. and Tilghman St. have been added to the plans
2. Signal and pedestrian improvements are not required. A PennDOT HOP will be applied for improvements made within the State roadways.
3. Lighting information is shown on Sheet LP-1.
4. Noted.

ZONING:

1. The Zoning Application will be submitted at the Building Permit application process.
2. Angle parking has been removed from the project site. Proposed parking space count has been revised and now proposes 11 parking spaces.

SHADE TREE COMMISION:

1. Street tree requirements have been revised and updated on plan for requirements.
2. The northern most tree has been retained and all proposed street trees are located within the requested grass strip between the curb and sidewalk.
3. We have added the required total 13 street trees as required however due to the proposed driveways, sight lines and existing utilities, we have placed three (3) trees within the project site. If this is not acceptable, we will provide a fee in lieu of for the three (3) trees.

We offer the following responses to the Planning and Zoning Staff Report, dated October 11, 2022 regarding this project:

Staff Recommendations:

- a. Acknowledged
- b. Further revisions requested:
 - i. Revised color renderings have been included with this resubmission which are consistent with the Building Plans previously submitted.
 - ii. Per the Planning Commission members' feedback, the renderings have been updated to be consistent with the building plans previously submitted which included additional glass façade treatments rather than stucco.
 - iii. The proposed building signage will utilize gooseneck lights rather than internal illumination of the signage.
 - iv. The landscaping plan has been updated to specify that the interior of the drive-thru area will be landscaped as lawn and trees. Additional, landscape features have been included per the Planning Commission's feedback.

If you have any questions or require further information, please do not hesitate to contact me.

Respectfully,
SITE DESIGN CONCEPTS, INC.



Adam W. Anderson, P.E.

CC: File
Mr. Ed Baksh, Allentown PA Development, LLC

December 12, 2022

David Petrik, P.E., City Engineer
City of Allentown
435 Hamilton Street
Allentown, PA 18101-1699

RE: Proposed Popeye's Restaurant w/ Drive-Thru – 701 North 19th Street

Dear Mr. Petrik:

I represent Allentown PA Development, LLC (“**Applicant**”) in connection with the above-referenced- project concerning the property located at 701 North 19th Street in the City of Allentown (“**Property**”). On May 16, 2022, Applicant filed a final land development application, including plans, and related materials for the redevelopment of the Property. The Applicant proposes to demolish the existing 4,525 square foot restaurant located at the Property and to construct a 2,475 square foot drive-thru restaurant (“**Project**”). Revisions were submitted on September 9, 2022 in response to comments received from City staff. Subsequently, Applicant received further comments on the resubmission, including comments from the Allentown City Planning Commission on October 11, 2022. In response to these additional comments, Applicant is submitting revised materials and supplemental information in connection with its application.

I. SUBMISSION.

I hereby submit the following materials.

1. Seven (7) copies of the revised plan set entitled “Final Land Development Plan Proposed Restaurant with Drive-Thru for Allentown Development, LLC,” **last revised December 12, 2022.**
2. Four (4) copies of a response letter to the review letter from the Department of Planning and Zoning dated October 10, 2022, compiled by Site Design Concepts.
3. Revised Building Renderings per Planning Commission feedback.
4. An electronic copy of the submission materials in PDF format.

II. GENERAL PLAN COMMENTS/OPEN ISSUES.

There are a few open issues that need to be resolved.

A. Comments from Planning Commission.

In a letter dated 10/18/22, Mark Hartney, Deputy Director of Community and Economic Development for the City, summarized comments that were made by the Planning Commission at its meeting on 10/11/22. Specifically, Comment No. 3 provides the following requests that were made to the Applicant:

- Rebuild 19th Street sidewalk. Applicant will comply.
- Redesign façade to create height and verticality. Applicant has
- Install crosswalk marking
- Install bus shelter
- Provide bicycle parking
- Provide a turning radius at 19th street.
- Consider converting Buffalo Street to a one-way street
- Consider the creation of outdoor seating along Tilgham or 19th Street.

The Applicant will rebuild the 19th Street Sidewalk. Further, Applicant has redesigned the façade in a manner that aligns with the Planning Commission’s comments to include more glass façade rather than stucco, in accordance with City Code §660-51(D)(5).

However, the Applicant does not believe it is required to agree to the remainder of the requests (crosswalk marking, bus shelter, , convert Buffalo Street to a two-way street, and create outdoor seating) made by the Planning Commission and it does not intend to do so. Applicant requests that the City provide documentation regarding any justification for the requests noted above.

B. Design Guidelines – TNDO Overlay District.

There have been numerous comments in the City’s reviews concerning the “design guidelines” for new construction in the Traditional Neighborhood Development Overlay District (“**TNDO District**”). See §660-51(D) of the Code. These “design guidelines” are exactly that -- guidelines. The “design guidelines” are not

requirements, and the Applicant disagrees with the City to the extent the City believes the guidelines impose mandatory requirements on this Project.

However, the latest plans do show a redesigned façade which includes more glass along the ‘store-front’, consistent with the “design guidelines.”

C. Traffic Signal and Pedestrian Improvements.

“Traffic” Comment No. 2 in the City’s October 10, 2022 review letter requests that the Applicant provide the following improvements:

1. Change overhead signals to 12” lenses with reflective backplates;
2. Add hand/Man sign with countdown and push button actuation, 5’ push button pole and pedestrian pole;
3. Provide McCain controller with GridSmart video detection to accommodate pedestrian actuation and update signal detection;
4. After the intersection construction, repaint pertinent pavement markings as per the signal permit;
5. Revise the signal permit plan with all the above improvements; and
6. Traffic signal revisions and HOP must be approved by the city and PennDOT.

Applicant does not agree to provide the above-mentioned signal and pedestrian improvements and the City lacks any basis/justification to require Applicant to do so. The Project does not impact the existing signalized intersection at Tilgham Street and 19th Street. PennDOT provided comments in response to Applicant’s Transportation Impact Study Determination and Scoping Meeting Application and PennDOT did not indicate that the extraordinary improvements requested by the City would be necessary. As previously stated, the Applicant will obtain a HOP and signal permit from PennDOT prior to final plan approval.

Applicant requests additional information/documentation from the City which would support its request for these improvements.

III. REVIEW.

Please submit the revised plans, the additional materials and these responses to the appropriate City staff, consultants and bodies for review, prior to the scheduled public meetings and the public hearing for the application. Please provide us with copies of all reviews, correspondence, notices and other documentation relating to this Project as soon as they are generated and/or received. Please contact us immediately if you have any questions or require any further information to process this application.

David Petrik, P.E., City Engineer
City of Allentown
December 12, 2022
Page 4

Sincerely,



Robert M. Tucker

RMT
Enclosure

cc: Adam Anderson, P.E.
Ed Baksh, Allentown PA Development, LLC

FINAL LAND DEVELOPMENT PLAN PROPOSED RESTAURANT WITH DRIVE-THRU FOR ALLENTOWN PA DEVELOPMENT, LLC

701 NORTH 19TH STREET - 11TH WARD - PIN 549721933772
CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA

PREPARED FOR:
ALLENTOWN PA DEVELOPMENT, LLC
201 ROUTE 17 N, SUITE 302
RUTHERFORD, NEW JERSEY 07070



SITE DESIGN CONCEPTS, INC. HAS MET THE OBLIGATIONS OF PA ACT 121 OF THE PENNSYLVANIA GENERAL ASSEMBLY IN PREPARING THIS PLAN. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTORS SHOULD CONSULT PA ON CALL SYSTEM (1-800-342-1770) PRIOR TO ANY EXCAVATION AS REQUIRED BY THE PA ACT 121, AS PER THE LATEST AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 09, 2008.

DESIGN SERIAL NUMBER 2022019021 (ALLENTOWN CITY)

LEHIGH COUNTY AUTHORITY
1053 SPRUCE ROAD, PO BOX 3548
ALLENTOWN, PA 18106
CONTACT: JASON PETERS
EMAIL: JASON.PETERS@LEHIGHCOUNTYAUTHORITY.ORG

UCI UTIL LANCMASTER
202 CITY LINE ROAD
BETHLEHEM, PA 18017
CONTACT: TIMOTHY STEWARD
EMAIL: TSTEWARD@UCI.COM

CITY OF ALLENTOWN
441 S 15TH STREET
ALLENTOWN, PA 18103
CONTACT: ADAM FISHER
EMAIL: ADAM.FISHER@ALLENTOWNPA.GOV

USBC LOCATING SERVICES
230 USBC SOUTH RIVER ROAD, SUITE 300
ROCKFORD, IL 61240
CONTACT: JEFFREY TRUMBOWER
EMAIL: JEFFREY@TRUMBOWERUSBC.COM

PEL ELECTRIC UTILITIES CORPORATION
434 BIRCHMOUNT TRAIL
NORTHUMBLEDIA, PA 17851
CONTACT: DOUG HAUPF
EMAIL: DOUGHA@PELPOWER.COM

PARCEL IDENTIFICATION NUMBER		
LOT NO.	STREET ADDRESS	PIN
1	701 19th STREET	549721933772



LOCATION MAP
SCALE 1" = 2,000'
COPYRIGHT BY: ADC THE MAP PEOPLE (PERMITTED USE NUMBER BLD680722)

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

(OWNER - INSTRUMENT NO. 7376822)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LEHIGH

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME,
_____, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY
APPEARED _____, BEING _____ OF
_____, TO ME KNOWN OR PROVEN, BEING DULY
SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE
OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN
THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE
THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE
RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.

CORPORATE OFFICER SIGNATURE

CORPORATE OFFICER PRINTED NAME

TITLE

NOTARY PUBLIC

NOTARY STAMP SEAL

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

(EQUITABLE OWNER - INSTRUMENT NO. 7376822)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LEHIGH

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME,
_____, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY
APPEARED _____, BEING _____ OF
_____, TO ME KNOWN OR PROVEN, BEING DULY
SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE
EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN
THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE
THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE
RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.

CORPORATE OFFICER SIGNATURE

CORPORATE OFFICER PRINTED NAME

TITLE

NOTARY PUBLIC

NOTARY STAMP SEAL

FINAL LAND DEVELOPMENT PLAN SHEET INDEX

DRAWING SHEET NO.	DRAWING TITLE	• - DENOTES TO BE RECORDED
C-1	TITLE SHEET	
C-2 •	PLAN LEGEND AND NOTES SHEET	
C-3 •	EXISTING SITE CONDITIONS AND DEMOLITION PLAN	
C-4	SITE LAYOUT PLAN	
C-5 •	SITE GRADING AND UTILITY PLAN	
C-6 •	SITE LANDSCAPE PLAN	
C-7 •	SITE DETAILS	
C-8	SITE DETAILS	
C-9	STORM SEWER PROFILE AND DETAILS	
C-10	DELIVERY TRUCK TURNING EXHIBIT PLAN AND SITE DETAILS	
LP-1	SITE LIGHTING PLAN	

SOIL EROSION AND SEDIMENTATION CONTROL SHEET INDEX

DRAWING SHEET NO.	DRAWING TITLE
SE-3	SOIL EROSION AND SEDIMENTATION CONTROLS SITE PLAN
SE-4	SOIL EROSION AND SEDIMENTATION NOTES AND DETAILS

WAIVER/MODIFICATION REQUESTS

THE FOLLOWING WAIVER(S) FROM THE CITY OF ALLENTOWN SUBDIVISION AND LAND DEVELOPMENT ORDINANCE HAVE BEEN REQUESTED AND APPROVED BY THE CITY OF ALLENTOWN PLANNING COMMISSION AT A MEETING HELD ON _____.

SECTION 300-11.8 WHICH REQUIRES THE HORIZONTAL DISTANCE FROM EITHER THE TOP OR TOP OF AN EXCAVATION OR FILL SLOPE LINE SHALL BE FIVE (5) FEET OR ONE-HALF THE HEIGHT OF THE FILL OR EXCAVATION FROM ANY ADJOINING PROPERTY OR EASEMENT LINE, WHICHEVER IS GREATER.

WAIVER IS REQUESTED TO NOT PROVIDE THE HORIZONTAL DISTANCE FIVE (5) FEET OR ONE-HALF THE HEIGHT OF THE FILL OR EXCAVATION ON THE NORTHERN PORTION OF THE SITE.

SURVEYOR

I HEREBY STATE THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE, ON THE GROUND, THAT IT IS CORRECT, AND AT THE TIME THE SURVEY WAS MADE, THERE WERE NO EASEMENTS OR ENCROACHMENTS ACROSS PROPERTY LINES, OTHER THAN THOSE SHOWN.

GRANT ALLEN ANDERSON, P.L.L.C.
REGISTRATION NO. 91039471
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE _____ SEAL _____

ENGINEER

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE PROPOSED LAND DEVELOPMENT PLAN AND STORM SEWER DESIGN SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE CITY OF ALLENTOWN SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. COPYRIGHT BY AND FOR:

ADAM W. ANDERSON, P.E.
REGISTRATION NO. PE 079416
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE _____ SEAL _____

LANDSCAPE ARCHITECT

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, THE PROPOSED LANDSCAPE DESIGN SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE CITY OF ALLENTOWN SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. COPYRIGHT BY AND FOR:

ROBERT G. SANDMEYER, JR., P.L.A.
REGISTRATION NO. LA-009023
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE _____ SEAL _____

PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, IN DOCKET NO. _____ ON THE _____ DAY OF _____, 20____.

WITNESS MY HAND AND SEAL OF OFFICE THIS DAY OF _____, 20____.

WITNESS

RECORDER OF DEEDS

NO.	DATE	REVISIONS	COMMENTS
1	12/12/22	REVISED PER CITY STAFF COMMENTS	
2	12/12/22	REVISED PER CITY STAFF COMMENTS	

site design concepts
LAND DEVELOPMENT CONSULTANTS

197 WEST MARKET STREET, SUITE 200 • YORK, PA 17401
TEL: 717.757.8414 • F: 717.840.8205 • WWW.SITEDCC.COM

Civil Engineering • Surveying • Landscape Architecture • Land Planning • Environmental Consulting

TITLE SHEET

PROPOSED RESTAURANT WITH DRIVE-THRU
ALLENTOWN PA DEVELOPMENT, LLC
701 NORTH 19TH STREET - 11TH WARD - PIN 549721933772
CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA

TRACT OWNER INFORMATION		SCALE	AS NOTED
C&L ASSOCIATES, LLC 5000 TULGAMAN ST, SUITE 115 ALLENTOWN, PA 18104-8114			
ENGINEER			
ADAM W. ANDERSON, P.E. REGISTRATION NO. PE 079416 (AGENT FOR SITE DESIGN CONCEPTS, INC.)			
DRAWN BY	SAH		
CREATED BY	AWA		
CONTACT	AWA		
DATE	05.16.22		
FILE NAME			
	897.10-LD-1		
JOB NO.	897.10		
SHEET NO.	REV		
	C-1		2

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PLAN LEGEND

Table with 4 columns: Symbol, Description, Symbol, Description. Lists various utility lines, structures, and materials with their corresponding symbols and colors.

UTILITY NOTES

- 1. UNDER ANY PART OF THE PROPOSED DRIVEWAY SYSTEM TO BE CONSTRUCTED FROM 20x20-30 PUC...
2. CONFORMANCE WITH THE CITY OF ALLENTON'S DESIGN STANDARDS...
3. NECESSARY PERMITS SHALL BE OBTAINED BY THE CONTRACTOR TO PROTECT EXISTING UTILITY SERVICES AND MANHOLES...

STORMWATER MANAGEMENT FACILITIES CONSTRUCTION NOTES (AS APPLICABLE)

- 1. SITE PREPARATION: WORK SHALL BE CLEARED, CHISELED AND STRIPPED TO EXPOSE...
2. EARTH FILL: ALL MATERIAL SHALL BE TAKEN FROM APPROVED SOURCE AREAS...
3. PLACEMENT: GREAT OR MORE SHALL BE PLACED SHALL BE STAMPED PRIOR TO PLACEMENT...
4. CUTOFF TRENCH: SHALL BE EXCAVATED WITH MATERIALS ALONG OR PARALLEL TO THE CENTERLINE...

SINKHOLE PRONE SOILS

ANY PORTION OF THE SITE THAT IS UNSTABLE BY HISTORIC OR POTENTIAL FUTURE GROUND WATER COLLAPSE ACTIVITY AND FORMATION OF SHIMMLES IF SHIMMLES ARE DISCOVERED DURING CONSTRUCTION OPERATIONS...

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

Form for Certificate of Ownership, Acknowledgment of Plan and Offer of Dedication. Includes fields for Plan No., Date, and Signatures of Owner and Notary Public.

GENERAL CONSTRUCTION NOTES

- 1. PRIOR TO COMMENCEMENT OF PROJECT, CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE WITH THE OWNER...
2. UTILITY LOCATIONS: CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION...
3. EARTH FILL: ALL MATERIAL SHALL BE TAKEN FROM APPROVED SOURCE AREAS...
4. CUTOFF TRENCH: SHALL BE EXCAVATED WITH MATERIALS ALONG OR PARALLEL TO THE CENTERLINE...

GEOTECHNICAL NOTES

- 1. THE SITE IS GENERALLY SUITABLE FOR CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS...
2. CLEARING, GRADING, AND OTHER SITE PREPARATION OPERATIONS SHALL BE COMPLETED IN ADVANCE OF ANY FUNDING OPERATIONS...
3. SOILS SHALL BE TESTED BY PLACING IN LIFTS NOT TO EXCEED 6" IN THICKNESS AND DENSITY AND AROUND THE SOIL...
4. STRUCTURAL FILL SUPPORTING FOUNDATIONS, SLABS, AND ROADWAYS WITH MINIMUM BENCHMARKS SHALL BE PLACED IN LIFTS...

LAND DEVELOPMENT NOTES

- 1. THE PURPOSE OF THIS LAND DEVELOPMENT PLAN IS TO DETECT THE QUALITY OF AN EXISTING RESTAURANT...
2. IMPROVED SIDEWALKS: IMPROVED SIDEWALKS SHALL BE CONSTRUCTED WITH DRIVE-THRU...
3. EXISTING LAND TRACTS: EXISTING LAND TRACTS ARE ZONED...
4. MINIMUM REQUIRED LOT WIDTH: MINIMUM REQUIRED LOT WIDTH: 45 FT. FOR CORNER LOTS...
5. MINIMUM REQUIRED LOT AREA: MINIMUM REQUIRED LOT AREA: 2,000 SQ. FT. FOR CORNER LOTS...

SURVEYOR

I HEREBY STATE THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE ON THE RECORD, THAT IT IS CORRECT AND, AT THE TIME THE SURVEY WAS MADE, THAT THE SAME IS TRUE...

PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, IN BOOK 017 OF THE...
WITNES MY HAND AND SEAL OF OFFICE THIS DAY OF 20__ AT ALLENTON, PA.

LEHIGH VALLEY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION. DATE: 05/16/22

TRACT OWNER INFORMATION

Table with 2 columns: Field Name, Value. Includes Owner Name (Call Associates, LLC), Address, and Registration No.

PLAN LEGEND AND NOTES SHEET

Complex block containing 'site design concepts LAND DEVELOPMENT CONSULTANTS' logo, contact information, and a vertical title 'PROPOSED RESTAURANT WITH DRIVE-THRU FOR ALLENTOWN, PA. DEVELOPMENT, LLC'.

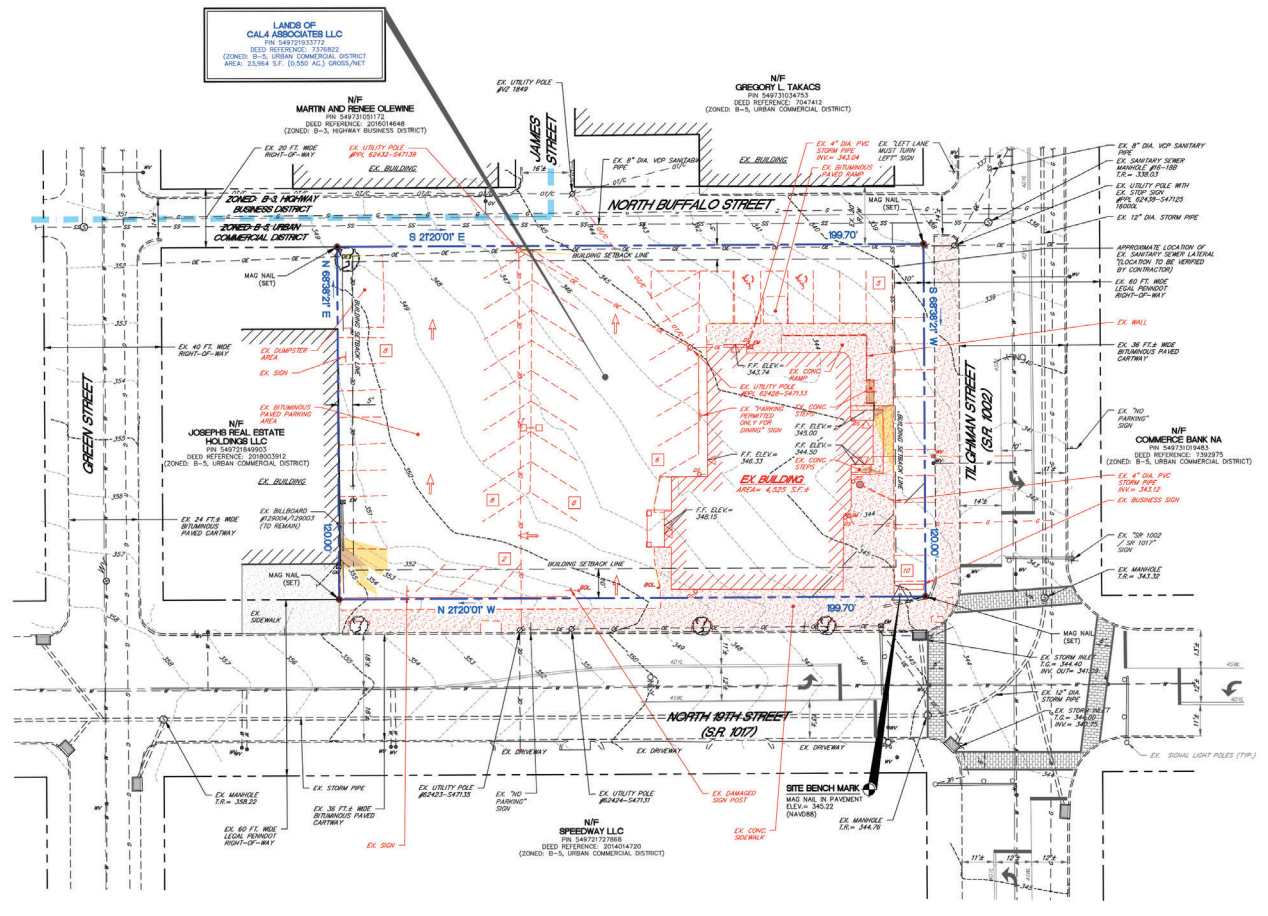
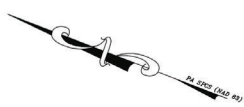
PLAN LEGEND AND NOTES SHEET

Complex block containing 'PROPOSED RESTAURANT WITH DRIVE-THRU FOR ALLENTOWN, PA. DEVELOPMENT, LLC' logo, contact information, and a vertical title 'PROPOSED RESTAURANT WITH DRIVE-THRU FOR ALLENTOWN, PA. DEVELOPMENT, LLC'.

TRACT OWNER INFORMATION

Table with 2 columns: Field Name, Value. Includes Owner Name (Call Associates, LLC), Address, and Registration No.

Complex block containing 'PLAN LEGEND AND NOTES SHEET' title, 'PROPOSED RESTAURANT WITH DRIVE-THRU FOR ALLENTOWN, PA. DEVELOPMENT, LLC' logo, and a vertical title 'PROPOSED RESTAURANT WITH DRIVE-THRU FOR ALLENTOWN, PA. DEVELOPMENT, LLC'.



LANDS OF
CALA ASSOCIATES LLC
PH: 5497215377
DEED REFERENCE: 2019014448
(ZONED: B-3, URBAN COMMERCIAL DISTRICT)
AREA: 33,884 S.F. (0.78 AC) CROSSWALK

NIP
MARTIN AND RENEE OLEWINE
PH: 5497102114
DEED REFERENCE: 2019014448
(ZONED: B-3, URBAN COMMERCIAL DISTRICT)

NIP
GREGORY L TAKACS
PH: 5497202423
DEED REFERENCE: 20147412
(ZONED: B-3, URBAN COMMERCIAL DISTRICT)

NIP
JOSEPH'S REAL ESTATE
HOLDINGS LLC
PH: 5497214000
DEED REFERENCE: 2019030912
(ZONED: B-3, URBAN COMMERCIAL DISTRICT)

NIP
COMMERCE BANK NA
PH: 5497201483
DEED REFERENCE: 2302975
(ZONED: B-3, URBAN COMMERCIAL DISTRICT)

NIP
SPEEDWAY LLC
PH: 5497212788
DEED REFERENCE: 201404720
(ZONED: B-3, URBAN COMMERCIAL DISTRICT)

- ### SITE DEMOLITION NOTES
- IN ADDITION TO THIS PLAN, THE SITE LAYOUT PLAN, SITE GRADING PLAN, SITE UTILITY PLAN, AND SITE LANDSCAPE PLAN SHALL BE USED BY THE CONTRACTOR TO DETERMINE THE LIMITS OF EXISTING IMPROVEMENTS TO BE DEMOLISHED AND REMOVED IN ORDER TO ALLOW THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. ANY QUESTIONS OR CONCERNS REGARDING THE LIMITS OF PROPOSED SITE DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF SITE DESIGN CONCEPTS, INC. PRIOR TO THE START OF CONSTRUCTION.
 - ALL PROPOSED SITE DEMOLITION AND DISPOSAL OF DEMOLISHED MATERIALS SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE JURISDICTION OVER SUCH OPERATIONS AS APPLICABLE.
 - CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER PRIOR TO THE REMOVAL OR DISPOSAL OF ANY EXISTING SITE IMPROVEMENTS, INCLUDING, BUT NOT LIMITED TO, PAVING, TREES, SHRUBS AND OTHER PLANTINGS AND SIGNS. STORAGE OF ANY SALVAGED MATERIALS SHALL BE COORDINATED WITH THE OWNER.
 - REFER TO AND REVIEW THE GENERAL CONSTRUCTION NOTES ON DWG. SHIT. C-2 PRIOR TO THE START OF DEMOLITION WORK. ALL DEMOLISHED SITE MATERIALS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED LOCATION, UNLESS APPROVED OTHERWISE BY OWNER.
 - ANY EXISTING BITUMINOUS PAVING, CONCRETE CURBS, CONCRETE PADS, SIDEWALK, UTILITY OR OTHER EXISTING IMPROVEMENT (SCHEDULED TO REMAIN) THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REMOVED AND REPLACED, OR REPAIRED WITH MATERIALS EQUAL TO OR EXCEEDING THAT WHICH WAS DEMOLISHED, OR AS SPECIFIED BY THE OWNER, PROJECT OR MUNICIPAL ENGINEER, AS APPLICABLE. WHEN REMOVING AND REPAIRING CONCRETE CURBS, CONCRETE PADS AND/OR SIDEWALK, REMOVAL SHALL BE TO THE NEAREST EXPANSION JOINT IF POSSIBLE, TO CREATE A CLEAN, TIGHT, (NON-SANDED) JOINT. PROVIDE DOWELS AT JOINTS AND INSTALL NEW EXPANSION JOINT MATERIAL AS REQUIRED.
 - EXISTING OVERHEAD/UNDERGROUND ELECTRIC, TELEPHONE, CABLE, TELECOMMUNICATION, OR OTHER UTILITY LINES SCHEDULED TO BE REMOVED AND/OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER(S) PRIOR TO THE START OF CONSTRUCTION.

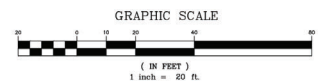
SOILS LEGEND
Umb URBAN LAND - BUREAU COMPLEX, 0 TO 8 PERCENT SLOPES

STEEP SLOPES LEGEND
SLOPES OF 15% AND GREATER

DEMOLITION NOTES
ALL EXISTING IMPROVEMENTS TO BE DEMOLISHED AND REMOVED FROM THE SITE, ABANDONED IN-PLACE WITH DEVELOPER'S APPROVAL, OR REUSED ON-SITE (GRAVEL AREAS) WITH DEVELOPER'S APPROVAL ARE SHOWN AS RED.

NOTE
SITE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS, DEPTHS AND CROSSINGS WITH PROPOSED UTILITIES AND OTHER SITE IMPROVEMENTS PRIOR TO INSTALLATION. THE SITE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON ANY CONFLICTS.

NOTE
EXISTING UTILITIES SHOWN WITHIN STREETS ARE DRAWN PER CITY AS-BUILT DRAWINGS.



NO.	DATE	REVISIONS	COMMENTS
1	12/12/22	REVISED PER CITY STAFF COMMENTS	
2	12/12/22	REVISED PER CITY STAFF COMMENTS	

site design concepts
LAND DEVELOPMENT CONSULTANTS

192 WEST MARKET STREET, SUITE 200 - YORK, PA 17401
P: 717.727.8414 • F: 717.840.8205 • WWW.SITEDC.COM
Civil Engineering • Surveying • Landscape Architecture • Land Planning • Environmental Consulting

EXISTING SITE CONDITIONS AND DEMOLITION PLAN

PROPOSED RESTAURANT WITH DRIVE-THRU
ALLENTOWN, PA DEVELOPMENT, LLC
701 NORTH 10TH STREET - 11TH FLOOR - PH: 610.492.6637
CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA

TRACT OWNER INFORMATION		SCALE	AS NOTED
CALA ASSOCIATES LLC 5022 TILGHMAN ST SUITE 115 ALLENTOWN, PA 18104-3114			
ENGINEER ADAM R. ANDERSON, P.E. REGISTRATION NO. PE 079418 (AGENT FOR SITE DESIGN CONCEPTS, INC.)			
DRAWN BY	SAH		
DESIGNED BY	AWA		
CONTACT	AWA		
DATE	05.16.22		
FILE NAME	89710-LD-1		
JOB NO.	89710		
SHEET NO.	2		
	C-3		REV

LEHIGH VALLEY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

PLANNER _____ DATE _____

PLANNING COMMISSION APPROVAL

THE WITHIN PLOT OR PLAN OF LAND LOCATED IN ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA, WAS APPROVED BY THE ALLENTOWN CITY PLANNING COMMISSION.

CHAIRMAN _____ DATE _____

PLANNING DIRECTOR _____ DATE _____

SECRETARY _____ DATE _____

APPROVED: CITY ENGINEER _____ DATE _____

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION
(EQUITABLE OWNER - INSTRUMENT NO. 7376822)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LEHIGH

ON THIS _____ DAY OF _____, 20____, BEFORE ME, _____, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED _____, BEING _____, TO ME KNOWN OR PROVEN, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE _____ OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

ALLENTOWN PA DEVELOPMENT, LLC
201 ROUTE 17 N, SUITE 302
BUNNERSBURG, NJ 07009
CONTACT: ED BAKSH

CORPORATE OFFICER SIGNATURE _____
CORPORATE OFFICER PRINTED NAME _____
TITLE _____
NOTARY PUBLIC _____
NOTARY STAMP SEAL _____

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION
(OWNER - INSTRUMENT NO. 7376822)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LEHIGH

ON THIS _____ DAY OF _____, 20____, BEFORE ME, _____, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED _____, BEING _____, TO ME KNOWN OR PROVEN, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE _____ OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

CAKA ASSOCIATES, LLC
6000 TULAHAM ST, SUITE 115
ALLENTOWN, PA 18104-8114

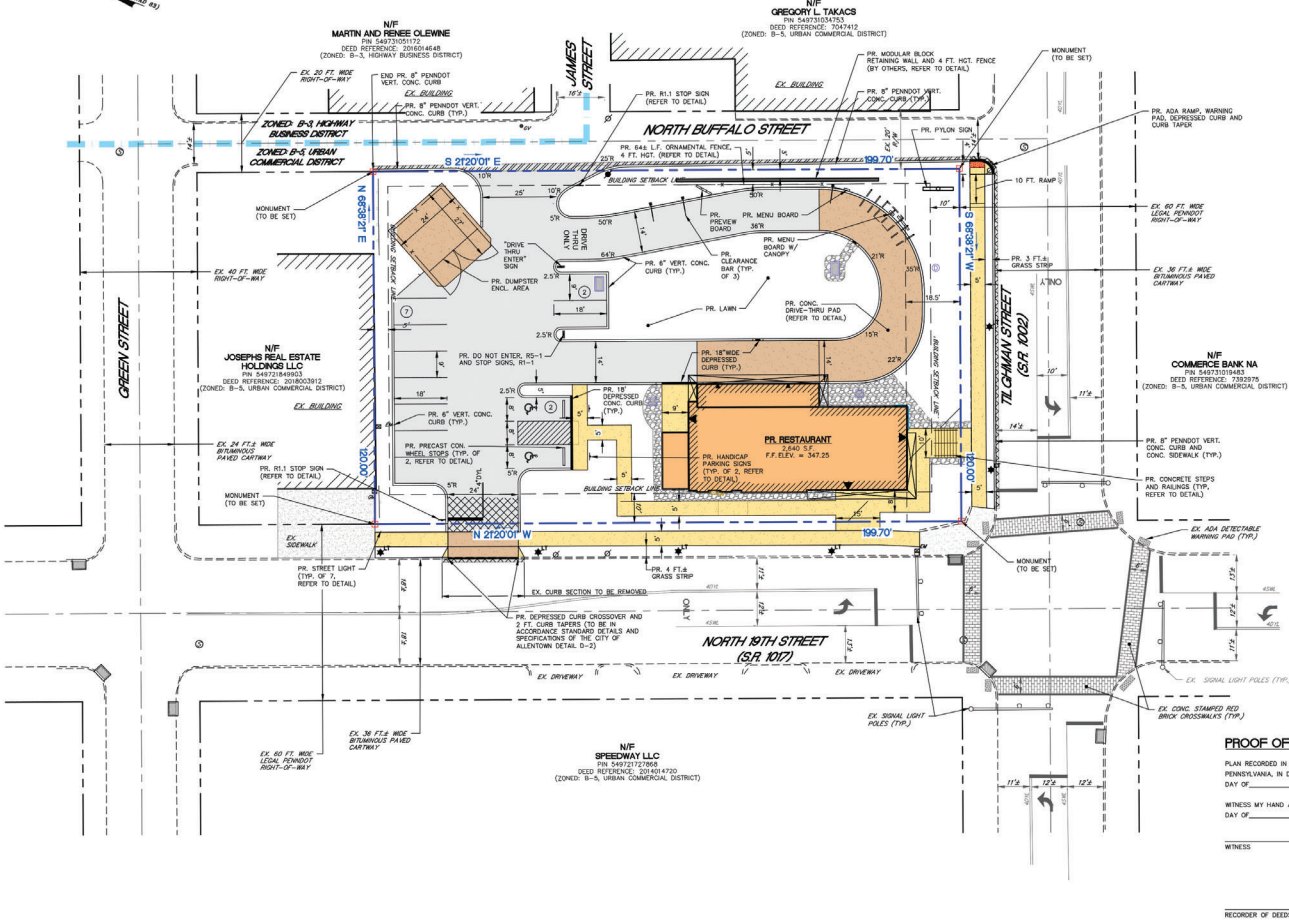
CORPORATE OFFICER SIGNATURE _____
CORPORATE OFFICER PRINTED NAME _____
TITLE _____
NOTARY PUBLIC _____
NOTARY STAMP SEAL _____

SURVEYOR

I HEREBY STATE THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE, ON THE ORIGINAL THAT IT IS CORRECT, AND AT THE TIME THE SURVEY WAS MADE, THERE WERE NO EASEMENTS OR ENCROACHMENTS ACROSS PROPERTY LINES, OTHER THAN THOSE SHOWN.

GRANT ALLEN ANDERSON, P.L.L.C.
REGISTRATION NO. SJ 079471
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE _____ SEAL _____



PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, IN BOOKET ID, _____ ON THE _____ DAY OF _____, 20____.

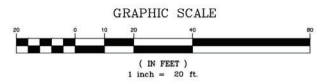
WITNESS MY HAND AND SEAL OF OFFICE THIS DAY OF _____, 20____.

WITNESS _____

RECORDER OF DEEDS _____

HATCH LEGEND

- PR. BUILDING
- PR. NORMAL DUTY BITUMINOUS PAVING (REFER TO DETAIL)
- PR. PENNDOT BITUMINOUS PAVING (REFER PENNDOT SPEC)
- PR. CITY OF ALLENTOWN BITUMINOUS PAVING (REFER TO DETAIL)
- PR. CONCRETE SIDEWALK (REFER TO DETAIL)
- PR. STRUCTURAL CONCRETE (REFER TO DETAIL)
- EX. CONCRETE SIDEWALK



TRACT OWNER INFORMATION

SCALE _____ AS NOTED _____

DRAWN BY SAH

CREATED BY AWA

CONTACT AWA

DATE 04.04.22

FILE NAME 897.10-LD-1

JOB NO. 897.10

SHEET NO. 2

C-4 REV

CAKA ASSOCIATES, LLC
5002 TULAHAM ST SUITE 115
ALLENTOWN, PA 18104-8114

ENGINEER
ADAM R. ANDERSON, P.E.
REGISTRATION NO. PE 079418
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

NO.	DATE	REVISIONS	BY	CHKD.	DATE	COMMENTS
1	04/04/22	ISSUED FOR CITY STAFF COMMENTS				
2	12/12/22	ISSUED FOR CITY STAFF COMMENTS				

site design concepts
LAND DEVELOPMENT CONSULTANTS

sdcc

101 WEST MARKET STREET SUITE 200 • YORK, PA 17401
TEL: 717.757.8414 • F: 717.840.8005 • WWW.SITECC.COM

Civil Engineering • Surveying • Landscape Architecture • Land Planning • Environmental Consulting

SITE LAYOUT PLAN

PROPOSED RESTAURANT WITH DRIVE-THRU
ALLENTOWN PA DEVELOPMENT, LLC
701 NORTH 19TH STREET - 11TH WARD - FN 1549726363772
CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA

LEHIGH VALLEY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

PLANNER DATE

PLANNING COMMISSION APPROVAL

THE WITHIN PLOT OR PLAN OF LAND LOCATED IN ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA WAS APPROVED BY THE ALLENTOWN CITY PLANNING COMMISSION

CHAIRMAN DATE

PLANNING DIRECTOR DATE

SECRETARY DATE

APPROVED: CITY ENGINEER DATE

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION
(EQUITABLE OWNER - INSTRUMENT NO. 7376822)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LEHIGH
ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME,
_____, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY
APPEARED _____, BEING _____ OF
SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE
EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN
THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE
THE CORPORATION'S ACT AND PLAN, THAT THE CORPORATION DESIRES THE SAME TO BE
RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY
DEDICATED TO THE PUBLIC USE.

ALLENTOWN PA DEVELOPMENT, LLC
201 ROUTE 17 N, SUITE 302
BETHLEHEM, PA 01802
CONTACT: ED BAKSH

CORPORATE OFFICER SIGNATURE
CORPORATE OFFICER PRINTED NAME
TITLE
NOTARY PUBLIC
NOTARY STAMP SEAL

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION
(OWNER - INSTRUMENT NO. 7376822)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LEHIGH
ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME,
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CA4 K ASSOCIATES, LLC
5050 TOLMAN ST, SUITE 115
ALLENTOWN, PA 18104-9114

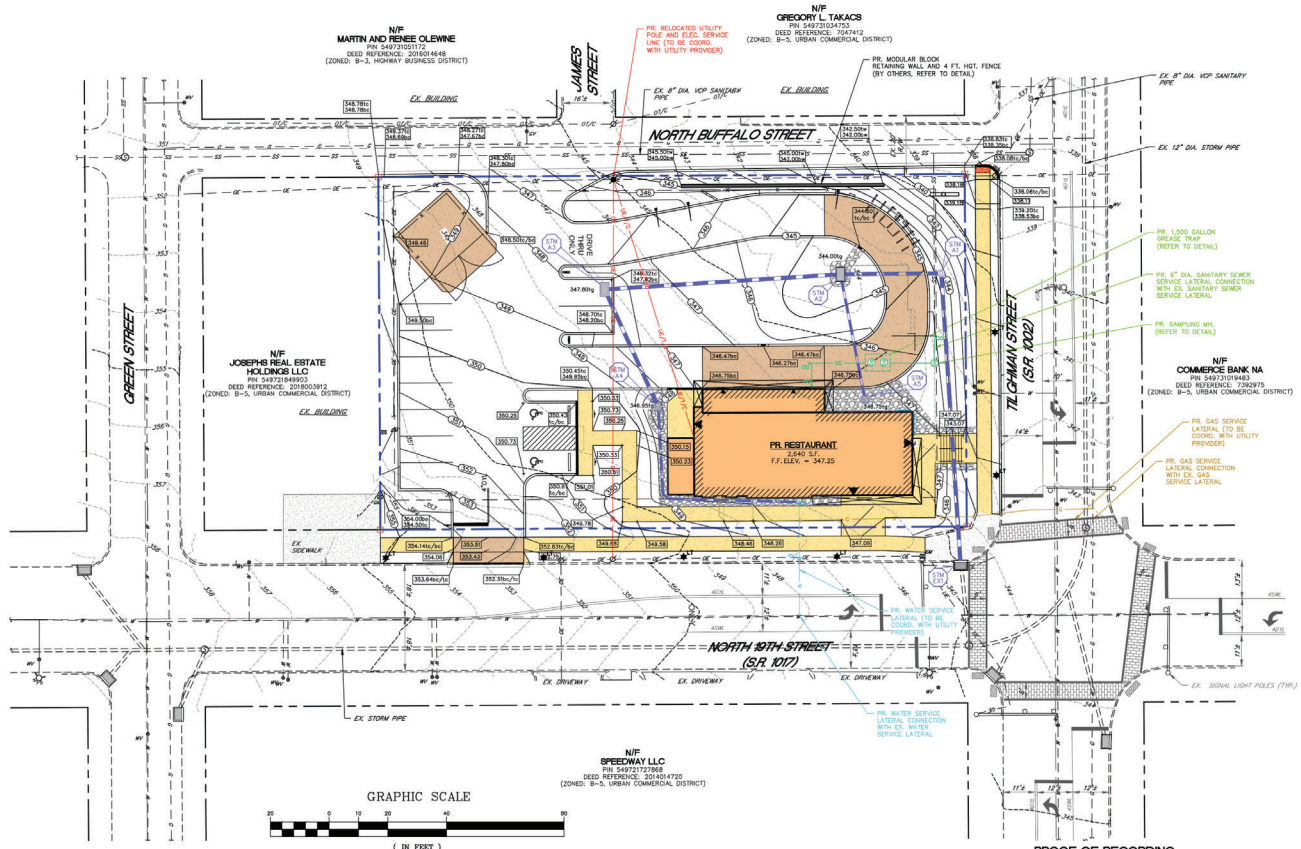
CORPORATE OFFICER SIGNATURE
CORPORATE OFFICER PRINTED NAME
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SURVEYOR

I HEREBY STATE THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE ON THE
GROUND, THAT IT IS CORRECT, AND AT THE TIME THE SURVEY WAS MADE, THERE WERE NO
EASEMENTS OR ENCROACHMENTS ACROSS PROPERTY LINES, OTHER THAN THOSE SHOWN.

GRANT ALLAN ANDERSON, P.L.C.
REGISTRATION NO. 30 079471
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE SEAL



STORMWATER RECORD NOTES

1. WATER QUALITY DRAINAGE STRUCTURES SHALL BE PERIODICALLY INSPECTED AND MAINTAINED BY THE OWNER, IN THE EVENT THAT THE RECORDED OWNER(S) FAILS TO PROPERLY MAINTAIN THE FACILITIES WHICH ARE THE RESPONSIBILITY OF THE RECORDED OWNER(S) AFTER NOTIFICATION TO SAID OWNER(S) BY THE CITY. THE CITY IS AUTHORIZED TO ENTER UPON THE PROPERTY TO PERFORM SUCH MAINTENANCE AND THEREAFTER RECOVER THE COST OF PERFORMING SUCH MAINTENANCE FROM THE RECORDED OWNER(S). IN ORDER TO ENFORCE THE RECOVERY OF SUCH COST MAINTENANCE, THE CITY SHALL HAVE THE RIGHT TO FILE A MORTGAGE LIEU AGAINST THE RECORDED OWNER(S) AND THEREFORE TO EXERCISE ITS REMEDIES IN ACCORDANCE WITH THE HOME RULE CHARTER.
2. OWNER IS REQUIRED TO PERIODICALLY INSPECT AND MAINTAIN THE ON-SITE WATER FACILITIES, PRIMARILY THE BMP AND STORM WATER MANAGEMENT DEVICES, AND HAVE A LOG ON HAND OF WHEN SUCH INSPECTION MAINTENANCE HAS BEEN PERFORMED. THIS LOG SHALL BE MADE AVAILABLE TO THE CITY DURING A POST STORM WATER INSPECTION.
3. ALL STORM SEWER COLLECTION SYSTEM PIPING SHALL HAVE WATER-TIGHT JOINTS CONFORMING TO THE LATEST OR SUPERIOR OF ASTM C381, C443, C1626, C1696, 32312, AND OTHERS AS APPROVED BY THE CITY ENGINEER.
4. THE DEVELOPER SHALL COMPLY WITH THE STIPULATIONS OF THE CITY OF ALLENTOWN COOPED ORDINANCE NO. 14478 LACT 1917.
5. RUNOFF FROM ALL ON-SITE IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE PUBLIC SANITARY SEWER, ACROSS THE SEWERAL AREA WITHIN THE PUBLIC RIGHT-OF-WAY, OR INTO ADJACENT PROPERTIES, 845-106, 8-455-108(K) OF CITY PROPERTY REHABILITATION & MAINTENANCE CODE.
6. ALL LATERAL SANITARY SEWER PIPING IS TO BE SCH 40 OR SDR-26 PVC PIPING.
7. ANY WORK TO BE DONE IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE TO CITY AND LCA STANDARDS.
8. WORK TO BE PERFORMED ON-SITE, SHALL BE DONE IN ACCORDANCE WITH THE IBC.

STORM DRAINAGE PIPE INSTALLATION NOTES

1. STORM DRAIN PIPES SHALL BE ADS N-12 HOPE PIPE WITH ADS PRO-LINK ULTRA (N-LINE BELL) JOINTS (FOR WATER TIGHT CONNECTIONS), AND PRO-LINK UT (FOR WATER TIGHT CONNECTIONS), AND/OR ASTM C-76 (FOR BELL AND SPIGOT JOINTS OR APPROVED EQUAL REFER TO PLAN AND PROFILES FOR MATERIALS USED).
2. CURVILINEAR INSTALLATION OF ADS (N-12) PIPE SHALL USE PRO-LINK UT JOINTS FOR WATER TIGHT CONNECTIONS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTALLATION REQUIREMENTS. CURVILINEAR PIPE WITH PRO-LINK UT BELL/BELL COUPLER OR INTERIOR BELL COUPLER SHALL BE INSTALLED WITH A MAXIMUM THREE (3) FEET DELTA AT EACH JOINT TO ACHIEVE A RADIUS OF LESS THAN 200 FEET. INSTALL TEN FOOT (10') PIPE LENGTHS WITH A GASKETED BELL/BELL COUPLER. ALL INSTALLATION MUST BE COORDINATED WITH A MANUFACTURER'S REPRESENTATIVE.
3. ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING AND INITIAL BACKFILL FOR HOPE PIPE SHALL CONFORM TO ASPHTO SECTION 30 AND ASTM D-2321 PER MANUFACTURER'S INSTALLATION REQUIREMENTS.

PROPOSED BMP WATER QUALITY INLET TABLE

INLET NUMBER	SNOUTS	SNOUT SIZE	SUMPS	SUMP DEPTH
A1	YES	18"	YES	36"

HATCH LEGEND

- PR. BUILDING
- PR. NORMAL DUTY BITUMINOUS PAVING (REFER TO DETAILS)
- PR. PENNDOT BITUMINOUS PAVING (REFER PENNDOT HOP DWGS)
- PR. CITY OF ALLENTOWN BITUMINOUS PAVING (REFER TO DETAILS)
- PR. CONCRETE SIDEWALK (REFER TO DETAILS)
- PR. STRUCTURAL CONCRETE (REFER TO DETAILS)

PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA, IN BOOK# D _____ ON THE _____ DAY OF _____, 20____.

WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

RECORDER OF DEEDS

TRACT OWNER INFORMATION

CA4 ASSOCIATES, LLC
5050 TOLMAN ST SUITE 115
ALLENTOWN, PA 18104-9114

ENGINEER

ADAM M. ANDERSON, P.E.
REGISTRATION NO. PE 079416
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE 05.16.22

FILE NAME 89710-LD-1

JOB NO. 89710

SHEET NO. 2

C-5 REV

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	12.12.21	REVISED PER CITY STAFF COMMENTS		
2	12.12.22	REVISED PER CITY STAFF COMMENTS		

site design concepts
LAND DEVELOPMENT CONSULTANTS

127 WEST MARKET STREET, SUITE 200 • YORK, PA 17401
717.757.8414 • F. 717.840.8005 • WWW.SITEDC.COM

Civil Engineering • Surveying • Landscape Architecture • Land Planning • Environmental Consulting

SITE GRADING AND UTILITY PLAN

PROPOSED RESTAURANT WITH DRIVE-THRU
ALLENTOWN PA DEVELOPMENT, LLC
701 NORTH 18TH STREET - 11TH FLOOR - PH 54972683972
CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA

LEHIGH VALLEY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION:

PLANNER	DATE

PLANNING COMMISSION APPROVAL

THE HEREIN PLAN OR PLAN OF LAND LOCATED IN ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA, HAS APPROVED BY THE ALLENTOWN CITY PLANNING COMMISSION.

CHAIRMAN	DATE
PLANNING DIRECTOR	DATE
SECRETARY	DATE
APPROVED:	DATE
CITY ENGINEER	

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION
(EQUITABLE OWNER - INSTRUMENT NO. 7378822)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
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ALLENTOWN PA DEVELOPMENT, LLC
201 ROUTE 17 N, SUITE 302
ROUSHARON, PA 17070
CONTACT: ED BASH

CORPORATE OFFICER SIGNATURE
CORPORATE OFFICER PRINTED NAME
TITLE
NOTARY PUBLIC
NOTARY STAMP SEAL

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CALA ASSOCIATES, LLC
5050 TULOHAN ST, SUITE 115
ALLENTOWN, PA 18104-9114

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GRANT ALLEN ANDERSON, P.L.S.
REGISTRATION NO. 51 07481
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE SEAL DATE SEAL

TEMPORARY SEEDING AND MULCHING SPECIFICATIONS AND NOTES

- TEMPORARY GRASS COVER.
- IN ORDER TO ESTABLISH A QUICK GRASS COVER OVER DISTURBED AREAS, A TEMPORARY SEED MIXTURE SHALL BE USED.
 - STABILIZATION EFFORTS DURING THE NON-GERMINATING PERIOD, OCT. 15 TO MARCH 15 SHOULD CONSIST OF MULCHING WITH CLEAN STRAW AT A RATE OF 3 TONS/AC. (EQUIVALENT TO 0.75" TO 1" DEEP). CLEAN STRAW MULCH SHOULD NOT BE FINELY CHIPPED OR BROKEN DURING APPLICATION.
 - THE BELOW MIXTURES ARE FROM THE PENN STATE AGRONOMY GUIDE. THE MIX TO BE USED SHALL BE DEPENDENT UPON THE DATE UTILIZED.

SEED TYPE	S. BY WT.	SEEDING RATE	SEEDING DATES
ANNUAL REGRASS	1 LB./1,000 S.F.	40 LB./AC	MARCH 15 TO OCTOBER 15
WINTER RYE	5 S. LBS./1,000 S.F.	MARCH 15 TO OCTOBER 15	FEBRUER 15 TO 10-10-10 AT AN APPLICATION RATE OF 500 LB./AC/ACR SHALL BE APPLIED WITH THE TEMPORARY SEEDING.
 - STRAW MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 3 TONS/AC. FERTILIZER MIX OF 10-10-10 AT AN APPLICATION RATE OF 500 LB./AC/ACR SHALL BE APPLIED WITH THE TEMPORARY SEEDING.
 - LIME SHALL BE APPLIED AT A RATE OF 2,000 LB./AC/ACR OF AGRICULTURAL GRADE LIME APPLIED WITH THE TEMPORARY SEEDING.
 - STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKLED IMMEDIATELY AFTER APPLICATION TO PREVENT BLOWING. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.

PERMANENT SEEDING AND MULCHING SPECIFICATIONS AND NOTES

- PERMANENT GRASS OR LEGUME COVER.
- ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE COVERED WITH GRASS OR A LEGUME IN ORDER TO MINIMIZE EROSION, UNLESS ANOTHER SATISFAE GROUND COVER IS DIRECTED BY THE OWNER.
 - MULCHING SHALL BE USED TO PROTECT PERMANENT SEEDING AND IS DIRECTED BY THE OWNER. STRAW MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 3 TONS/AC/AC.
 - THE BELOW PERMANENT SEEDING MIXTURES ARE FROM THE PENN STATE AGRONOMY GUIDE. THE SEED MIXTURES SHALL CONSIST OF:

SEED TYPE	S. BY WT.	SEEDING RATE	SEEDING DATES
LAWN MIX (USED THROUGHOUT SITE)	1 LB./1,000 S.F.	40 LB./AC	MARCH 15 TO JUNE 15
PERENNIAL REGRASS	1 LB./1,000 S.F.	40 LB./AC	AUGUST 1 TO OCTOBER 15
 - IN THE ABSENCE OF SOIL TEST RESULTS, FERTILIZER OF 10-10-20 AT AN APPLICATION RATE OF 1,000 LB./AC/ACR SHALL BE APPLIED WITH THE PERMANENT SEEDING.
 - IN THE ABSENCE OF SOIL TEST RESULTS, LIME AT AN APPLICATION RATE OF 6 TONS/AC/ACR OF AGRICULTURAL GRADE LIME SHALL BE APPLIED WITH THE PERMANENT SEEDING.
 - STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKLED IMMEDIATELY AFTER APPLICATION TO PREVENT BLOWING. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.

GREGORIO L. TAKACS
PH: 487.7034753
DEED REFERENCE: 7347410
(ZONED: B-5, URBAN COMMERCIAL DISTRICT)

N/P
MARTIN AND RENEE OLEWINE
DEED REFERENCE: 303803912
(ZONED: B-5, URBAN COMMERCIAL DISTRICT)

N/P
JOSEPH'S REAL ESTATE HOLDINGS LLC
PH: 549.218.4993
DEED REFERENCE: 303803912
(ZONED: B-5, URBAN COMMERCIAL DISTRICT)

N/P
COMMERCE BANK NA
PH: 549.703.1487
DEED REFERENCE: 7332975
(ZONED: B-5, URBAN COMMERCIAL DISTRICT)

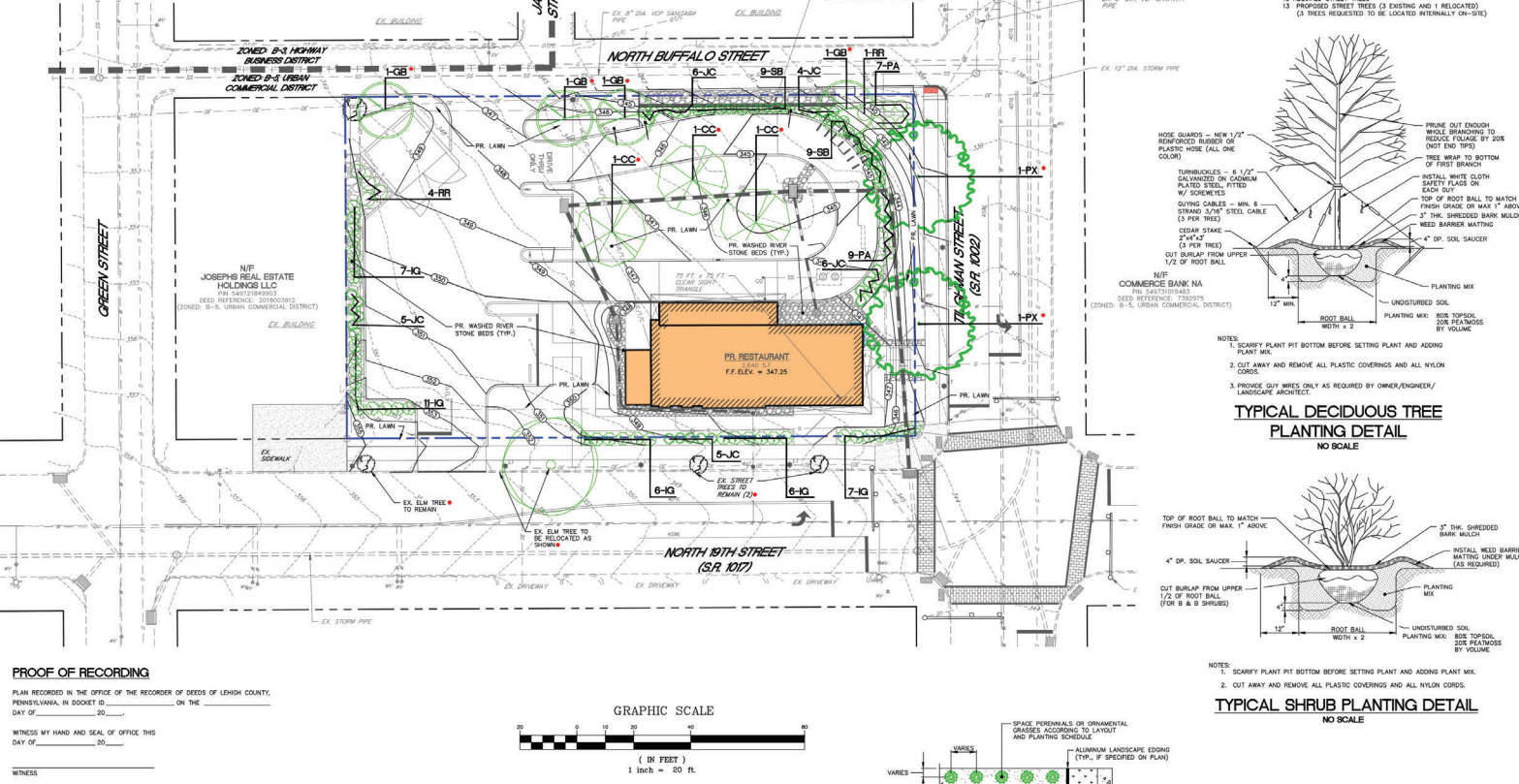
LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE HGT. / WIDTH
DECIDUOUS TREES (D) DENOTES NATIVE						
DC-3	3	CARPANUS CAROLINIANA	AMERICAN HORSEBAM	2.5" CAL.		8'6" / 30" / 30"
DB-4	4	QUERCUS SERRATA PRINCEPUM SENEXY	PRINCETON SENEXY OAK	2.5" CAL.		8'6" / 40" / 20"
PK-2	2	PLATANUS X ACEROLATA MORTON THORNHILL	EXPLANATION PLANTER TREE	2.5" CAL.		8'6" / 30" / 25"
SHRUBS (S)						
IS-37	15	LAEX GLABRA 'COMPACTA'	MINIBERRY	18" HGT.	5 FT. O.C.	CONT.
JC-28	28	JANAPERUS PRITERRIANA 'AURA IMPROVED'	GOLD COAST JUNIPER	24" HGT.	4 FT. O.C.	CONT. / 3' / 4'
IR-5	5	IRIDA 'FRANZAE' KNOXWOOD	KNOXWOOD SHIRAZ ROSE	36" HGT.	5 FT. O.C.	CONT. / 5' / 5'
SB-19	19	SORBUS X BOMALIDA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	24" HGT.	5 FT. O.C.	CONT. / 4' / 4'
GRASSES / PERENNIALS / GROUNDCOVERS						
PA-16	16	FESTUCOIDAL ALPICOLOPHORS	FOUNTAIN GRASS	NO. 2 CONT.	3' O.C.	CONT. / 3' / 3'

- PLANTS MUST MEET THE REQUIREMENTS OF THE CITY OF ALLENTOWN ORDINANCES.
 - ALL PLANTS MUST BE APPROVED BY THE LEHIGH VALLEY PLANNING COMMISSION ARCHITECT / OWNER.
 - WOOD BARBER FABRIC SHALL BE INSTALLED IN PLANTER BEDS.
 - MULCH BEDS SHALL BE WASHED RIVER OR SHREDED DARK BARK HARDWOOD, 3" MIN. THICKNESS OVER BEDS, PLANTINGS AND/OR AS INDICATED ON LANDSCAPE PLAN.
- * DECIDUOUS STREET TREES AS REQUIRED BY THE CITY OF ALLENTOWN SHALL BE TREE SPECIES SUBJECT TO ALL RULES AND REGULATIONS CONCERNING PERMITS, PROTECTIVE MAINTENANCE, REPLACEMENT AND PRESERVATION.
- PERMITS SHALL BE OBTAINED FROM THE CITY OF ALLENTOWN PUBLIC WORKS DEPARTMENT FOR ALL STREET TREE PLANTING.

LANDSCAPE REQUIREMENTS

- STREET TREES: ONE (1) STREET TREE REQUIRED PER 40 LF ON THE COMBINED TOTAL OF RIGHT-OF-WAY.
 - NORTH BUFFALO STREET: 200 LF / AD = 5 REQUIRED STREET TREES
 - TULOHAN STREET: = 100 LF / AD = 3 REQUIRED STREET TREES
 - NORTH 19TH STREET: = 200 LF / AD = 5 REQUIRED STREET TREES
 - 13 REQUIRED STREET TREES
 - 15 PROPOSED STREET TREES (3 EXISTING AND 1 RELOCATED)
 - (3 TREES REQUESTED TO BE LOCATED INTERNALLY ON-SITE)



LEGEND:

- EXISTING TREES AND SHRUBS
- TYPICAL PROPOSED TREE AND SHRUB PLANTING
- PROPOSED TREE AND SHRUB KEY AND QUANTITY LABEL

TRACT OWNER INFORMATION

CALA ASSOCIATES, LLC
5050 TULOHAN ST, SUITE 115
ALLENTOWN, PA 18104-9114

ENGINEER
ADAM R. ANDERSON, P.E.
REGISTRATION NO. PE 079418
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

DATE	05.16.22
FILE NAME	89710-LD-1
JOB NO.	89710
SHEET NO.	2
SCALE	AS NOTED
DRAWN BY	SAH
DESIGNED BY	AWA
CONTACT	AWA
DATE	05.16.22
FILE NAME	89710-LD-1
JOB NO.	89710
SHEET NO.	2

NO.	DATE	REVISION	BY	CHKD.	DATE	COMMENTS
1	12.12.22	REVISED PER CITY STAFF COMMENTS				
2	12.12.22	REVISED PER CITY STAFF COMMENTS				

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LAND DEVELOPMENT CONSULTANTS

127 WEST MARKET STREET, SUITE 200 • YORK, PA 17401
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Site Engineering • Landscaping • Landscape Architecture • Land Planning • Environmental Consulting

SITE LANDSCAPE PLAN

PROPOSED RESTAURANT WITH DRIVE-THRU
ALLENTOWN, PA DEVELOPMENT, LLC
701 NORTH 87TH STREET • 11TH WARD • PH: 549.726.6377
CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA

SCALE AS NOTED

DRAWN BY SAH

DESIGNED BY AWA

CONTACT AWA

DATE 05.16.22

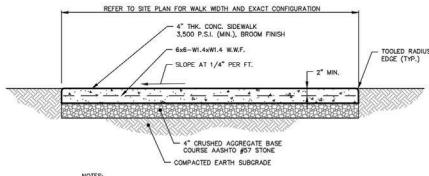
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JOB NO. 89710

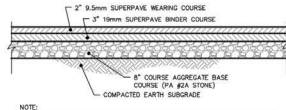
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C-6 REV

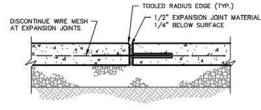
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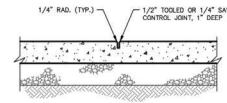
TYPICAL CONCRETE SIDEWALK DETAIL
NO SCALE



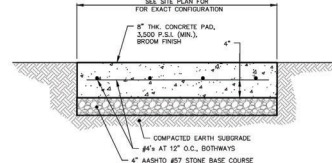
TYPICAL NORMAL DUTY BITUMINOUS PAVING SECTION
NO SCALE



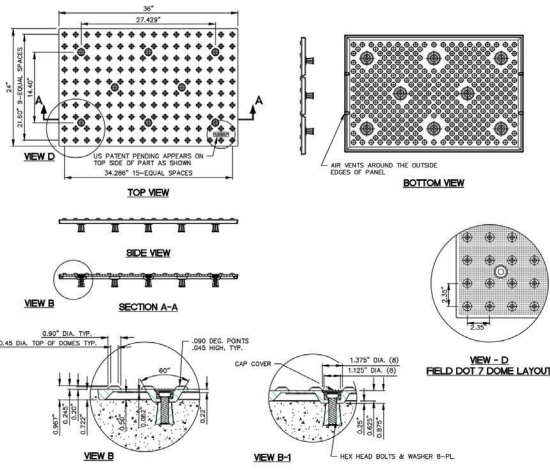
TYPICAL CONCRETE EXPANSION JOINT DETAIL
NO SCALE



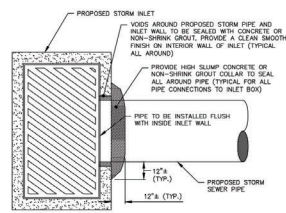
TYPICAL CONCRETE SIDEWALK CONTROL JOINT DETAIL
NO SCALE



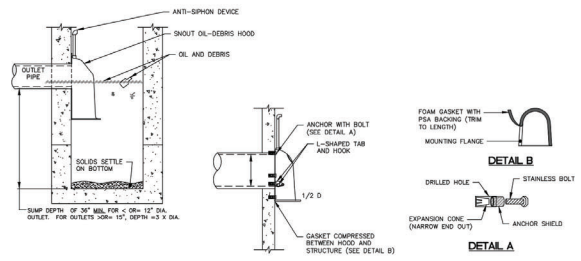
TYPICAL CONCRETE DUMPSTER PAD
NO SCALE



TYPICAL DETECTABLE WARNING SURFACE
NO SCALE

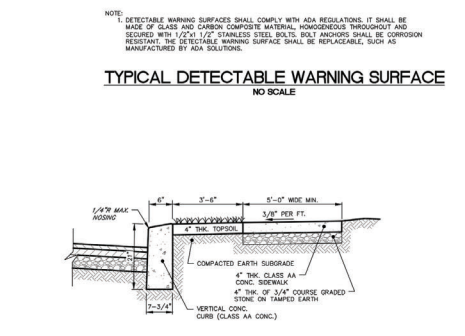


TYPICAL GROUTING/ENCASEMENT AT STORM INLET/BOX PIPE CONNECTION
NO SCALE

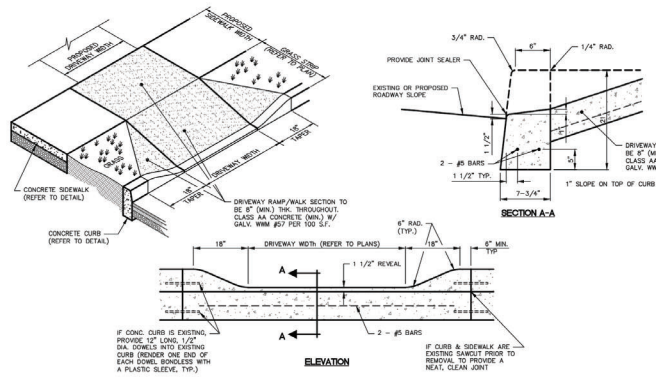


- NOTES:**
- SNIPT OIL-DEBRIS HOOD FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 53 MT. ANCHOR RD. N.E. CT 06211 (860) 434-0277, (860) 434-3195 FAX TOLL FREE (800) 504-8008 OR (888) 434-0277 WEB SITE: www.bmpinc.com
 - ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
 - ALL HOODS SHALL BE EQUIPPED WITH A WATER TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT PIPE AND ELBOW AS DRAWN. (SEE CONFIGURATION DETAIL)
 - THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE PER MANUFACTURER'S RECOMMENDATION (SHOULD SIZE ALWAYS LARGER THAN PIPE SIZE)
 - THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES 10" ID.
 - THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
 - THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND SHALL BE FINISHED FLUSH TO WALL.
 - THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
 - INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.

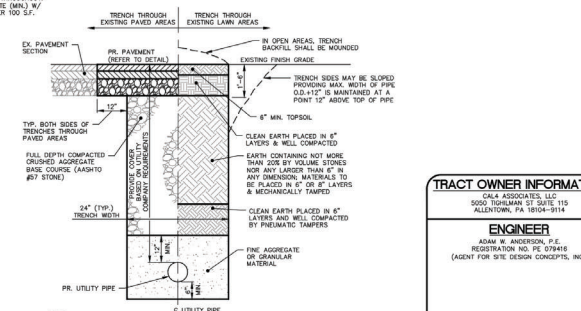
TYPICAL SNIPT OIL-DEBRIS HOOD WITH BIO-SKIRT BY BMP, INC. DETAIL
NO SCALE



CITY OF ALLENTOWN - CONCRETE CURB AND SIDEWALK SECTION ALONG N. 19TH ST. AND TILGHMAN ST.
NO SCALE



CITY OF ALLENTOWN - DEPRESSED CONCRETE CURB / COMMERCIAL CROSSOVER/ RAMP
NO SCALE



UTILITY TRENCH BACKFILLING AND PERMANENT RESTORATION DETAIL
NO SCALE

NO.	DATE	REVISIONS
1	12/12/22	ISSUED FOR CITY STAFF COMMENTS
2	12/12/22	ISSUED FOR CITY STAFF COMMENTS

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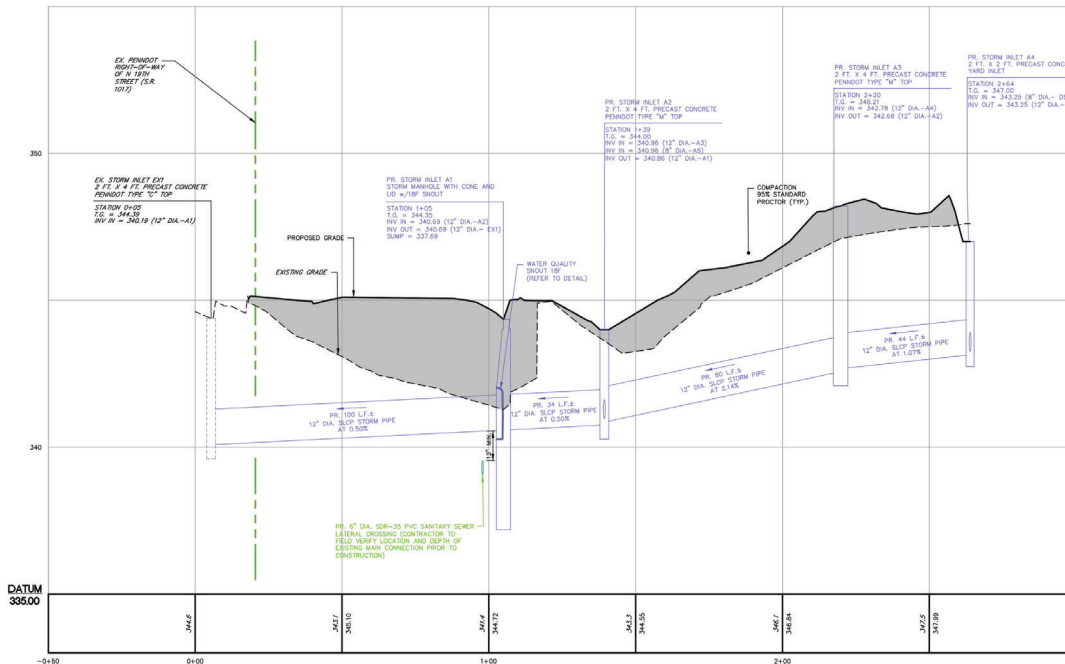
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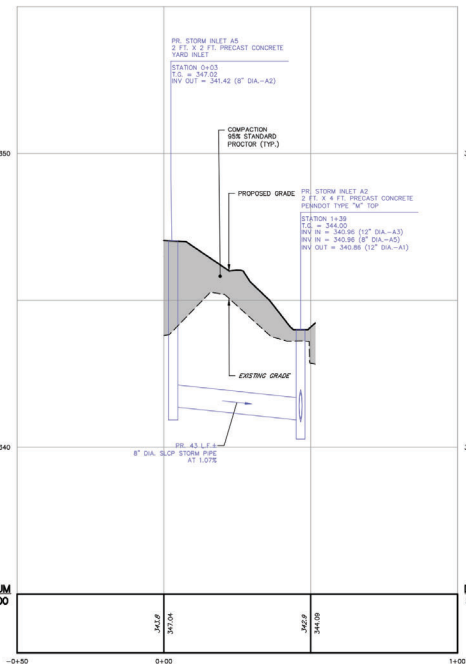
SITE DETAILS

PROPOSED RESTAURANT WITH DRIVE-THRU
ALLENTOWN, PA DEVELOPMENT, LLC
701 NORTH 80TH STREET - 11TH WARD - PH 154972636772
CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA

TRACT OWNER INFORMATION		SCALE	AS NOTED
GEL ASSOCIATES, LLC 5002 TILGHMAN ST SUITE 110 ALLENTOWN, PA 18104-2014			
ENGINEER ADAM R. ANDERSON, P.E. REGISTRATION NO. PE 079418 (AGENT FOR SITE DESIGN CONCEPTS, INC.)			
DRAWN BY	SAH		
DESIGNED BY	AWA		
CONTACT	AWA		
DATE	05.16.22		
FILE NAME	89710-LD-1		
JOB NO.	89710		
SHEET NO.	2		
	C-8		

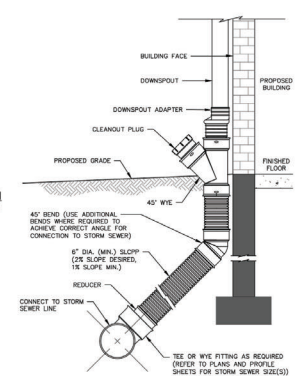


**PR. STORM SEWER PROFILE
INLET A4 TO INLET EX1**
HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 2'



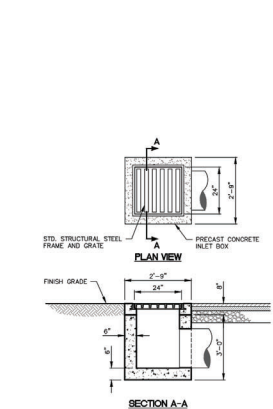
**PR. STORM SEWER PROFILE
INLET A5 TO INLET A2**
HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 2'

PROPOSED BMP WATER QUALITY INLET TABLE				
INLET NUMBER	BMP	SNOUT SIZE	SUMPS	SUMP DEPTH
A1	YES	18"	YES	36"



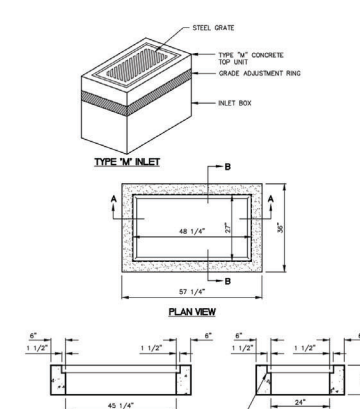
NOTES:
1. REFER TO SITE GRADING PLANS FOR DOWNSPOUT CONNECTION PIPE SIZES, INVERT ELEVATIONS AND THE-IN LOCATIONS.
2. IF BUILDING DOWNSPOUT LOCATIONS ARE NOT SHOWN ON THE SITE PLANS, CONTRACTOR SHALL DETERMINE THE LOCATIONS BASED UPON THE ARCHITECTURAL PLANS AND VERIFY THE FINAL PIPE SIZES AND CONNECTION POINTS WITH THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**TYPICAL DOWNSPOUT CONNECTION
TO PROPOSED STORM SEWER**
NO SCALE



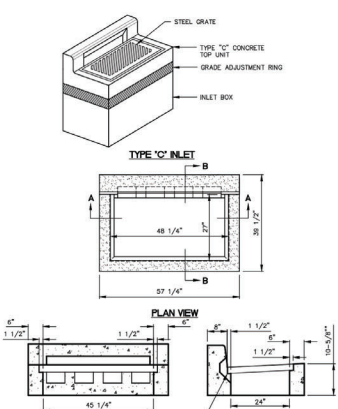
NOTES:
1. SEE SITE PLAN FOR INLET LOCATIONS, PIPE SIZES AND INVERT ELEVATIONS.
2. CAST HOLES IN INLET BOXES AS REQUIRED TO MEET PLUMBING DESIGN.
3. PLACE INLET BOXES ON THOROUGHLY COMPACTED EARTH SURFACING.
4. USE PRECAST CATCH BASIN BY MONAROH PRODUCTS, INC. OR APPROVED EQUAL.

**STANDARD PRECAST CONCRETE 2'x2'
STORM INLET BOX WITH INLET TOP**
NO SCALE



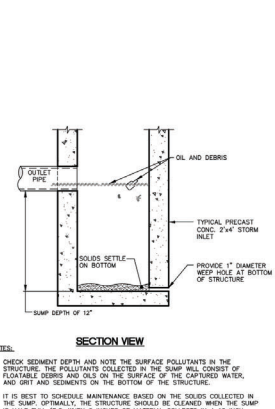
NOTE:
1. STRUCTURE SHALL BE CONSTRUCTED PER PENNDOT RC-45 STANDARDS FOR ROADWAY CONSTRUCTION

PENNDOT 2'x4' TYPE 'M' STORM INLET
NO SCALE



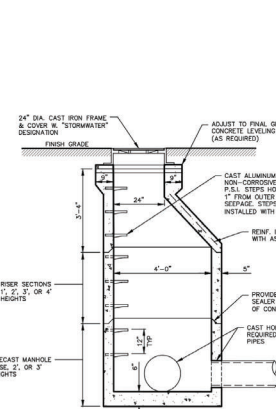
NOTE:
1. STRUCTURE SHALL BE CONSTRUCTED PER PENNDOT RC-34 STANDARDS FOR ROADWAY CONSTRUCTION

PENNDOT 2'x4' TYPE 'C' STORM INLET
NO SCALE



NOTE:
1. CHECK SEDIMENT DEPTH AND NOTE THE SURFACE POLLUTANTS IN THE STRUCTURE. THE POLLUTANTS COLLECTED IN THE SUMP WILL CONSIST OF FLOATABLE DEBRIS AND OILS ON THE SURFACE OF THE CAPTURED WATER, AND GRIT AND SEDIMENTS ON THE BOTTOM OF THE STRUCTURE.
2. IT IS BEST TO SCHEDULE MAINTENANCE BASED ON THE SOLIDS COLLECTED IN THE SUMP. OPTIMALLY, THE STRUCTURE SHOULD BE CLEANED WHEN THE SUMP IS HALF FULL (E.G. WHEN 6 INCHES OF MATERIAL COLLECTS IN A 12 INCH SUMP, CLEAN IT OUT).
3. STRUCTURE SHOULD ALSO BE CLEANED IF A SPILL OR OTHER INCIDENT CAUSES A LARGER THAN NORMAL ACCUMULATION OF POLLUTANTS IN A MAINTENANCE IS BEST DONE WITH A VACUUM TRUCK.
4. ALL COLLECTED WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS (NOT ON-SITE).

TYPICAL INLET SUMP DETAIL
NO SCALE



NOTES:
1. PROVIDE 8" MIN. THICK STONE BEDDING UNDER MANHOLE.
2. USE PRECAST MANHOLE FROM MONAROH PRODUCTS, INC. OR APPROVED EQUAL.

**TYPICAL PRECAST CONCRETE
STORMWATER MANHOLE**
NO SCALE

NO.	DATE	REVISIONS	COMMENTS
1	12/12/22	ISSUED FOR PERMITS	
2	12/12/22	ISSUED PER CITY STAFF COMMENTS	

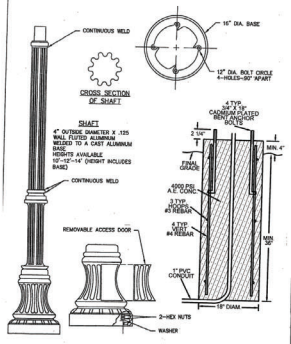
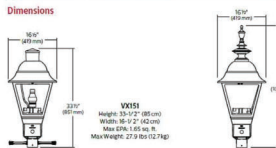
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STORM SEWER PROFILE AND DETAILS
PROJECT NO. 897.10
PROPOSED RESTAURANT WITH DRIVE-THRU
ALLEN TOWN PA DEVELOPMENT, LLC
701 NORTH 80TH STREET - 10TH FLOOR - PH. 54972663772
CITY OF ALLENTOWN LEHIGH COUNTY, PENNSYLVANIA

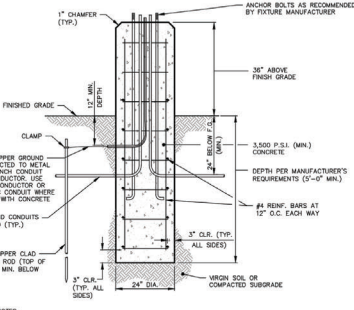
TRACT OWNER INFORMATION		SCALE	AS NOTED
CELY ASSOCIATES, LLC 5022 TIGHMAN ST SUITE 110 ALLENTOWN, PA 18104-5814			
ENGINEER ADAM R. ANDERSON, P.E. REGISTRATION NO. PE 079418 (AGENT FOR SITE DESIGN CONCEPTS, INC.)			
DRAWN BY	SAH		
DESIGNED BY	AWA		
CONTACT	AWA		
DATE	05.16.22		
FILE NAME	897.10-LD-1		
JOB NO.	897.10		
DRAWING NO.	REV		
	C-9	2	



VX151/VX152 Independence
Post top



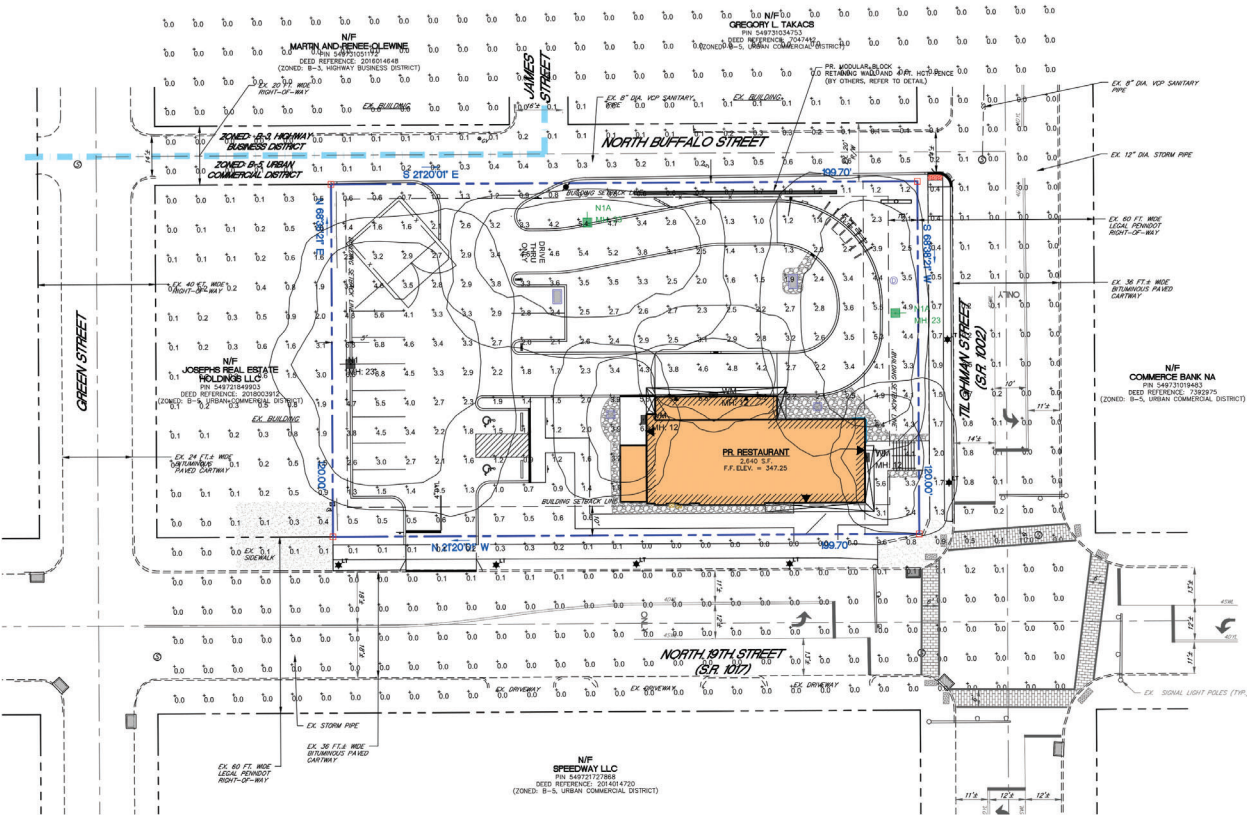
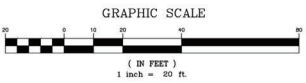
TYPICAL STREET LIGHT, LIGHT POLE AND FOUNDATION DETAIL



NOTES:
1. ALL CONCRETE IS TO MEET LATEST EDITION OF ACI-318 CONSTRUCTION STANDARDS.
2. REINFORCING TO BE GRADE 60 DEFORMED.
3. FOUNDATION TO BE INSTALLED PER LIGHT POLE MANUFACTURER'S SPECIFICATIONS.

Luminaire Schedule		Description		Watts Per Pole	Total Watts
1	N/A	SINGLE	0.000	0.000	0.000
2	N/A	SINGLE	0.000	0.000	0.000
3	N/A	SINGLE	0.000	0.000	0.000

Dimension Summary		Units	Avg	Min	Max	Avg/Min	Max/Min
SITE CALCS	Reinforcement	Ft	0.31	7.5	0.0	N/A	N/A
DRIVE THRU	Reinforcement	Ft	3.06	8.4	1.0	2.06	8.40
FOUNDING	Reinforcement	Ft	3.08	8.4	1.0	2.06	8.40



NO.	DATE	BY	CHKD.	COMMENTS
1	12/12/22	AWA	AWA	ISSUED PER CITY STAFF COMMENTS
2	12/12/22	AWA	AWA	ISSUED PER CITY STAFF COMMENTS

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SITE LIGHTING PLAN

PROPOSED RESTAURANT WITH DRIVE-THRU
ALLENTOWN, PA DEVELOPMENT, LLC
701 NORTH 18TH STREET - 11TH FLOOR - PH 154972663772
CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA

TRACT OWNER INFORMATION

SCALE: AS NOTED

DRAWN BY: SAH

DESIGNED BY: AWA

CONTACT: AWA

DATE: 05.16.22

FILE NAME: 89710-LD-1

JOB NO.: 89710

SHEET NO.: 2

C-10



LANDS OF
CAL4 ASSOCIATES LLC
PIN 4497103372
DEED REFERENCE: 737823
(ZONED: B-5, URBAN COMMERCIAL DISTRICT)
AREA: 23.864 S.F. (0.550 AC.) GROSS/NET

N/F
MARTIN AND RENEE CLEWNE
PIN 4497000112
DEED REFERENCE: 20015448
(ZONED: B-3, HIGHWAY BUSINESS DISTRICT)

N/F
GREGORY L TAKACS
PIN 4497103473
DEED REFERENCE: 704412
(ZONED: B-5, URBAN COMMERCIAL DISTRICT)

N/F
JOSEPH'S REAL ESTATE
HOLDINGS LLC
PIN 5497218490
DEED REFERENCE: 201003912
(ZONED: B-5, URBAN COMMERCIAL DISTRICT)

N/F
SPEEDWAY LLC
PIN 4497107266
DEED REFERENCE: 20401470
(ZONED: B-5, URBAN COMMERCIAL DISTRICT)

N/F
COMMERCIAL BANK NA
PIN 4497010483
DEED REFERENCE: 738975
(ZONED: B-5, URBAN COMMERCIAL DISTRICT)

SOIL EROSION AND SEDIMENTATION CONTROL GENERAL NOTES

- A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION AND ALL SUCH DISTURBANCES, INCLUDING ALL EARTH DISTURBANCES AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EAS PLAN.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION PRIOR TO IMPLEMENTATION.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE EAS MAPS SPECIFIED BY THE BMP SPECIFICATIONS HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EAS PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE EAS MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND SEDIMENT POLLUTION TO NOTIFY THE LEHIGH COUNTY CONSERVATION DISTRICT.
- ALL BUILDING MATERIALS AND WASTE SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 P.S. CODE 2001, 48 PA. CHS. 271.1, AND 262. SECT. 801. NO EXCESS MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE PA DEP FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-101 TO SOFTEN THE SURFACE OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-101 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NOT ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOT ONTO SOUTH SUMNER STREET.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOULDERED, OR SWEEP INTO AN EXISTING DITCH, STORM CHANNEL, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCAPED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MACHING. FILL OUTCROPS SHALL HAVE A MINIMUM OF 2 INCHES TOPSOIL.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE REVEGETATED. CUT SLOPES IN SOFT SOILS SHALL BE REVEGETATED WITH WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- EAS BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE RELEASED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE PA DEP. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR COVERED BY PERMANENT FOOT CONSTRUCTION STABILIZATION MANAGEMENT STRATEGIES. AREAS OF EROSION REMOVAL OR CONVERSION OF THE BMP SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SOIL REMOVAL/CONVERSIONS ARE TO BE COMPLETED DURING THE GROWING SEASON.
- FAILURE TO CORRECTLY INSTALL EAS BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE EARTH DISTURBANCE ACTIVITY, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RECTIFY FAILURE OF EAS BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING IMPOSED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$50,000 PER DAY IN CIVIL PENALTIES UP TO \$500,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MODERATE OR CRIMINAL PENALTIES FOR EACH VIOLATION.
- A COPY OF THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE LEHIGH COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE DISTRICT MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MUST KEEP THE STREET RECEIVING THE EXCESS AS AN APPROVED AND FULLY IMPLEMENTED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATION.
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-COMBUSTIBLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION OPERATIONS THAT IS SEPARATE FROM OTHER WASTE AND IS RECYCLABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. THE TERM USED ASPHALT DOES NOT INCLUDE MIXED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.
- ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO, VISUAL INSPECTION, PHOTOGRAPHY, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANDBOX MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENING, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS REQUIRED PART OF DUE DILIGENCE AND SHALL BE PERFORMED ON ALL FILL MATERIALS. ANALYTICAL TESTING IS REQUIRED INDICATES THAT THE FILL MAY HAVE BEEN SUBJECT TO SPILL OR RELEASE OF A REGULATED SUBSTANCE IF THE FILL MATERIAL HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENTS POLICY MANAGEMENT OF CLEAN FILL.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- UNDERGROUND UTILITIES OUTSIDE ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONFINED TO THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SOIL RESTORATION IS COMPLETE.
- ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT AND THE OWNER OF THE DAMAGED PROPERTY.
- UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPALITY, INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE PA DEP.
- FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 6" LAYERED LIFTS AT 95% DENSITY.

NO.	DATE	REVISIONS	COMMENTS
1	12/12/22	REVISED PER CITY STAFF COMMENTS	
2	12/12/22	REVISED PER CITY STAFF COMMENTS	

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SOIL EROSION AND SEDIMENTATION CONTROLS SITE PLAN
PROPOSED RESTAURANT WITH DRIVE-THRU
ALLENTOWN, PA DEVELOPMENT, LLC
701 NORTH 87TH STREET - 11TH WARD - PIN 1549726363772
CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA

HATCH LEGEND

- PR. BUILDING
- PR. NORMAL CURB BITUMINOUS PAVING (REFER TO DETAIL)
- PR. CONCRETE SIDEWALK (REFER TO DETAIL)
- PR. STRUCTURAL CONCRETE (REFER TO DETAIL)

SOIL EROSION AND SEDIMENTATION CONTROL PLAN LEGEND

- 12'-FS - PROPOSED 12" DIAMETER COMPOST FILTER SOCK (TEMPORARY)
- LOO - APPROXIMATE LIMIT OF EARTH DISTURBANCE BOUNDARY
- STABILIZED ROCK CONSTRUCTION ENTRANCE (TEMPORARY)
- IP - INLET PROTECTION (TEMPORARY) (REFER TO DETAIL)

INLET PROTECTION TABLE

INLET PROTECTION TYPE	REQUIRED AREA (SQ. FEET)
A2 SILT SOCK	0.24
A3 SILT SOCK	0.01
A4 SILT SOCK	0.07
A5 SILT SOCK	0.01

TRACT OWNER INFORMATION

CELY ASSOCIATES LLC
5025 TIGHAMAN ST SUITE 110
ALLENTOWN, PA 18104-5114

ENGINEER

ADAM R. ANDERSON, P.E.
REGISTRATION NO. PE 079418
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

SCALE

AS NOTED

DRAWN BY SAH

DESIGNED BY AWA

CONTACT AWA

DATE 08.24.22

FILE NAME

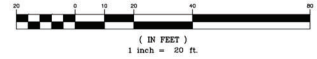
89710-LD-1

JOB NO. 89710

SHEET NO. 2

REV. SE-3

GRAPHIC SCALE



TEMPORARY SEEDING AND MULCHING SPECIFICATIONS AND NOTES

- TEMPORARY GRASS COVER:
- IN ORDER TO ESTABLISH A QUICK GRASS COVER OVER DISTURBED AREAS, A TEMPORARY SEED MIXTURE SHALL BE USED. SEEDING OPERATIONS DURING THE WINTER-GROWING PERIOD, OCT 15 TO NOVEMBER SHOULD CONSIST OF MULCHING WITH CLEAN STRAW AT A RATE OF 3 TONS/AC. (EQUIVALENT TO 0.75" TO 1" DEEP). CLEAN STRAW MULCH SHOULD NOT BE APPLIED OVER BROWN COVER OR MULCH.
 - THE BROWN STRAW SHALL BE FROM THE PENN STATE AGRONOMY GUIDE. THE MIX TO BE USED SHALL BE DEPENDANT ON THE DATE UTILIZED.
- | SEED TYPE | R BY WT | SEEDING DATE | SEEDING DATES |
|-----------------|--------------------|------------------------|------------------------|
| ANNUAL PERGRASS | 1.8 LB./1,000 S.F. | MARCH 15 TO OCTOBER 15 | |
| WINTER RYE | 100# | NO 1 LB./1,000 S.F. | MARCH 15 TO OCTOBER 15 |
- STRAW MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 3 TONS/AC. FERTILIZER MIX. OF 10-10-10 AT AN APPLICATION RATE OF 500 LB./ACRE SHALL BE APPLIED WITH THE TEMPORARY SEEDING.
 - LINE MULCH SHALL BE APPLIED AT A RATE OF 2,000 LB./ACRE OF AGRICULTURAL GRADE LINE MULCH APPLIED WITH THE TEMPORARY SEEDING.
 - STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKLED IMMEDIATELY AFTER APPLICATION TO PREVENT BIRD SCALD. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "TAMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: COMPACTING OF SOIL BY STRAW OR RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.

PERMANENT SEEDING AND MULCHING SPECIFICATIONS AND NOTES

- PERMANENT GRASS OR LEGUME COVER:
- ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE COVERED WITH GRASS OR A LEGUME IN ORDER TO MINIMIZE EROSION, UNLESS ANOTHER SUITABLE GROUND COVER IS DIRECTED BY THE OWNER.
 - SEEDING SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 3 TONS/ACRE.
 - THE BROWN STRAW TEMPORARY SEEDING MIXTURES ARE FROM THE PENN STATE AGRONOMY GUIDE. THE SEED MIXTURES SHALL CONSIST OF:
- | SEED TYPE | R BY WT | SEEDING DATE | SEEDING DATES |
|--------------------|--------------------|------------------------|---------------|
| PERENNIAL PERGRASS | 1.8 LB./1,000 S.F. | MARCH 15 TO JUNE 1 | |
| PERENNIAL RYEGRASS | 100# | AUGUST 1 TO OCTOBER 15 | |
- IN THE ABSENCE OF SOIL TEST RESULTS, FERTILIZER OF 10-10-20 AT AN APPLICATION RATE OF 1,000 LB./ACRE SHALL BE APPLIED WITH THE PERMANENT SEEDING.
 - IF THE PRESENCE OF SOIL TEST RESULTS INDICATES AN APPLICATION RATE OF 6 TONS/ACRE OF AGRICULTURAL GRADE LINE MULCH SHALL BE APPLIED WITH THE PERMANENT SEEDING.
 - STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKLED IMMEDIATELY AFTER APPLICATION TO PREVENT BIRD SCALD. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "TAMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: COMPACTING OF SOIL BY STRAW OR RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.

SOIL EROSION AND SEDIMENTATION CONTROL STABILIZATION SPECIFICATIONS

- UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR THE END OF PHASE OF AN ACTIVITY WHERE EROSION CONTROL MEASURES ARE APPLIED AT THE SPECIFIED LOCATION, THE AREA SHALL BE RESTORED TO ORIGINAL OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FURTHER EARTH DISTURBANCE ACTIVITIES.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION OR SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION'S DOWN DRAIN. THE STOCKPILE SHALL BE PROTECTED FROM EROSION AND STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE DRAWINGS. TOPSOIL STOCKPILE HEIGHTS SHOULD NOT EXCEED 6 FEET.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON SLOPES TO BE PLACED PRIOR TO SEEDING AND MULCHING.
- TOPSOIL SHOULD NOT BE PLACED WHERE THE TOPSOIL OR SUBSOIL IS A PROTON OR MUDDY CONDITION. WHEN THE SUBSOIL IS COARSE AND STONY, IT SHALL BE COVERED WITH A PROTON OR MUDDY CONDITION. WHEN THE SUBSOIL IS COARSE AND STONY, IT SHALL BE COVERED WITH A PROTON OR MUDDY CONDITION. WHEN THE SUBSOIL IS COARSE AND STONY, IT SHALL BE COVERED WITH A PROTON OR MUDDY CONDITION.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. MULCHING OR SEEDING SHALL BE APPLIED TO ALL DISTURBED AREAS. MULCHING OR SEEDING SHALL BE APPLIED TO ALL DISTURBED AREAS. MULCHING OR SEEDING SHALL BE APPLIED TO ALL DISTURBED AREAS.
- AN EROSION CONTROL BLANKET MUST BE INSTALLED ON ALL DISTURBED SLOPES 3:1 OR GREATER. ALL AREAS OF CONCENTRATED FLOW, AND DISTURBED AREAS WITHIN 5 FT. OF A SURFACE WATER.
- STRAW AND HAY MULCH SHOULD BE ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT BIRD SCALD. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "TAMP" THE STRAW OR HAY INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: COMPACTING OF SOIL BY STRAW OR RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED. A WOOD CELLULOSE FIBER MAY BE APPLIED OVER THE STRAW MULCH AT A RATE OF 1000 LB./AC.
- TRACKING SLOPES IS DONE BY RUNNING TRACKED MACHINERY ACROSS AND ALONG THE SLOPE, LEAVING TREAD MARKS WHICH HAVE A HIGH CLAY CONTENT TO AVOID OVER-COMPACTING.
- REPLACE TOPSOIL AND SPREAD OVER THE PREPARED SUBGRADE TO A MINIMUM TOPSOIL DEPTH OF SIX (6) INCHES ON ALL DISTURBED LAND AREAS. DO NOT PLACE TOPSOIL UNDER CONDITIONS OF EXTREMELY DRY WEATHER. DO NOT HANDLE TOPSOIL WHEN FROZEN OR MOIST. ALL ROOKS OVER 1" IN DIA. AND OTHER DEBRIS SHALL BE REMOVED FROM TOPSOIL.

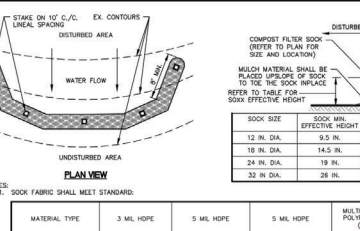
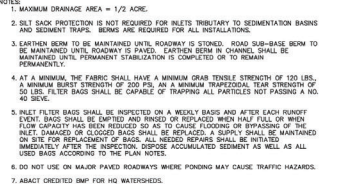
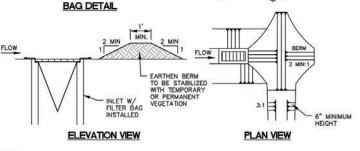
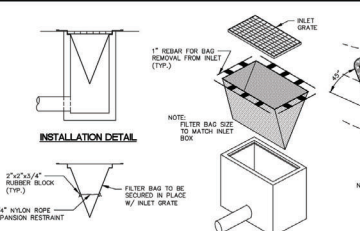
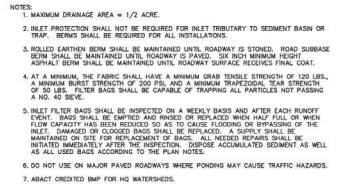
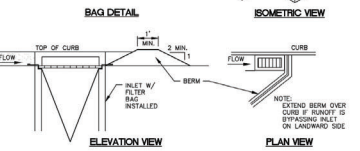
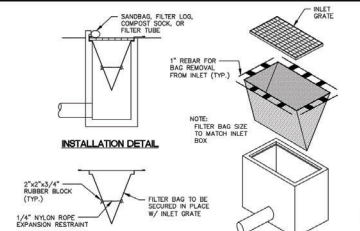
SOIL EROSION AND SEDIMENTATION CONTROL MAINTENANCE PROGRAM NOTES

- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROL BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS AND REPAIRS AS NECESSARY. REPAIRS SHALL BE COMPLETED WITHIN 48 HOURS OF THE DATE THAT THE DEFECT WAS IDENTIFIED. ALL PREVENTATIVE AND REPAIR MAINTENANCE WORK, INCLUDING REPAIR, REPLACEMENT, AND MAINTENANCE OF EROSION CONTROL MEASURES, SHALL BE COMPLETED WITHIN 48 HOURS OF THE DATE THAT THE DEFECT WAS IDENTIFIED. ALL PREVENTATIVE AND REPAIR MAINTENANCE WORK, INCLUDING REPAIR, REPLACEMENT, AND MAINTENANCE OF EROSION CONTROL MEASURES, SHALL BE COMPLETED WITHIN 48 HOURS OF THE DATE THAT THE DEFECT WAS IDENTIFIED.
- ANY SEDIMENTATION REMOVED FROM BMPs DURING CONSTRUCTION SHALL BE RETURNED TO UPGRADE AREAS ON-SITE AND INCORPORATED INTO THE SITE GRADING.
- A LOG SHOWING THE DATES THAT EACH BMP WAS INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THAT THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT OR OTHER REGULATORY AGENCY OFFICE AT THE TIME OF INSPECTION.
- THE PERMITS AND CO-PERMITTEE MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SOIL EROSION AND SEDIMENTATION CONTROL, TO ASCERTAIN THAT THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE BEING MAINTAINED AND OPERATED AS INTENDED. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:

SOIL EROSION AND SEDIMENTATION CONTROL LIMITATIONS AND RESOLUTIONS

- AREAS TO BE FILLED ARE TO BE CLEANED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBSTRUCTIVE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO EXCEED EROSION, SLURRING, SETTLEMENT, SUBSIDENCE OR OTHER RELATED MATERIALS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOIL WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 3601.11502, 271.1, AND 2871.020. NO WASTE MATERIALS SHALL BE BURNED, SMELTED, OR INCINERATED AT THE SITE.
- ALL EXISTING SHALL BE PLACED ON COMPACTED LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FOREIGN PARTICLES WHICH WOULD BE OBSTRUCTIVE OR OBSCURABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILL.
- EROSION MATERIAL OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON UNSTABILIZED OR PROPOSED SURFACES.
- SOILS OR SPONGES ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE PA DEP'S STANDARDS AND SPECIFICATIONS FOR SURFACE DRAIN OR OTHER APPROVED METHOD.
- ACCORDING TO PA GEOLOGICAL SURVEY MAP, THE SITE IS LEVELY TO BE UNDERLAIN BY HARST GEOLGY. IMMEDIATELY UPON COMPLETION OF CONSTRUCTION, THE OPERATOR SHALL NOTIFY THE COUNTY ENGINEER AND IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO REPAIR THE SHOROTAGE PER THE DETAILS PROVIDED ON THE PLAN.
- SPECIFIC SOIL LIMITATIONS OF URBAN LANDS AND URBAN LAND-OUTLIED COMPLEX SOILS AND THEIR RESOLUTIONS:

- PROTECT FROM: INSTALL BUILDING FOOTERS BEFORE FROSTLINE, DO NOT USE UNSUITABLE SOIL FOR EMBANKMENT CONSTRUCTION.
- DEPTH TO SATURATED ZONE (RATIONAL) (Z): SEE NOTE 7 ABOVE. SOIL INFILTRATION TESTING HAS BEEN COMPLETED IN ORDER TO DETERMINE ADEQUATE VERTICAL SEPARATION DISTANCE (I.E. 2')



SOCK FABRIC SHALL MEET STANDARD:

MATERIAL TYPE	3 ML HOPE	5 ML HOPE	5 ML HOPE	MULTI-FILAMENT POLYPROPYLENE (MPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (DMPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" x 18"	12", 16", 24" x 32"	12", 16", 24" x 32"	12", 16", 24" x 32"	12", 16", 24" x 32"
MESH OPENINGS	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH	28#	26#	26#	44#	202# PSI
ULTRAVIOLET STABILITY & ORGANIC (ASTM G-155)	23K AT 1,000 HR.	23K AT 1,000 HR.	23K AT 1,000 HR.	100K AT 1,000 HR.	100K AT 1,000 HR.
MINIMUM FUNCTIONAL CONDUCTIVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

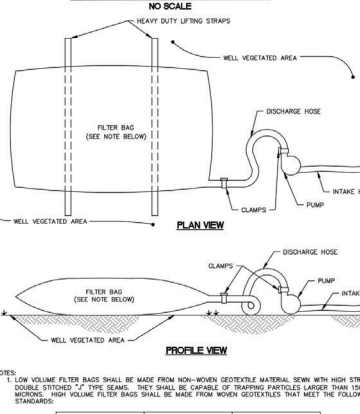
INNER CONTAINMENT NETTING: FUSION-WELDED ANCHURES

OUTER FILTRATION MESH: HOPE BAKAL NET CONTINUOUSLY WOUND FUSION-WELDED ANCHURES 3/4" x 3/4" MAX. APERTURE SIZE

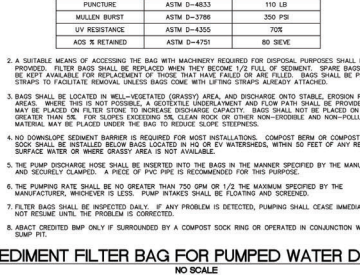
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.

- COMPOST SHALL MEET STANDARD:
- | ORGANIC MATTER CONTENT | 25%-100% (DRY WEIGHT BASIS) |
|----------------------------|---------------------------------|
| ORGANIC PORTION | FIBROUS AND ELONGATED |
| PH | 5.0-8.5 |
| MOISTURE CONTENT | 30% - 60% |
| PARTICLE SIZE | 30% 50# PASS THROUGH 3/8" SIEVE |
| SOLUBLE SALT CONCENTRATION | 5.0 OZ./M (MG/CM) MAXIMUM |
- COMPOST FILTER SOCK SHALL BE PLACED AT AN EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SLOPE ALIGNMENT.
 - MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2 OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION EROSION AND SEDIMENT CONTROL PROGRAM MANUAL - TECHNICAL GUIDANCE NUMBER 303-234-008.
 - STAKES MAY BE INSTALLED IMMEDIATELY DOWNWIND OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTOGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
 - ABACT CREDITED BMP.

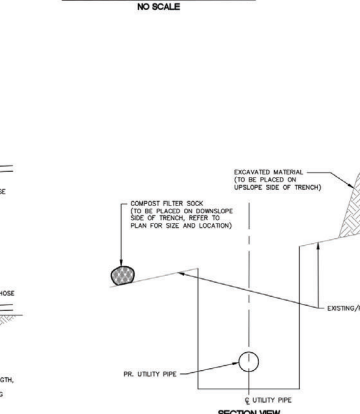
TEMPORARY SILT SACK INLET PROTECTION DETAIL (TYPE 'C' INLET)



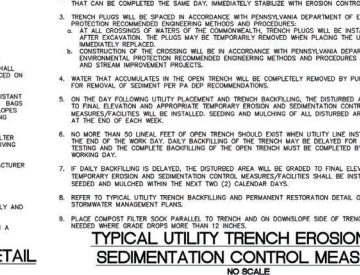
TEMPORARY SILT SACK INLET PROTECTION DETAIL (TYPE 'M' INLET)



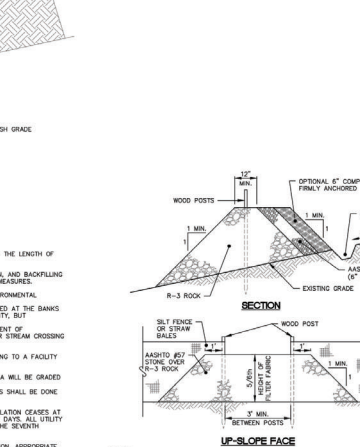
TEMPORARY SILT SACK INLET PROTECTION DETAIL (TYPE 'C' INLET)



TEMPORARY SILT SACK INLET PROTECTION DETAIL (TYPE 'M' INLET)



TYPICAL COMPOST FILTER SOCK DETAIL



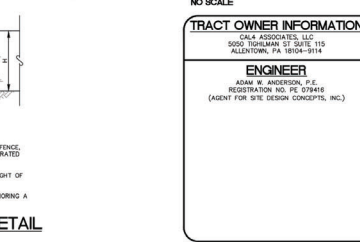
TEMPORARY STABILIZED ROCK CONSTRUCTION ENTRANCE DETAIL



CONSTRUCTION SPECIFICATIONS

- STONE SIZE: NO FINEER THAN AASHTO #1.
- LENGTH AS EFFECTIVE, BUT NOT LESS THAN 50 FT. (WITH THE EXCEPTION OF SINGLE RESIDENCE LOTS WHERE A 30 FT. MIN. LENGTH IS ACCEPTABLE).
- THICKNESS: NOT LESS THAN 8 INCHES BUT NOT LESS THAN FULL WIDTH OF ALL PORTIONS OF INGRESS AND EGRESS.
- WIDTH: 20 FT. MIN. BUT NOT LESS THAN FULL WIDTH OF ALL PORTIONS OF INGRESS AND EGRESS.
- FILTER SOCK SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER SOCKS SHALL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BEAM SHALL BE INSTALLED WHEREVER OPTIONAL CURB/VENT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT FROM THE ENTRANCE ONLY. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT FROM THE ENTRANCE ONLY. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT FROM THE ENTRANCE ONLY.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED THICKNESS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY. EXCESS LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 20 FEET SHALL BE PERMITTED. THE ENTRANCE SHALL BE MAINTAINED OPEN THROUGH THE ROADWAY OR EXCESSIVE DEPOSITS INTO ROADWAY DITCHES, SEWERS, COLLECTORS OR OTHER DRAINAGE COVERS OR OTHER APPROVED METHODS.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.
- ABACT CREDITED BMP WHEN THE LENGTH OF THE STABILIZED ROCK CONSTRUCTION ENTRANCE IS MORE THAN 100 FT. IN LENGTH.

TEMPORARY STABILIZED ROCK CONSTRUCTION ENTRANCE DETAIL



NO.	DATE	REVISION	BY	CHKD.	APP'D.	COMMENTS
1	12/12/22	ISSUED FOR CITY STAFF COMMENTS				
2	12/12/22	ISSUED FOR CITY STAFF COMMENTS				

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SOIL EROSION AND SEDIMENTATION NOTES AND DETAILS

PROPOSED RESTAURANT WITH DRIVE-THRU
ALLENSTOWN PA DEVELOPMENT, LLC
707 NORTH 80TH STREET • UTH WARD • PH: 549.726.6372
CITY OF ALLENSTOWN, LEHIGH COUNTY, PENNSYLVANIA

TRACT OWNER INFORMATION

SCALE: AS NOTED

DRAWN BY: SAH

CREATED BY: AWA

CONTACT: AWA

DATE: 08.24.22

FILE NAME:

JOB NO.: 89710-LD-1

89710

DRAWN BY: SAH

SCALE: 1" = 40'

REVISION: 2

SE-4



POPEYES

LOUISIANA KITCHEN

CHICKEN



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That
CHICKEN





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