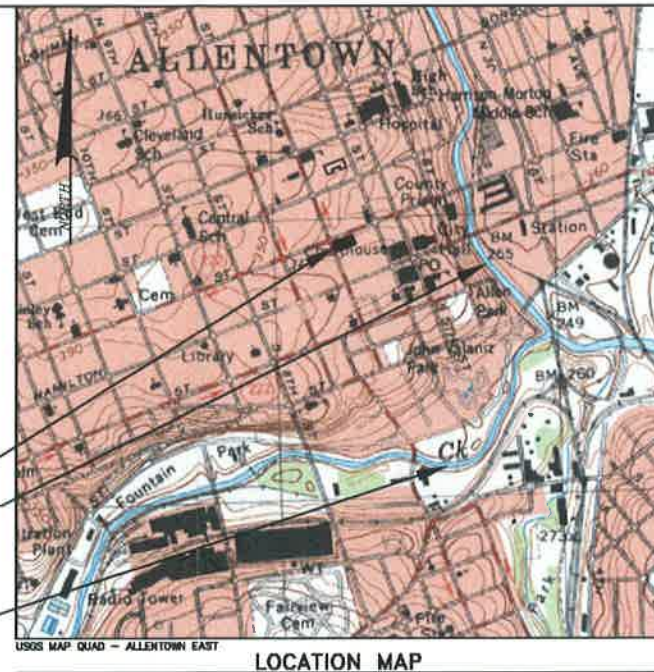


FINAL LAND DEVELOPMENT PLAN FOR STRATA III CITY OF ALLENTOWN, 5TH WARD, LEHIGH COUNTY, PENNSYLVANIA



SITE
RECEIVING WATERSHED - JORDAN CREEK
LITTLE LEHIGH CREEK

GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A MULTIPLE USE STRUCTURE WITH RESIDENTIAL, RETAIL AND PARKING COMPONENTS.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN AN AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT.
- THE SITE SHALL BE SERVED WITH PUBLIC WATER AND PUBLIC SANITARY SEWER FACILITIES.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES WITHIN THE LIMITS OF THE SITE, ADJACENT TO THE SITE OR ALONG ANY ROUTE OF TRAVEL OF CONSTRUCTION AND ALL EFFORTS SHALL BE UNDERTAKEN TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. RESTORATION OF ALL EXISTING SURFACE IMPROVEMENTS DAMAGED OR ALTERED DURING CONSTRUCTION, INCLUDING LANDSCAPING, SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING THE SAFE FLOW OF PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION WITHIN THE SITE AND THE EXISTING ROAD RIGHTS-OF-WAY WHILE ENTERING AND LEAVING THE SITE, ROADWAY AND SIDEWALK CLOSURES AND DETOURS SHALL BE COORDINATED WITH THE CITY OF ALLENTOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN.
- ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND TO THE STANDARDS OF THE MUNICIPAL ORDINANCES.
- THERE SHALL BE NO CHANGES OR DEVIATIONS FROM THESE PLANS UNLESS APPROVED BY THE ENGINEER. SUCH PLAN CHANGES, SHOULD THEY BECOME NECESSARY, ARE SUBJECT TO MUNICIPAL ORDINANCES.
- THE CONTRACTOR SHALL INSPECT EXISTING SITE/PROJECT AREA CONDITIONS AND VERIFY ALL QUANTITIES AND MATERIALS PRIOR TO THE START OF CONSTRUCTION.
- STORMWATER FACILITIES, INCLUDING STORM PIPING AND APPURTENANCES SHALL BE MAINTAINED IN GOOD WORKING CONDITION BY THE DEVELOPER OR THE SUCCESSIVE LAND OWNER. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT THE FACILITIES AT ANY TIME, REQUIRE THE OWNER TO TAKE CORRECTIVE MEASURES AND ASSIGN THE OWNER REASONABLE TIME PERIODS FOR ANY NECESSARY ACTIONS. AUTHORITY MAINTENANCE TO BE DONE AND LIEB ALL COST OF THE WORK AGAINST THE PROPERTIES OF THE OWNER RESPONSIBLE FOR MAINTENANCE.
- THE CURBS, DRIVEWAY APRONS, AND SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALLENTOWN AS APPLICABLE.
- NO PORTION OF THIS TRACT IS INTENDED FOR DEDICATION TO THE CITY OF ALLENTOWN.
- THE CITY OF ALLENTOWN SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OR MAINTENANCE OF ANY AREA NOT DEDICATED FOR THE PUBLIC USE.
- A MINIMUM GREEN ROOF AREA OF 3,000 S.F. SHALL BE PROVIDED FOR STORMWATER MANAGEMENT PURPOSES.
- THE CONTRACTOR SHALL ADHERE TO ALL CITY OF ALLENTOWN SPECIFICATIONS FOR THE PROPOSED CONSTRUCTION.
- CONTRACTOR SHALL CALL PA ONE CALL (CALL BEFORE YOU DIG) AT 1-800-242-1776 3 DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CROSS-SLOPE OF ALL PROPOSED SIDEWALKS SHALL NOT EXCEED 2.0%. ALL NEW CONCRETE WORK THAT EXCEEDS 2.0% SHALL BE REMOVED AND REPLACED.
- THE FINAL LANDSCAPING, LIGHTING AND STREETSCAPE ADMITTANCES WILL BE COORDINATED WITH THE CITY OF ALLENTOWN TO MATCH THE CITY'S DOWNTOWN DEVELOPMENT.
- WATER QUALITY DRAINAGE STRUCTURES SHALL BE PERIODICALLY INSPECTED AND MAINTAINED BY THE OWNER. IN THE EVENT THAT THE RECORDED OWNER(S) FAILS TO PROPERLY MAINTAIN THE FACILITIES WHICH ARE THE RESPONSIBILITY OF THE RECORDED OWNER(S), AFTER NOTIFICATION TO SAID OWNER(S) BY THE CITY, THE CITY IS AUTHORIZED TO ENTER UPON THE PROPERTY TO PERFORM SUCH MAINTENANCE AND THEREAFTER RECOVER THE COST OF PERFORMING SUCH MAINTENANCE FROM THE RECORDED OWNER(S). IN ORDER TO ENFORCE THE RECOVERY OF SUCH COST OF MAINTENANCE, THE CITY SHALL HAVE THE RIGHT TO FILE A MUNICIPAL LIEN AGAINST THE RECORDED OWNER(S) AND THEREFORE TO EXERCISE ITS REMEDIES IN ACCORDANCE WITH THE HOME RULE CHARTER.
- RUNOFF FROM ALL ON-SITE IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE PUBLIC SANITARY SEWER, ACROSS THE SIDEWALK AREA WITHIN THE PUBLIC RIGHT-OF-WAY OR ONTO ADJOINING PROPERTIES.
- WORK TO BE PERFORMED IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ALLENTOWN'S BUREAU OF ENGINEERING STANDARDS.
- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE CITY OF ALLENTOWN STANDARDS AND SPECIFICATIONS.
- WORK TO BE PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH THE IRC.
- ALL STORM SEWER COLLECTION SYSTEM PIPING SHALL HAVE WATER-TIGHT JOINTS.
- CUT AND CAP ALL EXISTING SANITARY SEWER LATERALS AT THE CURB IN ACCORDANCE WITH THE CITY OF ALLENTOWN REQUIREMENTS.
- THE PLUMBER SHALL UTILIZE EXISTING SANITARY SEWER LATERALS OR WYES, WHERE EVER POSSIBLE.
- ABANDONED WATER SERVICES WILL NEED TO BE CUT AND GAPPED AT THE CORPORATION STOP MAIN.
- WATER METERS AND BACKFLOW PREVENTION DEVICES WILL BE REQUIRED FOR THE BUILDING.
- THE MINIMUM DISTANCE BETWEEN THE PLACEMENT OF THE TRISSES TO THE LIGHT POLES AND UTILITY SERVICE LINES SHALL BE 10 FEET.
- ALL CITY PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- OWNER IS REQUIRED TO PERIODICALLY INSPECT AND MAINTAIN THE ON-SITE STORMWATER FACILITIES, PRIMARILY THE BMP DEVICES, AND MAINTAIN A LOG DOCUMENTING WHEN SUCH DEVICES WERE INSPECTED AND WHEN MAINTENANCE ACTIVITIES HAD BEEN PERFORMED, INCLUDING SUCH ITEMS AS AMOUNT OF MATERIAL REMOVED FROM A GIVEN BMP DEVICE. THIS LOG SHALL BE MADE AVAILABLE TO THE CITY DURING A POST STORM WATER INSPECTION.
- APPLICANT MUST SUPPLY AS-BUILT DETAILED STREET LIGHT WIRING PLANS TO THE CITY UPON COMPLETION OF CONSTRUCTION FOR FUTURE REFERENCE.
- THE DEVELOPER WILL NEED TO COMPLY TO THE STIPULATIONS OF THE CITY OF ALLENTOWN COOPIED ORDINANCE #1387 (ACT 167).

CERTIFICATIONS

CERTIFICATION OF OWNER OF RECORD OF DEDICATION

I (WE), THE UNDERSIGNED, BEING THE OWNER(S) IN PEACEFUL POSSESSION OF THE LAND HEREIN PLATTED AND BEING THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF THE SAME, DO HEREBY ADOPT THIS PLAN OF PROPERTY SITUATED IN THE CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA, (AND DEDICATED TO THE USE OF THE PUBLIC FOREVER ALL LAND FOR PUBLIC PURPOSES SHOWN HEREON).

THE FOREGOING ADOPTION (AND DEDICATION) IS MADE BY ME (US) WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL BY THE ALLENTOWN CITY PLANNING COMMISSION, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF LEHIGH COUNTY, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF THE DATE OF THE APPROVAL.

SIGNATURE OF CITY CENTER INVESTMENT CORP. _____

NOTARIZATION
CITY CENTER INVESTMENT CORP.

SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____ (LEGIBLE IMPRESSION OF NOTARY SEAL)

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CERTIFICATION OF OWNER OF RECORD OF DEDICATION

I (WE), THE UNDERSIGNED, BEING THE OWNER(S) IN PEACEFUL POSSESSION OF THE LAND HEREIN PLATTED AND BEING THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF THE SAME, DO HEREBY ADOPT THIS PLAN OF PROPERTY SITUATED IN THE CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA, (AND DEDICATED TO THE USE OF THE PUBLIC FOREVER ALL LAND FOR PUBLIC PURPOSES SHOWN HEREON).

THE FOREGOING ADOPTION (AND DEDICATION) IS MADE BY ME (US) WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL BY THE ALLENTOWN CITY PLANNING COMMISSION, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF LEHIGH COUNTY, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF THE DATE OF THE APPROVAL.

SIGNATURE OF ALLENTOWN PARKING AUTHORITY _____

NOTARIZATION
ALLENTOWN PARKING AUTHORITY

SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____ (LEGIBLE IMPRESSION OF NOTARY SEAL)

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA.

IN DOCKET # _____ ON THE _____ DAY OF _____, 20____

WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____

WITNESS: _____

RECORDER OF DEEDS

CERTIFICATIONS CONT.

PLANNING COMMISSION APPROVAL

THE WITHIN PLOT OR PLAN LOCATED IN THE CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA, WAS APPROVED BY THE ALLENTOWN CITY PLANNING COMMISSION.

CHAIRMAN _____ DATE _____

PLANNING DIRECTOR _____ DATE _____

SECRETARY _____ DATE _____

APPROVED: _____

CITY ENGINEER _____ DATE _____

CERTIFICATION OF LEHIGH VALLEY PLANNING COMMISSION

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

PLANNER _____ DATE _____

OWNER/APPLICANT

ALLENTOWN PARKING AUTHORITY
903 WEST LINDEN STREET
ALLENTOWN, PA 18101

SOURCE OF TITLE

ALLENTOWN PARKING AUTHORITY
PIN #40271508830-1
TMS #2014031855
CONTAINING 24,513 S.F.

STREET ADDRESS

TO BE DESIGNATED

ZONING DATA

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2,000 S.F.	24,513 S.F.	24,513 S.F.
MINIMUM LOT WIDTH	20 FT.	105.98 FT.	105.98 FT.

IN THE B-2 DISTRICT, THERE ARE NO REGULATIONS OF YARD DIMENSIONS, HEIGHT RESTRICTIONS, OR BUILDING COVERAGE.

YUDO: THERE ARE NO STRUCTURES TO BE REMOVED ON THE PROJECT SITE EXCEPT FOR THE COLLECTION BOOTH.

PROPERTY KEY MAP



SITE DATA

TOTAL AREA	0.583 AC. (A)
EXISTING NO. OF LOTS	1
PROPOSED NO. OF LOTS	1
EXISTING USE	COMMERCIAL (PARKING)
PROPOSED USE	COMMERCIAL (PARKING, RESIDENTIAL, RETAIL)
WATER SUPPLY	PUBLIC (LEHIGH COUNTY AUTHORITY)
SANITARY SEWER SUPPLY	PUBLIC (LEHIGH COUNTY AUTHORITY)

PA ONE CALL UNDERGROUND UTILITY PROTECTION ACT

RETIEW ASSOCIATES, INC. HEREBY STATES THAT, PURSUANT TO THE PROVISIONS OF ACT 167 OF 1994, AS AMENDED BY ACT 167 OF 1994, AND ACT 167 OF 2009 OF THE PENNSYLVANIA LEGISLATURE, IT HAS PERFORMED THE FOLLOWING BY PREPARING THESE DRAWINGS: REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL JURISDICTION(S) SHOWN ON THE DRAWINGS:

- PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, RETIEW ASSOCIATES, INC. REQUESTED FROM EACH UTILITY OFFICE DESIGNATED BY SAID LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PROVIDED BY SECTION 2, CLAUSE (C) OF SAID ACT, NOT LESS THAN (C) NOR MORE THAN (C) WORKING DAYS BEFORE PAAL DESIGN IS TO BE COMPLETED.
- PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, RETIEW ASSOCIATES, INC. HAS MET THE OBLIGATIONS OF CLAUSE (C) BY CALLING THE ONE CALL SYSTEM WITHIN THE LOCATION WHERE EXCAVATION IS TO BE PERFORMED.
- PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, RETIEW ASSOCIATES, INC. HAS MET THE OBLIGATIONS OF CLAUSE (C) BY CALLING THE ONE CALL SYSTEM WITHIN THE LOCATION WHERE EXCAVATION IS TO BE PERFORMED.

AND RETIEW ASSOCIATES, INC. DOES NOT HAVE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST AND AS REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE. RETIEW ASSOCIATES, INC. IS REFLECTED SAID INFORMATION ON THESE DRAWINGS ONLY DUE TO THE REQUIREMENTS OF THE SAID ACT AND NOT OF THE ONE CALL SYSTEM. RETIEW ASSOCIATES, INC. NOTIFICATION BY RETIEW ASSOCIATES, INC.

DATE: 06/20/2018

ONE CALL SYSTEM SERIAL NUMBER: 2018123181
PA1
SYSTEM, INC.
1-800-242-1776

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW ENFORCEMENT
ON WORKING DAYS BEFORE PAAL DESIGN IS TO BE COMPLETED
DATE IN BROWN TEXT - ONLY CALL

LIST OF DRAWINGS

- *C-01 OF 19.....COVER SHEET
- *C-02 OF 19.....EXISTING CONDITIONS/DEMOLITION PLAN
- *C-03 OF 19.....LAYOUT PLAN
- *C-04 OF 19.....SITE PLAN - UPPER GARAGE LEVEL
- *C-05 OF 19.....SITE PLAN - LOWER GARAGE LEVEL
- *C-06 OF 19.....GRADING & UTILITY PLAN
- *C-07 OF 19.....GRADING & UTILITY PLAN - UPPER LEVEL
- *C-08 OF 19.....GRADING & UTILITY PLAN - LOWER LEVEL
- *C-09 OF 19.....LANDSCAPE & LIGHTING PLAN
- *C-10 OF 19.....CONSTRUCTION DETAILS & PROFILES
- *C-11 OF 19.....CONSTRUCTION DETAILS
- *C-12 OF 19.....LIGHTING DETAILS
- *C-13 OF 19.....EROSION AND SEDIMENT CONTROL EXISTING CONDITIONS
- *C-14 OF 19.....EROSION AND SEDIMENT CONTROL PLAN
- *C-15 OF 19.....EROSION AND SEDIMENT CONTROL NOTES
- *C-16 OF 19.....EROSION AND SEDIMENT CONTROL DETAILS
- *C-17 OF 19.....POST CONSTRUCTION STORMWATER MANAGEMENT EXISTING CONDITIONS
- *C-18 OF 19.....POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
- *C-19 OF 19.....POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

NOTE:

PLAN SHEETS C-01, C-03, C-04 AND C-08 ARE TO BE RECORDED, AND SHOULD BE REPRODUCED COLLECTIVELY FOR NOTES, DATA, AND CERTIFICATIONS.

FOR REVIEW ASSOCIATES BY: _____

DATE: 1 8/12/18 SUBMIT TO CITY AND LUPC

DAVID D. MILLER
PA. LIC. # PE-054680-E

REVISION

REVIEW

REVIEW ASSOCIATES, INC.
1015 Northampton Street, Ste. 400, Allentown, PA 18101
Phone: (610) 261-0530 Fax: (610) 240-4025
Website: www.reviewinc.com

CLIENT
CITY CENTER INVESTMENT CORP.
645 HAMILTON STREET, SUITE 600
ALLENTOWN, PA 18101

AS NOTED

COVER SHEET
FINAL LAND DEVELOPMENT PLAN
FOR
STRATA III

CITY OF ALLENTOWN, 5TH WARD
LEHIGH COUNTY, PA

DATE: JULY 22, 2018

SHEET NO. C-01 OF 19

DWG. NO. 096772000

SURVEY NOTES

1. BENCHMARK MAG NAIL FOUND IN THE MACADAM PARKING LOT AT THE SOUTHEAST INTERSECTION W. LINDEN STREET AND S. SIXTH STREET, NAVD 1988 ELEVATION=330.10'.
2. BASIS OF SURVEY IS THE PA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NAD83 (801), BASED ON PRIOR SURVEY CONTROL ESTABLISHED BY RETIEW ASSOCIATES, INC.
3. THE PROPERTIES SHOWN ON THIS PLAN ARE SUBJECT TO ANY EASEMENTS, RIGHT-OF-WAYS, RESTRICTIONS, EXCEPTIONS, OR OTHER ENCUMBRANCES AS MAY BE DISCOVERED THROUGH TITLE SEARCHES. TITLE SEARCHES WERE NOT AVAILABLE AS OF THE DATE OF THE SURVEY.
4. EXISTING FEATURES SHOWN HEREON ARE BASED ON A SURVEY PERFORMED BY RETIEW ASSOCIATES, INC., COMPLETED IN JUNE 2016.
5. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 187 UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION. (RETIEW CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT PERFORMANCE).

MAP REFERENCES

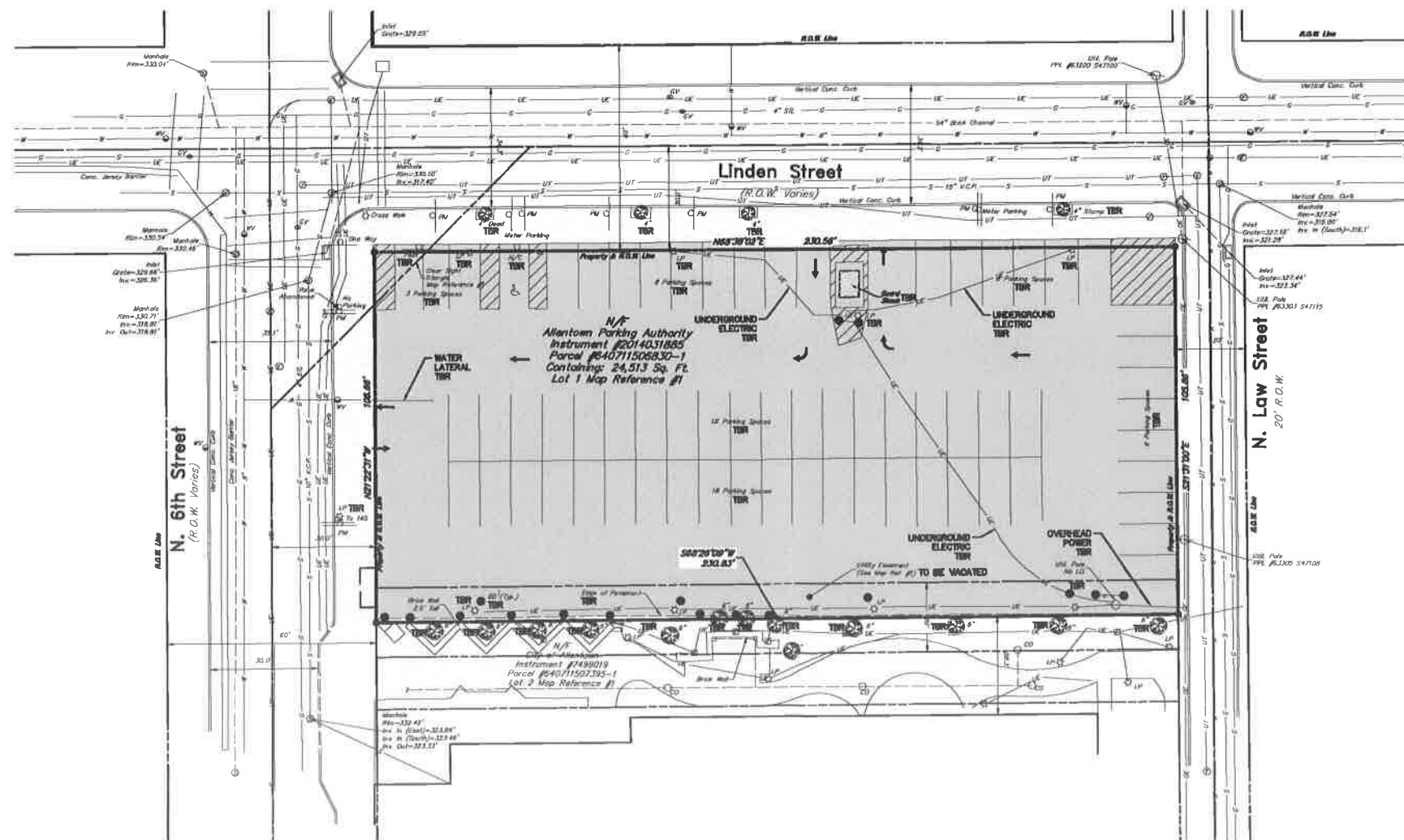
1. "THE MORNING CALL -- FINAL MINOR SUBDIVISION PLAN" PREPARED BY SPOTIS, STEVENS AND MCCOY, INC., DATED 04/30/89 AND RECORDED IN LEHIGH COUNTY RECORDER OF DEEDS AS MINOR SUBDIVISION, VOLUME 11, PAGE 384

NOTES

1. DISCONNECTION OF ELECTRIC, GAS, WATER, SANITARY SEWER, AND ALL OTHER UTILITY SERVICES SHALL BE DISCONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF EACH UTILITY PROVIDER.
2. DISCONNECT AND CAP ALL EXISTING SANITARY SEWER LATERALS AT THE MAIN OR MANHOLE IN ACCORDANCE WITH THE CITY OF ALLENTOWN REQUIREMENTS.
3. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONING PRIOR TO DEMOLITION AND EARTH DISTURBANCE ACTIVITY. SEE EROSION AND SEDIMENT CONTROL PLAN AND DETAILS.

LEGEND

EXISTING BOUNDARY LINE	EXISTING STORM INLET
EXISTING RIGHT-OF-WAY LINE	EXISTING STORM HEADWALL/ANIMAL
EXISTING EASEMENT LINE	EXISTING STORM PIPE
EXISTING SETBACK LINE	EXISTING CONTOUR LINE
EXISTING CURB	EXISTING CONTOUR MANHOLE
EXISTING PAVEMENT	PROPOSED CURB
EXISTING VEGETATION	PROPOSED FENCE
	PROPOSED CONTOUR LINE
EXISTING FENCE	PROPOSED WATER LINE
EXISTING UTILITY POLE	PROPOSED SANITARY SEWER LINE
EXISTING OVERHEAD TELEPHONE LINE	PROPOSED STORM MANHOLE
EXISTING UNDERGROUND TELEPHONE LINE	PROPOSED STORM INLET
EXISTING OVERHEAD ELECTRIC LINE	PROPOSED STORM PIPE
EXISTING UNDERGROUND ELECTRIC LINE	TO BE REMOVED
EXISTING WELL	BUILDING TO BE RAZED
EXISTING WATER VALVE	PAVEMENT REMOVAL
EXISTING FIRE HYDRANT	SIDEWALK REMOVAL
EXISTING WATER LINE	
EXISTING SANITARY SEWER MANHOLE	
EXISTING SANITARY SEWER LINE	
EXISTING SANITARY SEWER FORCEMAIN	
EXISTING TELEPHONE BOX	
EXISTING GAS LINE	
EXISTING GAS VALVE	
EXISTING STORM MANHOLE	



<p>CLIENT CITY CENTER INVESTMENT CORP. 645 HAMILTON STREET, SUITE 600 ALLENTOWN, PA 18101</p>	<p>MANAGER DAVID MILLER, P.E. CHD BY: DOM</p> <p>DESIGN BY DOM</p> <p>SURV. CHIEF DAVID MILLER</p> <p>DRAWN BY A.S.N.</p>	<p>DATE 07/22/16</p> <p>SCALE 1"=20'</p>	<p>FOR RETIEW ASSOCIATES BY: DAVID D. MILLER PA LIC # PE-060600-E</p>	<p>DATE 07/22/16</p> <p>DATE 07/22/16</p> <p>DATE 07/22/16</p>	<p>DATE 07/22/16</p> <p>DATE 07/22/16</p> <p>DATE 07/22/16</p>
<p>EXISTING CONDITIONS/DEMOLITION PLAN FINAL LAND DEVELOPMENT PLAN FOR STRATA III</p>					
<p>CITY OF ALLENTOWN, 5TH WARD LEHIGH COUNTY, PA</p>					
<p>DATE: JULY 22, 2016</p> <p>SHEET NO. C-02 OF 19</p> <p>DWG. NO. 096772000</p>					

PLANNING COMMISSION APPROVAL

THE WITHIN PLOT OR PLAN LOCATED IN THE CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA, WAS APPROVED BY THE ALLENTOWN CITY PLANNING COMMISSION.

CHAIRMAN _____ DATE _____
 PLANNING DIRECTOR _____ DATE _____
 SECRETARY _____ DATE _____
 APPROVED: _____
 CITY ENGINEER _____ DATE _____

PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA.
 IN DOCKET ID # _____, ON THE _____ DAY OF _____, 20____.
 WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.
 WITNESS: _____
 RECORDER OF DEEDS

CERTIFICATION OF LEHIGH VALLEY PLANNING COMMISSION

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION
 _____ PLANNER DATE _____

SURVEY DATA

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE, ON THE GROUND, THAT IT IS CORRECT AND AT THE TIME THE SURVEY WAS MADE, THERE WERE NO EASEMENTS OR ENCROACHMENTS ACROSS PROPERTY LINES, OTHER THAN THOSE SHOWN.

(REGISTERED SURVEYOR) _____ 20____

NOTE:

PLAN SHEETS C-01, C-03, C-04 AND C-06 ARE TO BE RECORDED, AND SHOULD BE REFERENCED COLLECTIVELY FOR NOTES, DATA, AND CERTIFICATIONS.

SITE DATA

TOTAL AREA	0.063 AC. (A)
EXISTING NO. OF LOTS	1
PROPOSED NO. OF LOTS	1
EXISTING USE	COMMERCIAL (PARKING)
PROPOSED USE	COMMERCIAL (PARKING, RESIDENTIAL, RETAIL)
WATER SUPPLY	PUBLIC (LEHIGH COUNTY AUTHORITY)
SANITARY SEWER SUPPLY	PUBLIC (LEHIGH COUNTY AUTHORITY)

OWNER/APPLICANT

ALLENTOWN PARKING AUTHORITY
 603 WEST LINDEN STREET
 ALLENTOWN, PA 18101

SOURCE OF TITLE

(A) ALLENTOWN PARKING AUTHORITY
 PIN #040711509830-1
 INS #2014031885
 CONTAINING 24,513 S.F.

STREET ADDRESS

TO BE DESIGNATED

ZONING DATA B-2 (CENTRAL BUSINESS DISTRICT)
 TND0 (TRADITIONAL NEIGHBORHOOD DEVELOPMENT OVERLAY)

	REQUIRED	EXISTING	PROPOSED
(A) MINIMUM LOT AREA	2,000 S.F.	24,513 S.F.	24,513 S.F.
MINIMUM LOT WIDTH	20 FT.	105.86 FT.	105.86 FT.

IN THE B-2 DISTRICT, THERE ARE NO REGULATIONS OF YARD DIMENSIONS, HEIGHT RESTRICTIONS, OR BUILDING COVERAGE.
 TND0: THERE ARE NO STRUCTURES TO BE REMOVED ON THE PROJECT SITE EXCEPT FOR THE COLLECTION BOOTH.

PROPERTY KEY MAP

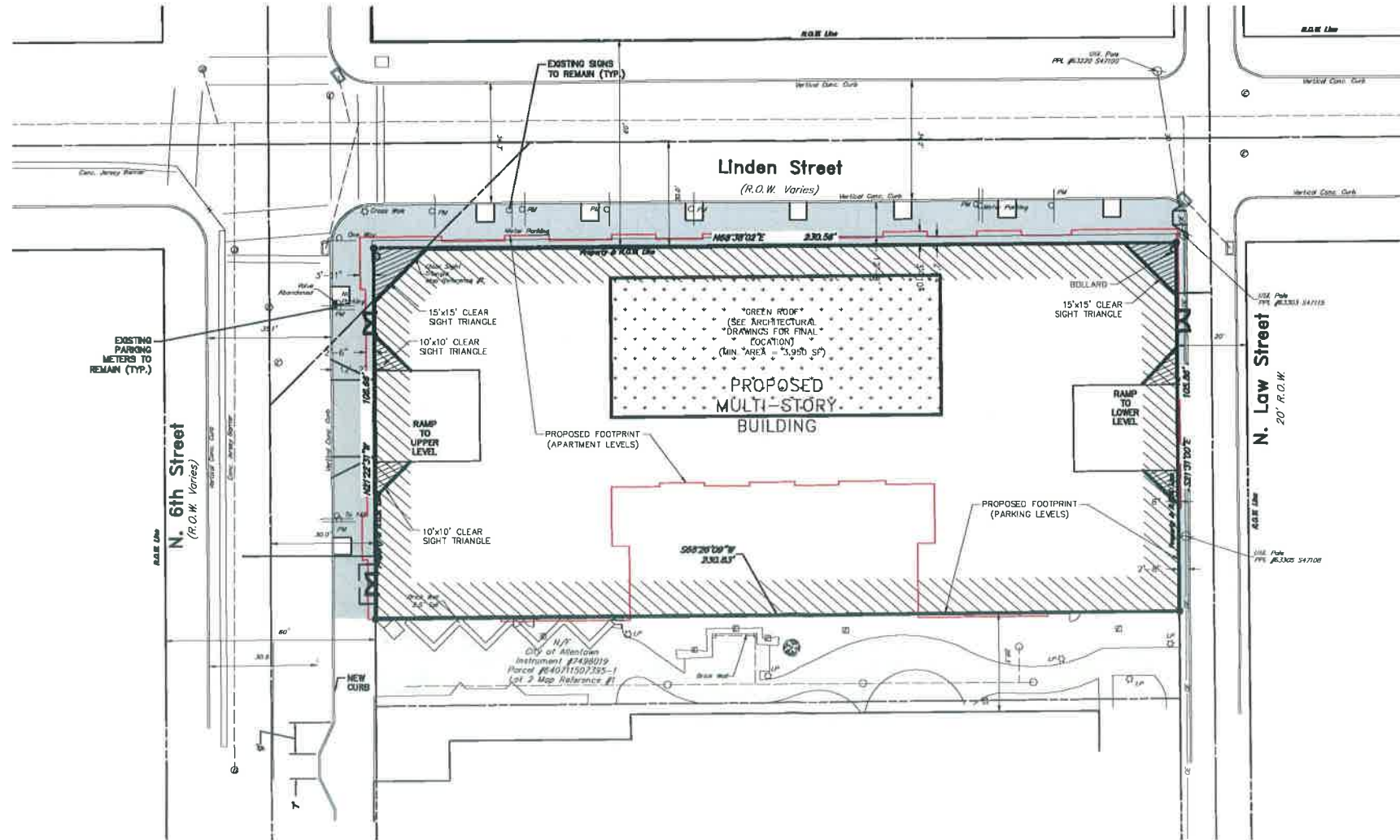


NOTES

- THE FINAL LANDSCAPING, LIGHTING AND STREETSCAPE ELEMENTS WILL BE COORDINATED WITH THE CITY OF ALLENTOWN TO MATCH THE CITY'S DOWNTOWN DEVELOPMENT.
- ALL EXISTING SIGNS SHALL BE RE-INSTALLED UPON COMPLETION OF SIDEWALK REPLACEMENT.

LEGEND

- EXISTING BOUNDARY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINE
- EXISTING CURB
- EXISTING PAVEMENT
- EXISTING VEGETATION
- DECIDUOUS TREE
- EVERGREEN TREE
- EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING OVERHEAD ELECTRIC LINE
- PROPOSED CURB
- REPLACEMENT SIDEWALK



FOR REVIEW ASSOCIATES BY:

MANAGER: DAVID MILLER, P.E.	CHD BY: DDM
DESIGN BY: DDM	REVISION NO. DATA COLLECTOR
SURV. CHIEF: ASH	CHD BY: DDM
DRAWN BY: ASH	CHD BY: DDM

CLIENT: CITY CENTER INVESTMENT CORP., 645 HAMILTON STREET, SUITE 600 ALLENTOWN, PA 18101

CITY CENTER

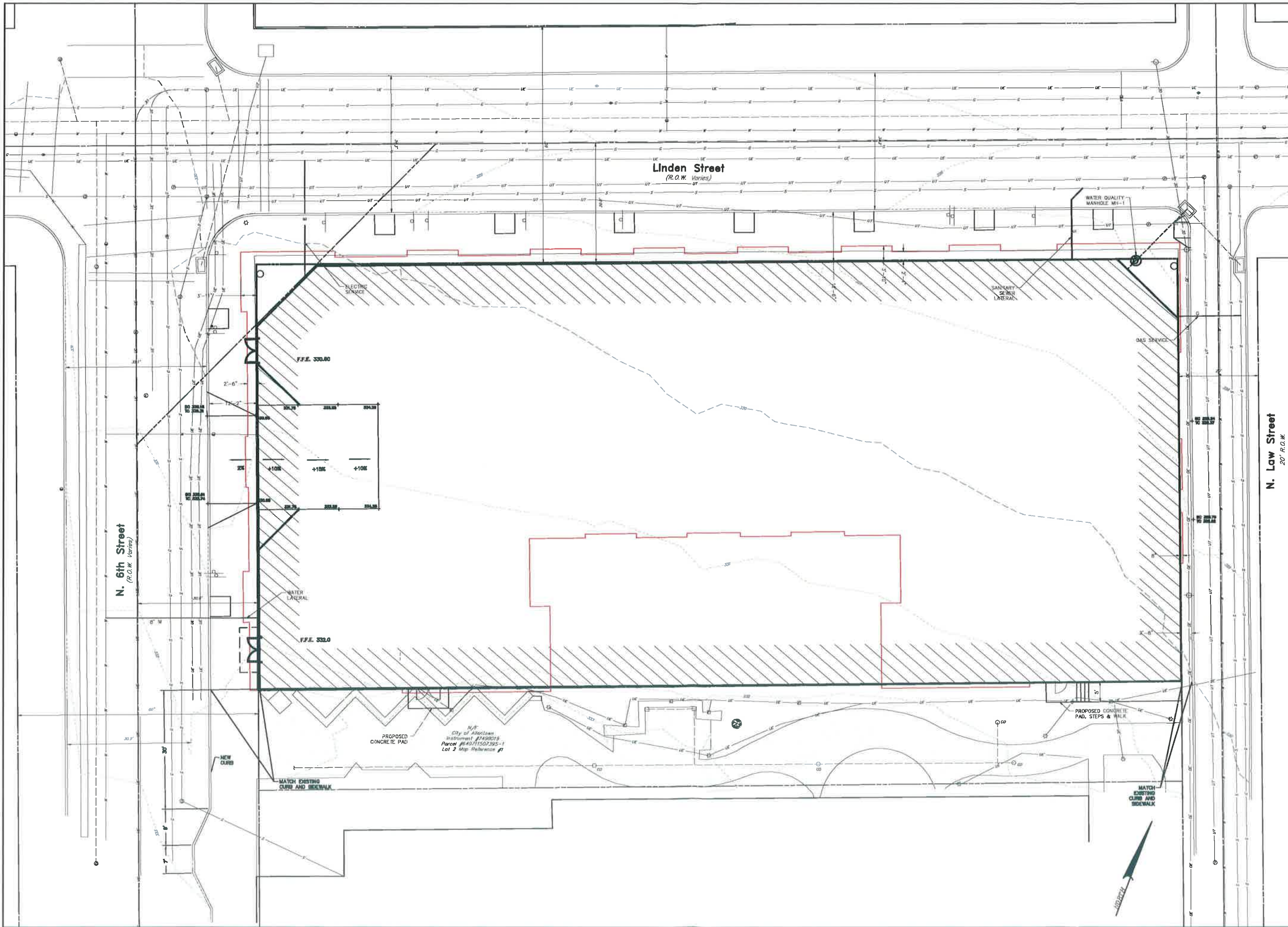
RETTEW
 RETTEW ASSOCIATES, INC., 105 N. MARKET ST., 18TH FLOOR, ALLENTOWN, PA 18101
 Phone: (610) 486-6330 • Fax: (610) 340-4825
 Website: www.retrew.com

LAYOUT PLAN
FINAL LAND DEVELOPMENT PLAN
FOR
STRATA III

CITY OF ALLENTOWN, 5TH WARD LEHIGH COUNTY, PA

DATE: JULY 22, 2016
 SHEET NO. C-03 of 19
 DWG. NO. 096772000

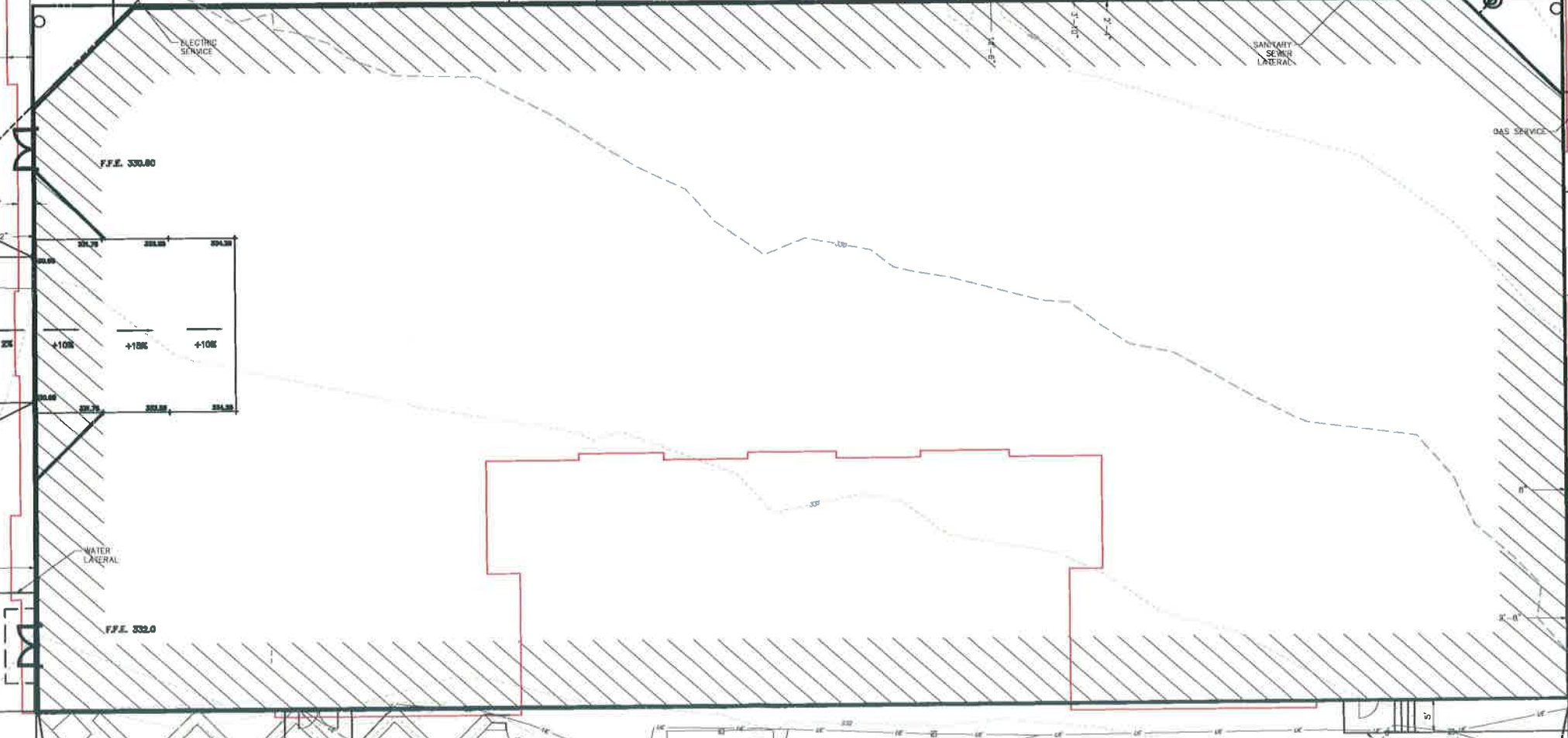
DATE: 8/22/16
 SUBMIT TO CITY AND LUPC
 NO. DATE
 1 8/22/16
 DAVID D. MILLER
 P.E. Lic # PE-009890-E



N. 6th Street
(R.O.W. Varies)

Linden Street
(R.O.W. Varies)

N. Law Street
20' R.O.W.



F.F.E. 330.80

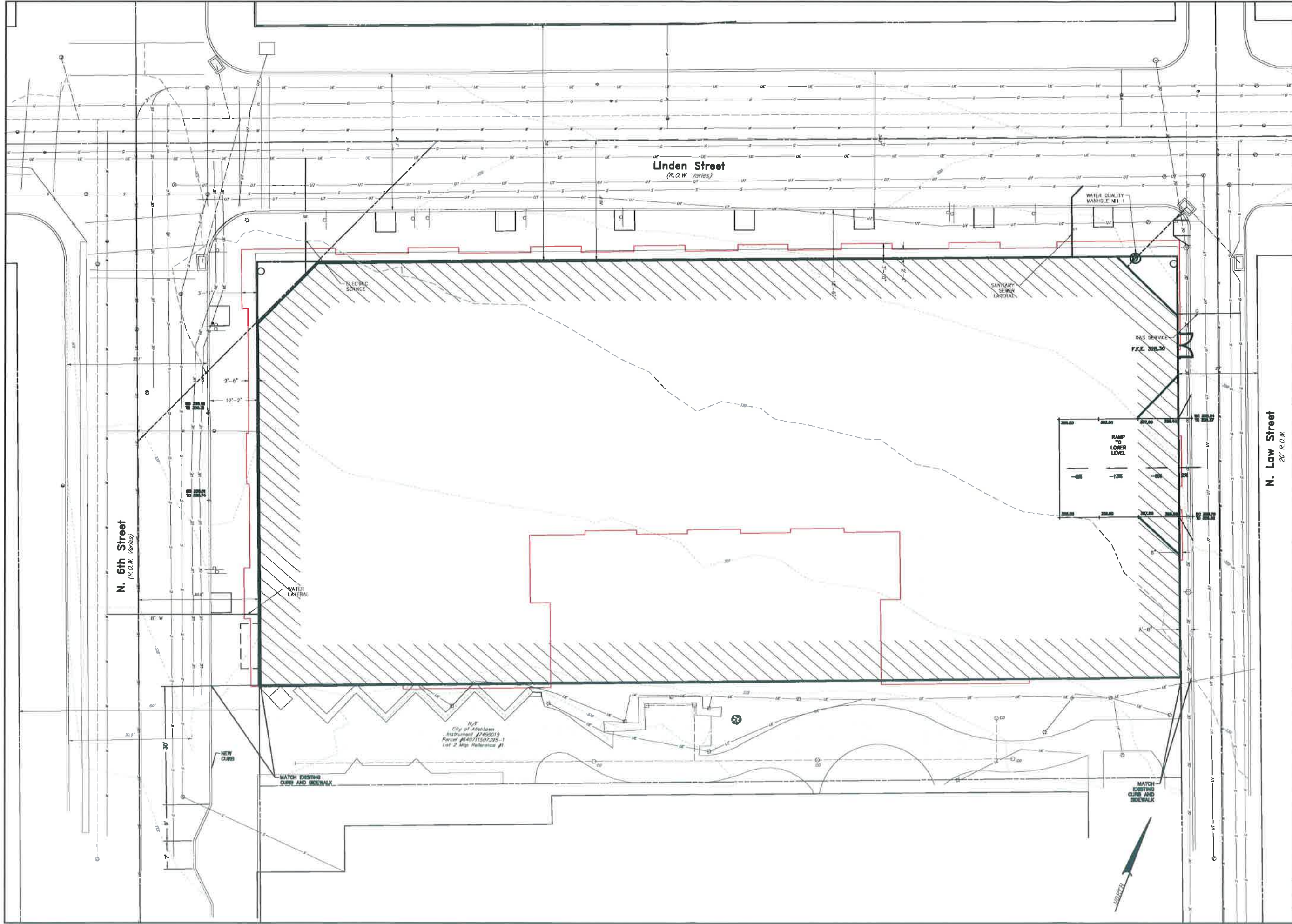
F.F.E. 332.0

City of Allentown
Instrument #1498019
Parcel #40711507395-1
Lot 2 Map Reference #1

RETTEW RETTEW Associates, Inc. 819 Hamilton Street, 3rd Floor, Allentown, PA 18101 Phone (610) 262-8330 • Fax (610) 240-4825 Website: www.retrew.com		CITY CENTER LANDSCAPE ARCHITECTS	
GRADING & UTILITY PLAN - UPPER LEVEL FINAL LAND DEVELOPMENT PLAN FOR STRATA III		CITY OF ALLENTOWN, 5TH WARD LEHIGH COUNTY, PA	
DATE: JULY 22, 2016		SHEET NO. C-07 OF 19	
DWR. NO. 098772000		DRAWING REFERENCE: C:\Users\dmiller\OneDrive\Documents\Strata III\Drawings\098772000-Plan 10.dwg	
CLIENT: CITY CENTER INVESTMENT CORP. 645 HAMILTON STREET, SUITE 800 ALLENTOWN, PA 18101		MANAGER: DAVID MILLER, P.E. DESIGN BY: DOM	
SURV. CHECK: DAVID MILLER DRAWN BY: ASN		CHECK BY: DOM FIELDBOOK NO. DAVID MILLER CHECK BY: DOM	
FOR RETTEW ASSOCIATES BY:		FOR CITY AND LPMC:	
DATE:		DATE:	
REVISION:		REVISION:	

SCALE
 0' 5' 10' 20' 30'





N. 6th Street
(R.O.W. Varies)

Linden Street
(R.O.W. Varies)

N. Law Street
20' R.O.W.

DATE: JULY 22, 2016
 SHEET NO. C-08 of 19
 DWG. NO. 098772000

GRADING & UTILITY PLAN - LOWER LEVEL
 FINAL LAND DEVELOPMENT PLAN
 FOR
STRATA III
 CITY OF ALLENTOWN, 5TH WARD LEHIGH COUNTY, PA

RETIEW.
 RETIEW Associates, Inc. 508 Alhambra, PA 18101
 Phone (610) 548-8330 Fax (610) 240-8825
 Email: retiew@retiew.com Website: www.retiew.com
 Engineers - Planners - Surveyors - Landscape Architects

CLIENT
CITY CENTER INVESTMENT CORP.
 645 HAMILTON STREET, SUITE 600
 ALLENTOWN, PA 18101


MANAGER: DAVID MILLER, P.E.
 DESIGN BY: DOM
 SURV. CHECK: REBEKAH WILSON
 DRAWN BY: ASN
 CHECK BY: DOM

FOR REVIEW ASSOCIATES BY:
 DAVID J. MILLER
 PA. LIC. # PC-006960-E

NO.	DATE	REVISION
1	8/12/16	SUBMIT TO CITY AND LIPC

SURVEY NOTES

1. BENCHMARK MAG NAIL FOUND IN THE MADAM PARKING LOT AT THE SOUTHEAST INTERSECTION W. LINDEN STREET AND S. SIXTH STREET, NAVD 1988 ELEVATION=330.10'.
2. BASIS OF SURVEY IS THE PA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NAD83 (2011), BASED ON PRIOR SURVEY CONTROL ESTABLISHED BY RETTEW ASSOCIATES, INC.
3. THE PROPERTIES SHOWN ON THIS PLAN ARE SUBJECT TO ANY EASEMENTS, RIGHT-OF-WAYS, RESTRICTIONS, EXCEPTIONS, OR OTHER ENCUMBRANCES AS MAY BE DISCOVERED THROUGH TITLE SEARCHES. TITLE SEARCHES WERE NOT AVAILABLE AS OF THE DATE OF THE SURVEY.
4. EXISTING FEATURES SHOWN HEREON ARE BASED ON A SURVEY PERFORMED BY RETTEW ASSOCIATES, INC., COMPLETED IN JUNE 2016.
5. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 187 UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION. (RETTEW CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT PERFORMANCE).

MAP REFERENCES

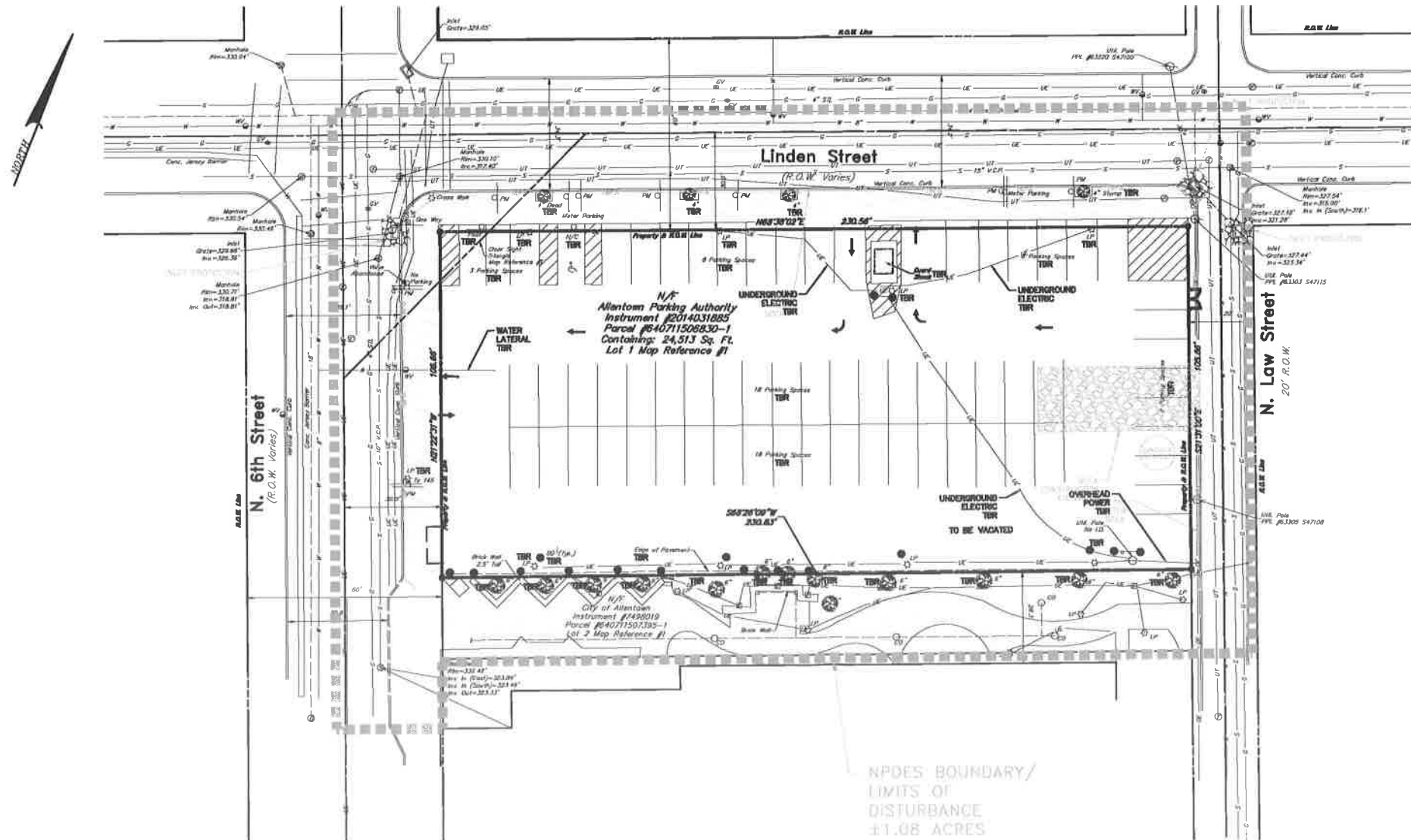
1. "THE MORNING CALL ... FINAL MINOR SUBDIVISION PLAN" PREPARED BY SPOTS, STEVENS AND MOODY, INC., DATED 04/30/99 AND RECORDED IN LEHIGH COUNTY RECORDER OF DEEDS AS MINOR SUBDIVISION, VOLUME 11, PAGE 384

NOTES

1. DISCONNECTION OF ELECTRIC, GAS, WATER, SANITARY SEWER, AND ALL OTHER UTILITY SERVICES SHALL BE DISCONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF EACH UTILITY PROVIDER.
2. DISCONNECT AND CAP ALL EXISTING SANITARY SEWER LATERALS AT THE MAIN OR MANHOLE IN ACCORDANCE WITH THE CITY OF ALLENTOWN REQUIREMENTS.
3. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONING PRIOR TO DEMOLITION AND EARTH DISTURBANCE ACTIVITY. SEE EROSION AND SEDIMENT CONTROL PLAN AND DETAILS.

LEGEND

EXISTING BOUNDARY LINE	EXISTING STORM INLET	EXISTING STORM HEADWALL/ENDWALL
EXISTING RIGHT-OF-WAY LINE	EXISTING STORM PIPE	EXISTING STORM MANHOLE
EXISTING SETBACK LINE	EXISTING ELECTRIC MANHOLE	PROPOSED CURB
EXISTING CURB	PROPOSED CURB	PROPOSED FENCE
EXISTING PAVEMENT	PROPOSED FENCE	PROPOSED CONTOUR LINE
EXISTING VEGETATION	PROPOSED CONTOUR LINE	PROPOSED WATER LINE
EXISTING TREE	PROPOSED WATER LINE	PROPOSED SANITARY SEWER LINE
EVERGREEN TREE	PROPOSED SANITARY SEWER LINE	PROPOSED STORM MANHOLE
	PROPOSED STORM MANHOLE	PROPOSED STORM INLET
	PROPOSED STORM INLET	PROPOSED STORM PIPE
	PROPOSED STORM PIPE	NPDES BOUNDARY
	NPDES BOUNDARY	LIMITS OF DISTURBANCE
	LIMITS OF DISTURBANCE	TEMPORARY INLET PROTECTION
	TEMPORARY INLET PROTECTION	FILTEX SXLT SOXK
	FILTEX SXLT SOXK	TEMPORARY ROCK CONSTRUCTION ENTRANCE
	TEMPORARY ROCK CONSTRUCTION ENTRANCE	TO BE REMOVED
	TO BE REMOVED	BUILDING TO BE RAZED
	BUILDING TO BE RAZED	SEWALK REMOVAL
	SEWALK REMOVAL	



FOR RETTEW ASSOCIATES BY: MANAGER: DAVID MILLER, P.E. CHD BY: DOM DESIGN BY: DOM SURV. CHIEF: RELEBOOK NO. 10471507393-1 DRAWN BY: ASH DATE: 8/12/16 SUBMIT TO CITY AND LIPC REVISION:	
DRAWING REFERENCE: PA 06-04980-E C:\Users\dmiller\OneDrive\Documents\Strata III\Strata III\08172006-Strata III\Strata III.dwg	
CLIENT: CITY CENTER INVESTMENT CORP. 645 HAMILTON STREET, SUITE 600 ALLENTOWN, PA 18101	REF'S: DAVID MILLER, P.E. CHD BY: DOM DESIGN BY: DOM SURV. CHIEF: RELEBOOK NO. 10471507393-1 DRAWN BY: ASH DATE: 8/12/16
SCALE: 1"=20' 0' 10' 20' 40'	
CITY CENTER CITY CENTER INVESTMENT CORP. 645 HAMILTON STREET, SUITE 600 ALLENTOWN, PA 18101 Phone (610) 486-5330 • Fax (484) 240-6325 Email: rettew@rettew.com Website: www.rettew.com	
EROSION & SEDIMENT CONTROL EXISTING CONDITIONS FINAL LAND DEVELOPMENT PLAN FOR STRATA III CITY OF ALLENTOWN, 5TH WARD LEHIGH COUNTY, PA	
DATE: JULY 22, 2016	
SHEET NO. C-13 OF 19	
DWG. NO. 098772000	

SOILS CLASSIFICATION

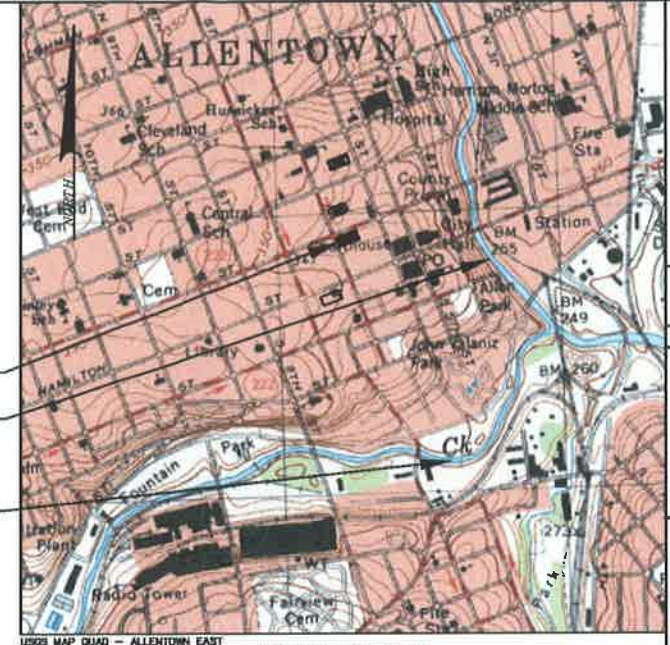
MAD: MADE LAND, LIMESTONE MATERIAL 0 TO 3 PERCENT SLOPES
SEE SHEET C-18 FOR SOIL LIMITATIONS AND RESOLUTIONS.

**RECEIVING WATER CLASSIFICATION
WATER QUALITY DESIGNATION**

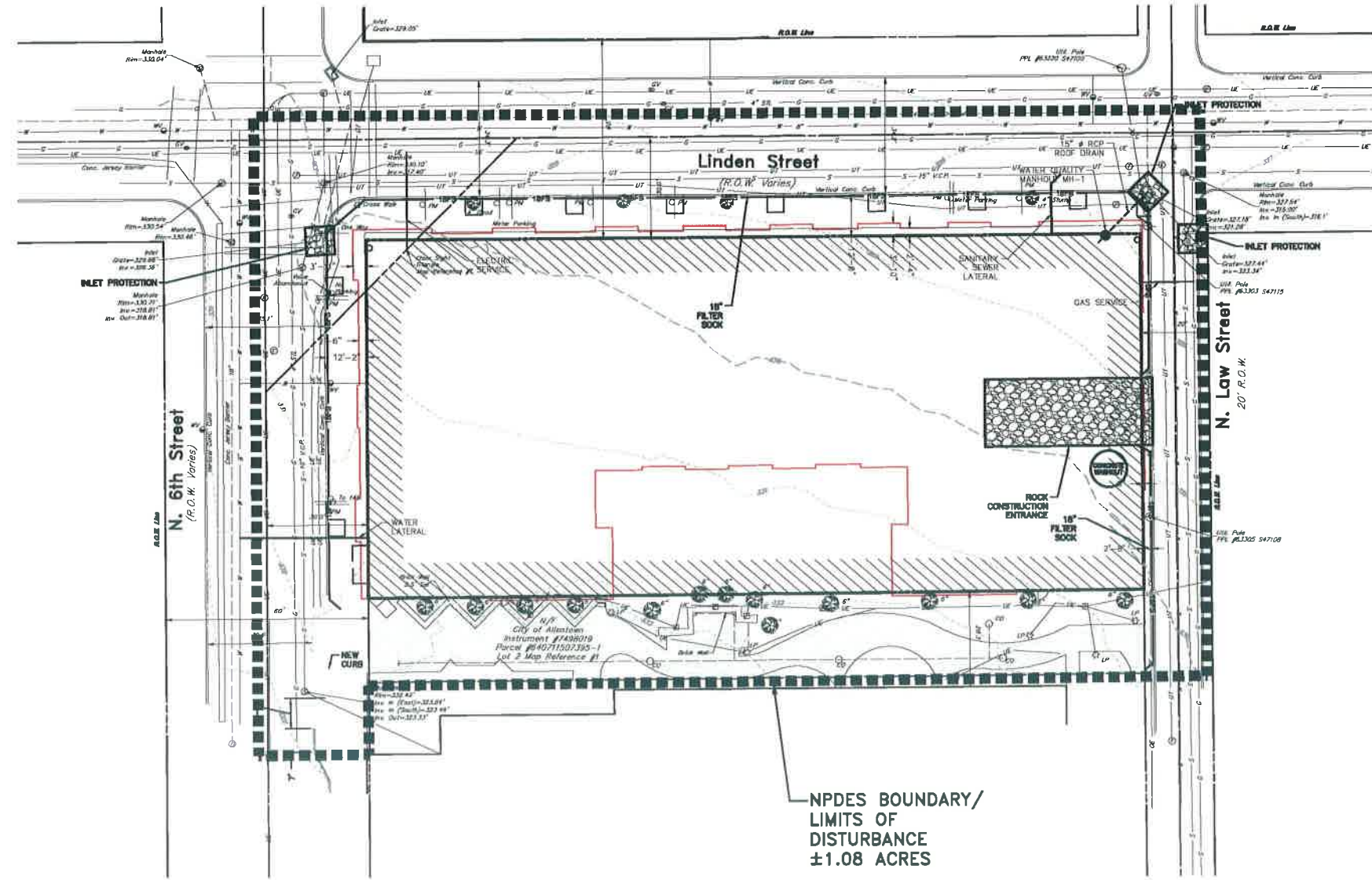
- JORDAN CREEK
- CHAPTER 93 DESIGNATED USE:
- TROUT STOCKING (TSF)
- MIGRATORY FISHES (MF)
- EXISTING USE:
- NONE

LEGEND

EXISTING BOUNDARY LINE	PROPOSED CURB
EXISTING RIGHT-OF-WAY LINE	PROPOSED FENCE
EXISTING EASEMENT LINE	PROPOSED WATER LINE
EXISTING SETBACK LINE	PROPOSED SANITARY SEWER LINE
EXISTING CURB	PROPOSED STORM MANHOLE
EXISTING PAVEMENT	PROPOSED STORM INLET
EXISTING VEGETATION	PROPOSED STORM PIPE
	NPDES BOUNDARY
	LIMITS OF DISTURBANCE
	TEMPORARY INLET PROTECTION
	FILTRIX Silt SOX
	TEMPORARY ROCK CONSTRUCTION ENTRANCE



SITE
RECEIVING WATERSHED - JORDAN CREEK
LITTLE LEHIGH CREEK



NOTE
1. THE LIMITS OF DISTURBANCE IS THE SAME AS THE NPDES BOUNDARY.

FOR REVIEW ASSOCIATES BY:		DATE	REVISION
DAVID D. MILLER, P.E.		8/12/16	1
DESIGN BY: DDM		SUBMIT TO CITY AND LRPC	
SURV. CHIEF: RELBROOK NO. 100		PA LIC. # PE-064880-E	
DRAWN BY: ASN		DATE	
CITY CENTER		DRAWING REFERENCE:	
CLIENT: CITY CENTER INVESTMENT CORP., 645 HAMILTON STREET, SUITE 600 ALLENTOWN, PA 18101		SCALE: 1"=20'	
		ENGINEER: RETNEW ASSOCIATES, INC., 606 ALLENTOWN, PA 18101 PHONE: (610) 486-8330 • FAX: (610) 484-4325 EMAIL: RETNEW@RETNEW.COM WEBSITE: WWW.RETNEW.COM	
EROSION AND SEDIMENT CONTROL PLAN FINAL LAND DEVELOPMENT PLAN FOR STRATA III		CITY OF ALLENTOWN, 5TH WARD LEHIGH COUNTY, PA	
DATE: JULY 22, 2016		SHEET NO. C-14 OF 19	
DWC NO. 096772000			

EROSION & SEDIMENT POLLUTION CONTROL NOTES:

STANDARD EAS PLAN NOTES

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EAS PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE EAS PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL ENGINEER RESPONSIBLE FOR OVSERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE RECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBSTRUCTIBLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. CRITICAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE EAS BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EAS PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2:1:V ON FLATLIER.
9. IMMEDIATELY UPON DISCOVERING UNFORSSEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENTATION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2801 ET. SEC. 271.1, AND 2801 ET. SEC. 2801.1. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN. FILL FROM FF-SDI MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BAMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
14. VEHICLES AND EQUIPMENT MAY NOT ENTER DIRECTLY ON OR EXIT DIRECTLY ONTO LADEN SURFACES. VEHICLES AND EQUIPMENT MAY ONLY ENTER AND EXIT THE CONSTRUCTION SITE VIA A STABILIZED ROCK CONSTRUCTION ENTRANCE.
15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESTORING, DEMOLITION AND RENTING MUST BE PERFORMED IMMEDIATELY IF THE EAS BMPs FAIL TO PERFORM AS EXPECTED. REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
16. A LOG SHOWING DATES THAT EAS BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
17. SEDIMENT TRACKS ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
18. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL, IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTDOINGS SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SURFACE SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
21. ALL EARTH FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBSTRUCTIBLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
25. STEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON READING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
29. EROSION AND SEDIMENT CONTROL BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE EARTH DISTURBANCE BEGINS WITHIN THE DISTURBANCES OF THOSE BMPs. EAS BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE EAS BMPs.
31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY IN ORDER TO ENSURE RAPID VEGETATION OF DISTURBED AREAS. SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
33. FAILURE TO CORRECTLY INSTALL EAS BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF EAS BMPs MAY RESULT IN

ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 607 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MIDDLE-CLASS SUMMARY CRIMINAL PENALTIES FOR EACH VIOLATION.
34. IN THE EVENT OF SNOWHOLE DISCOVERY A PROFESSIONAL GEOLOGIST OR ENGINEER SHALL BE CONTACTED CONCERNING MITIGATION. ADDITIONALLY, THE LEHIGH COUNTY CONSERVATION DISTRICT WILL BE MADE AWARE OF THE SNOWHOLE DISCOVERY IMMEDIATELY.
35. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
36. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 6A, EROSION CONTROL RULES AND REGULATIONS, TITLE 26, PART 1, DEPT. PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE II, WATER RESOURCES, CHAPTER 100, EROSION CONTROL.
37. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATER OR GROUNDWATER SYSTEMS.
38. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 5:1:V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
39. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBSTRUCTIBLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED TO A MAXIMUM 8" LAYERED LIPS AT 95% DENSITY.

SEEDING NOTES: TEMPORARY

MULCH - CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOxious WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT OF 1947. APPLY AT A RATE 3 TONS PER ACRE. PRECAUTIONS SHALL BE TAKEN TO STABILIZE THE MULCH UNTIL THE VEGETATIVE COVER IS ESTABLISHED.
SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND CONTINGENCY (SPE) PLAN ON-SITE DURING CONSTRUCTION AND ALL EARTH DISTURBANCE ACTIVITIES RELATED TO CONSTRUCTION.
TEMPORARY SEED MIXTURE: PROPORTION BY WEIGHT MINIMUM PURITY MINIMUM GERMINATION
KENTUCKY 31 TALL FESCUE 75% 95% 80%
RYEGRASS OR RED FESCUE 25% 95% 80%
THREE-PERCENT REDTOP MAY BE ADDED TO THE LAWN MIXTURE ON SLOPE AREAS OR FOR LATE SPRING OR LATE FALL SEEDING.
TEMPORARY SEEDING SHALL BE APPLIED AT THE RATE OF ONE (1) POUND PER (THOUSAND) (1,000) SQUARE FEET.
ALL AREAS TO BE SEEDDED SHALL BE LODGED TO A DEPTH OF AT LEAST TWO INCHES BY MECHANICAL MEANS.
MULCH SEEDDED AREAS IMMEDIATELY AFTER SEEDING.
LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDDED, AND WORKED INTO THE SOIL TO A DEPTH OF 2".
LIMESTONE - PULV. AG.
LIMESTONE - 60 LBS./1000 SF.
FERTILIZER - 10-10-10
FERTILIZER - 500 LBS./ACRE
SEEDING - SEED ALL DISTURBED AREAS WITH THE TEMPORARY SEED MIXTURE. SEEDING SHALL OCCUR MARCH 15-JUNE 15 OR AUGUST 15-OCTOBER 15, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. MULCH (HAY OR STRAW) SHALL BE APPLIED AT A RATE OF 3 TONS PER ACRE DURING THE NON-GERMINATING PERIOD OF OCTOBER 15-MARCH 15.

SEEDING NOTES: PERMANENT

ALL TOPSOIL SHALL BE LOOSENED TO A DEPTH OF AT LEAST 4". ALL OBSTRUCTIBLE MATERIAL LARGER THAN 2" SHALL BE REMOVED.
LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDDED, AND WORKED INTO THE SOIL TO A DEPTH OF 6".
LIMESTONE - PULV. AG.
LIMESTONE - 6 TONS PER ACRE
FERTILIZER - 10-20-20
FERTILIZER - 1000 LBS. PER ACRE
GRASS SEED SHALL BE BROADCAST AT THE RATE AND KIND INDICATED BELOW:
% BY WT. PUR. GERM.
PROPERLY KENTUCKY BLUEGRASS 60% 95% 80%
(MUL. 2 VARIETIES)
TURF-TYPE PREMIER RYEGRASS 40% 95% 80%
(MUL. 2 VARIETIES)
(MIXTURE TO BE APPLIED AT 5 LBS. PER 1000 SF.)
MULCH OF LONG STEM STRAW SHALL BE APPLIED AT EVEN APPLICATION OF 3 TONS PER ACRE WITH A SURFACE COVERAGE OF 80-90%.
SEEDING SHALL OCCUR MARCH 15-JUNE 15 OR AUGUST 15-OCTOBER 15.

CONSTRUCTION SEQUENCE

- 1. THE LEHIGH COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS BEFORE ANY EARTH-MOVING ACTIVITIES BEGINS.
2. EACH STEP IN THE CONSTRUCTION SEQUENCE SHOULD BE COMPLETED BEFORE THE NEXT STEP IS INITIATED.
3. IF AT ANY TIME PRIOR TO STABILIZATION, EROSION AND SEDIMENTATION CONTROL PROBLEMS OCCUR WHICH REQUIRE ADDITIONAL MEASURES, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEMS.
4. PERFORM TRENCHING WORK ONLY TO THE EXTENT THAT THEY CAN BE BACKFILLED BY THE END OF THE DAY.
5. FIELD DELINEATE THE LIMIT OF DISTURBANCE.
6. PRIOR TO DEMOLITION, INSTALL COMPOST FILTER SOCK AS SHOWN ON THE PLAN.
7. INSTALL FILTER BAG INLET PROTECTION IN EXISTING INLETS AT RISK OF BEING AFFECTED BY THE PROPOSED DEMOLITION AND CONSTRUCTION. PERFORM DEMOLITION WORK NEEDED TO INSTALL ROCK CONSTRUCTION ENTRANCE. INSTALL ROCK CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT.
8. PERFORM REMANDER OF DEMOLITION WORK.
9. INSTALL SITE UTILITIES SUCH AS GAS, WATER, SANITARY SEWER, ETC. IF SOLE SOCKS ARE DAMAGED DURING UTILITY INSTALLATION A ROCK FILTER OUTLET OR NEW SILT SOCK WILL BE INSTALLED.
10. IF DEWATERING BECOMES NECESSARY DURING CONSTRUCTION, ALL SEDIMENT LADEN WATER WILL BE SENT THROUGH A PUMPED WATER FILTER BAG AND MUST BE DISCHARGED TO STABLE GROUND.
11. CONSTRUCT PROPOSED BUILDING AS SHOWN ON THE PLAN.
12. CONSTRUCT CURBS AND SIDEWALKS. RESTORE AND STABILIZE ARTS WALK. PROTECT INLETS FROM SEDIMENT UNTIL BED IS STABILIZED.
13. PROTECT VEGETATED ROOF IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SEE THE POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN AND DETAIL SHEET.
14. PLANT TREES IN ACCORDANCE WITH THE LANDSCAPING PLAN.
15. VEGETATED AREA SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED, OR THE DISTURBED AREA IS COVERED WITH AN ACCEPTABLE BMP, WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION AFTER FINAL SITE STABILIZATION HAS BEEN REACHED. REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROLS IMMEDIATELY STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THESE CONTROLS.

NPDES PERMIT REQUIREMENTS

- 1. THE PERMITTEE OR CO-PERMITTEE SHALL CONTACT THE PERMIT ISSUING AGENCY AT LEAST SEVEN DAYS PRIOR TO THE START OF CONSTRUCTION TO DETERMINE IF A PRE-CONSTRUCTION MEETING IS REQUIRED.
2. THE PERMITTEE AND THE CO-PERMITTEE MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND AFTER EACH PRECIPITATION EVENT BY QUALIFIED PERSONNEL TO ASSURE THE EFFECTIVE OPERATION OF BMPs. A WRITTEN ACCOUNT OF EACH INSPECTION AND THE CORRECTIVE ACTION TAKEN MUST BE KEPT ON-SITE.
3. WHERE BMPs ARE FOUND TO BE INOPERATIVE OR HAVE FAILED THE PERMITTEE OR CO-PERMITTEE SHALL CONTACT THE PERMIT ISSUING AGENCY IMMEDIATELY, FOLLOWED BY A WRITTEN REPORT WITHIN FIVE DAYS OF INITIAL CONTACT.
4. THE PERMITTEE AND CO-PERMITTEE SHALL RETAIN RECORDS OF ALL MONITORING INFORMATION INCLUDING INSPECTION REPORTS AS REQUIRED BY THIS PERMIT FOR A PERIOD OF THREE YEARS FROM THE DATE OF THE TERMINATION OF COVERAGE UNDER THIS PERMIT.
5. THE PERMITTEE AND CO-PERMITTEE SHALL TAKE ALL REASONABLE STEPS TO MINIMIZE OR PREVENT ANY DISCHARGE THAT HAS REASONABLE LIKELIHOOD OF ADVERSELY AFFECTING HUMAN HEALTH OR THE ENVIRONMENT IN VIOLATION OF THIS PERMIT.
6. UPON REDUCTION, LOSS OR FAILURE OF A BMP, THE PERMITTEE AND CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMP TO NORMAL OPERATION OR PROVIDE AN ALTERNATIVE BMP SHALL BE EMPLOYED AND THE PERMIT ISSUING AGENCY CONTACTED.
7. THE PERMITTEE AND CO-PERMITTEE MUST COMPLY WITH ALL TERMS AND CONDITIONS OF THE NPDES PERMIT. ANY PERMIT NONCOMPLIANCE MAY BE GROUNDS FOR ENFORCEMENT ACTION. THE PERMITTEE AND CO-PERMITTEE MAY BE SUBJECT TO CRIMINAL AND/OR CIVIL PENALTIES FOR VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT.
8. THE OWNER OR OPERATOR OF THIS FACILITY COVERED BY THIS PERMIT SHALL MAKE THE PLANS AVAILABLE TO THE PUBLIC IF REQUESTED. EROSION AND SEDIMENT CONTROL PLANS MUST BE MADE AVAILABLE AT THE SITE AT ALL TIMES.
9. THE STAGING OF EARTH DISTURBANCE ACTIVITIES AND MAINTENANCE REQUIREMENTS CONTAINED IN THE EAS PLAN MUST BE FOLLOWED, UNLESS AMENDED AND APPROVED BY THE CONSERVATION DISTRICT OR DEP.
10. ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED IN ACCORDANCE WITH THE SOLID WASTE MANAGEMENT REGULATIONS. NO MATERIALS MAY BE BURIED, DUMPED, OR DISCHARGED ON-SITE.
11. AN EROSION AND SEDIMENT POLLUTION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED FOR ALL OFF-SITE SPILL AND BORROW AREAS. AREAS THAT ARE OUTSIDE OF THE ORIGINAL PERMIT BOUNDARIES OR NOT COVERED BY ANOTHER NPDES PERMIT WILL BE CONSIDERED A MAJOR REVISION TO THE PERMIT.
12. PRIOR TO EARTH DISTURBANCE OF ADDITIONAL PHASES OF THE PROJECT, THE PERMITTEE OR CO-PERMITTEE SHALL OBTAIN APPROVAL OF AN EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR EACH PHASE.
13. ALL EARTHMOVERS SHALL BE ADDED TO THE NPDES PERMIT AS PERMITTEES OR CO-PERMITTEES PRIOR TO EARTHMOVING.
14. THE PERMIT ISSUING AGENCY SHALL BE NOTIFIED BY SUBMISSION OF A TRANSFER FORM OF ANY CHANGES IN OWNERSHIP WITHIN 30 DAYS.
15. UPON COMPLETION OF THE PROJECT A NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO THE PERMIT ISSUING AGENCY.
16. THE PERMITTEE SHALL FURNISH PROOF OF THE INSTALLATION OF THE POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES, IF REQUESTED BY THE PERMIT ISSUING AGENCY.
17. AUTHORIZED REPRESENTATIVES OF THE PERMIT ISSUING AGENCY, AS NOTED IN THE NPDES PERMIT, HAVE THE RIGHT OF ENTRY TO THE CONSTRUCTION SITE AS DEFINED IN PART 2, SECTION B, PARAGRAPH H.
18. THE OWNER AND/OR CONTRACTOR IS REQUIRED TO HAVE A PREPAREDNESS PREVENTION AND CONTINGENCY (SPE) PLAN ON-SITE DURING CONSTRUCTION AND ALL EARTH DISTURBANCE ACTIVITIES RELATED TO CONSTRUCTION.
19. WHERE INFILTRATION BMPs ARE UTILIZED, THE PERMITTEE AND CO-PERMITTEE MUST ENSURE THAT SOIL COMPACTNESS IS AVOIDED OR MINIMIZED IN THOSE AREAS IF THE AREAS PLANNED FOR INFILTRATION BMPs ARE COMPROMISED, ADDITIONAL SOIL TESTING MUST BE PERFORMED TO VERIFY THAT THE BMP WILL PERFORM AS PLANNED.
20. PERMITTEES AND CO-PERMITTEES ARE RESPONSIBLE FOR ENSURING THAT A LICENSED PROFESSIONAL HAVE OVSERSIGHT RESPONSIBILITIES FOR THE PROPER INSTALLATION OF BMPs IDENTIFIED IN THE PCSM PLAN PRIOR TO THE SUBMISSION OF A NOTICE OF TERMINATION. THE LICENSED PROFESSIONAL SHALL CERTIFY THAT THE BMPs IDENTIFIED IN THE PLAN HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN.

PA ONE CALL UNDERGROUND UTILITY PROTECTION ACT

RETIRED ASSOCIATES, INC. HEREBY STATES THAT, PURSUANT TO THE PROVISIONS OF ACT NO. 387 OF 1974, AS AMENDED BY ACT 187 OF 1984 AND ACT 181 OF 2006 OF THE PENNSYLVANIA LEGISLATURE, IT HAS RECONSTRUCTED THE FOLLOWING UNDERGROUND UTILITIES DESCRIBED IN THIS PLAN AT THE SITE WITHIN THE MUTUAL JURISDICTION SHOWN ON THE DRAWINGS:
1. PURSUANT TO SECTION 4, CLAUSE (I) OF SAID ACT, RETIRED ASSOCIATES, INC. HAS BEEN NOTIFIED BY EACH UTILITY OFFICE OPERATOR OF EACH UTILITY PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION. THE INFORMATION FURNISHED BY SECTION 4, CLAUSE (I) OF SAID ACT, NOT LESS THAN (10) NOR MORE THAN (30) WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
2. PURSUANT TO SECTION 4, CLAUSE (II) OF SAID ACT, RETIRED ASSOCIATES, INC. HAS BEEN NOTIFIED BY EACH UTILITY OFFICE OPERATOR OF EACH UTILITY PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION. THE INFORMATION FURNISHED BY SECTION 4, CLAUSE (I) OF SAID ACT, NOT LESS THAN (10) NOR MORE THAN (30) WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
3. PURSUANT TO SECTION 4, CLAUSE (III) OF SAID ACT, RETIRED ASSOCIATES, INC. HAS BEEN NOTIFIED BY EACH UTILITY OFFICE OPERATOR OF EACH UTILITY PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION. THE INFORMATION FURNISHED BY SECTION 4, CLAUSE (I) OF SAID ACT, NOT LESS THAN (10) NOR MORE THAN (30) WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
AND RETIRED ASSOCIATES, INC. DOES NOT HAVE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID NOTIFICATION AND AS RELAYED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT RETIRED ASSOCIATES, INC. IS REFLECTING SAID INFORMATION ON THESE DRAWINGS ONLY DUE TO THE REQUIREMENTS OF THE SAID ACT NO. 387 OF 1974, THE ONE CALL SYSTEM NOTIFICATION BY RETIRED ASSOCIATES, INC.
DATE: 05/11/2016
ONE CALL SYSTEM SERIAL NUMBER: 2001633241
PA1 CALL BEFORE YOU DIG!
BY THE WAY, INC.
1-800-242-1776

LIST OF UTILITIES

- AT&T
2315 SALEM RD #11
CONOVER, PA 18003
CONTACT: MATT WIDICE
EMAIL: mwidice@att.net
LEHIGH COUNTY AUTHORITY
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PO BOX 3246
ALLENTOWN, PA 18108
CONTACT: JASON PETERS
EMAIL: jpeterson@lehighcountyauthority.org
CITY OF ALLENTOWN
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ALLENTOWN, PA 18102
CONTACT: BRIAN AZAR
EMAIL: AZAR@ALLENTOWNCITY.ORG
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VERISON BUSINESS
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EMAIL: johnboyd@verizon.com
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CONTACT: JONIFER FOREKIC
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CONTACT: hrobert@stagscenter.com
SERVICE ELECTRIC CABLE TV INC
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CONTACT: FRANCES SHREVE
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NOK TELCOM
5028 MORRATH BLVD
NORTHAMPTON, PA 18097
CONTACT: BOB ROEBROCKNET
EMAIL: bob.roebrocknet@nok.com
UG UTILITIES INC.
1511 CITY LINE ROAD
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CONTACT: LINDA LINTNER-WALKER
EMAIL: lindalintner@ug.com
VERIZON PENNSYLVANIA LLC
180 WERBER BLVD STE 2100 ROOM N/A
EXTEN. PA 1888
CONTACT: JACQUELY BLOUNT
EMAIL: jacq_b.blount@verizon.com

Table with 5 columns: CLIENT, ADDRESS, PHONE, FAX, E-MAIL. Includes City Center Investment Corp. and City Center.

RETIRED ASSOCIATES, INC. logo and contact information. Includes address: 645 HAMILTON STREET, SUITE 1600 ALLENTOWN, PA 18101. Website: www.retired.com

Table with 2 columns: EROSION AND SEDIMENT CONTROL NOTES, FINAL LAND DEVELOPMENT PLAN FOR STRATA III. Includes date (JULY 22, 2016), sheet number (C-15 of 19), and dwg. number (098772000).

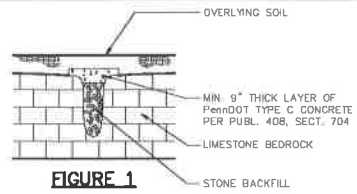


FIGURE 1
FIGURE 1 REPRESENTS A SINKHOLE CREATED BY A SOLUTION CAVITY WHICH PINCHES OUT WITH DEPTH. THIS TYPE OF SINKHOLE IS USUALLY SMALL. THE METHOD USED FOR ITS CORRECTION INCLUDES:

- EXCAVATING THE OVERLYING SOIL FROM AROUND THE SURFACE TO THE EXTENT NECESSARY TO DETERMINE THE APPROPRIATE CORRECTION METHOD AND TO EXPOSE A COMPETENT LIMESTONE BEDROCK LEDGE AROUND THE SINKHOLE.
- BACKFILLING WITH STONE.
- CAPPING THE STONE BACKFILL WITH A LAYER OF CONCRETE WHICH EXTENDS SEVERAL FEET OVER THE COMPETENT LIMESTONE BEDROCK LEDGE WHICH HAS BEEN EXPOSED.
- COVERING THE LAYER OF CONCRETE WITH SOIL TO MATCH THE SURROUNDING GRADE.

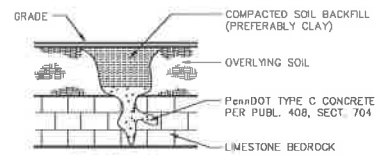


FIGURE 2

FIGURE 2 REPRESENTS AN ACTIVE SINKHOLE NEAR THE GROUND SURFACE. THE METHOD USED FOR ITS CORRECTION INCLUDES:

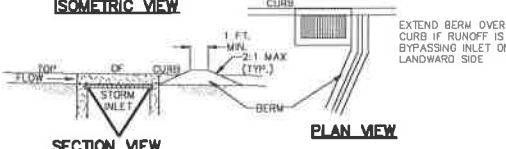
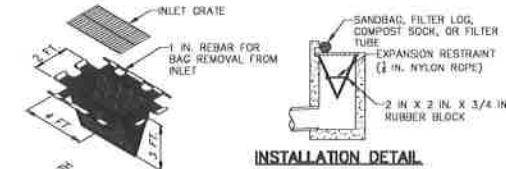
- EXCAVATING THE OVERLYING SOIL FROM AROUND THE SURFACE TO THE EXTENT NECESSARY TO DETERMINE THE APPROPRIATE CORRECTION METHOD AND TO EXPOSE A COMPETENT LIMESTONE BEDROCK LEDGE AROUND THE SINKHOLE.
- PLUGGING THE SHALLOW HOLE WITH CONCRETE.
- BACKFILLING OVER THE CONCRETE WITH COMPACTED SOIL (PREFERABLY CLAY) TO THE SURROUNDING GROUND SURFACE.

EACH SINKHOLE PRESENTS A SLIGHTLY DIFFERENT SITUATION AND CORRECTIVE METHODS WILL VARY. REGARDLESS OF THE METHOD USED, SURFACE DRAINAGE MUST BE DIRECTED FROM THE CORRECTED SINKHOLE AND EXTREME CARE MUST BE TAKEN TO COMPLETELY SEAL THE SINKHOLE AND THEREBY PREVENT ANY REOCURRENCE.

A PROFESSIONAL GEOLOGIST OR SOILS ENGINEER SHALL BE CONSULTED DURING CONSTRUCTION ACTIVITY IN THE VICINITY OF ANY KNOWN CLOSED DEPRESSIONS, SINK HOLES, ROCK OUTCROPS, FRACTURE TRACES, ETC., OR IF ANY ABNORMAL SOIL OR SUBGRADE CONDITIONS ARE ENCOUNTERED ELSEWHERE ON THE SITE. ANY PREVENTATIVE AND/OR CORRECTIVE MEASURES TO BE TAKEN MUST BE DONE AS DIRECTED BY THE PROFESSIONAL GEOLOGIST OR SOILS ENGINEER BASED UPON SITE-SPECIFIC NEEDS DURING THE CONSTRUCTION ACTIVITY.

SINKHOLE REMEDIATION

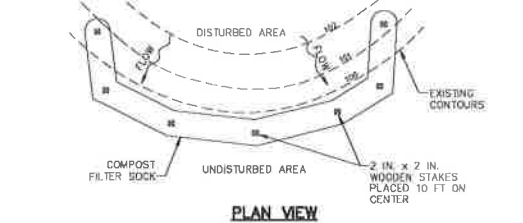
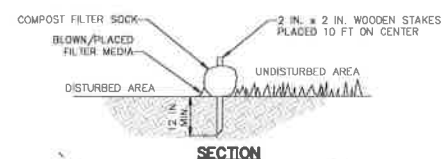
NO SCALE



NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 300 PSI, AND A MINIMUM TRIAXIAL TENSILE STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED OR RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION/DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-15
 FILTER BAG INLET PROTECTION - TYPE C INLET**

NOT TO SCALE

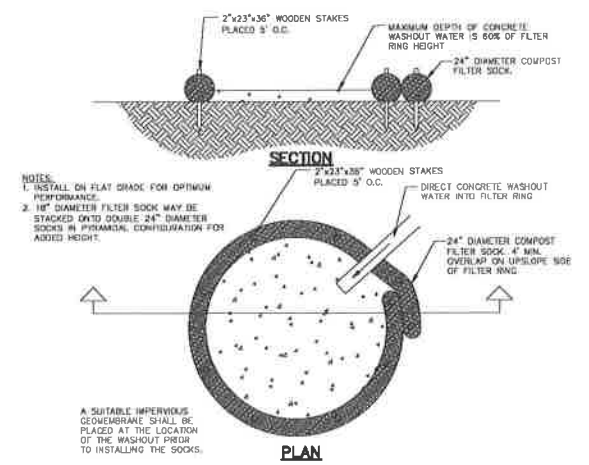


NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1
 COMPOST FILTER SOCK**

NOT TO SCALE

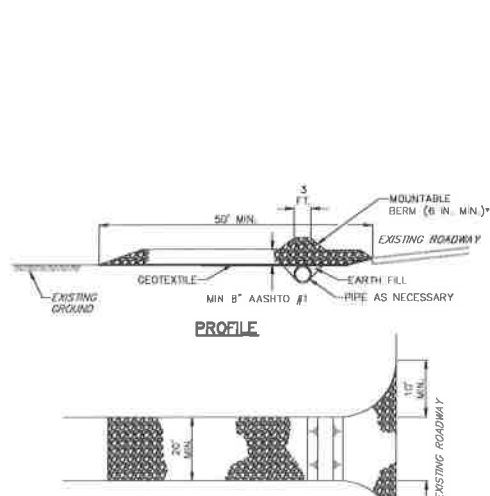
FILTER SOCK NOTE:
 ALL FILTER SOCKS ARE TO BE INSTALLED BY A CERTIFIED FILTERSOX INSTALLER. CONTACT FILTERSOX INTERNATIONAL FOR THE NEAREST INSTALLER AT (440) 926-2607.



COMPOST SOCK CONCRETE WASHOUT DETAIL

NOT TO SCALE

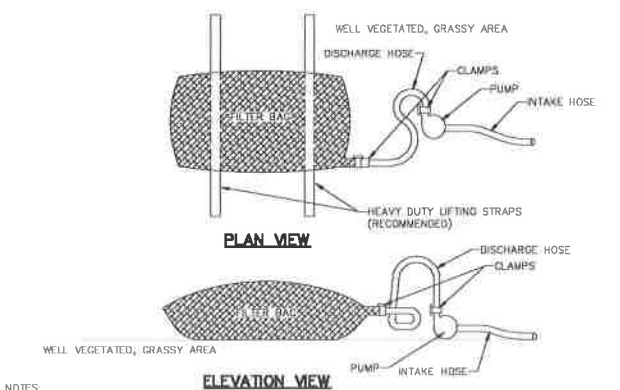
NOTES:
 1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 2. 18" DIAMETER FILTER SOCK MAY BE STAKED ON TO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
 A SUITABLE IMPERVIOUS GEOTEXTILE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.



**STANDARD CONSTRUCTION DETAIL #3-1
 ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE

NOTES:
 REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE CONSULTED DURING CONSTRUCTION ACTIVITY IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SHEETING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



**STANDARD CONSTRUCTION DETAIL #3-16
 PUMPED WATER FILTER BAG**

NOT TO SCALE

NOTES:
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "Z" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4832	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLIN BURST	ASTM D-3766	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AGS R RETAINED	ASTM D-4751	RD SHEET

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
 THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**TABLE 4.1
 Compost Sock Fabric Minimum Specifications**

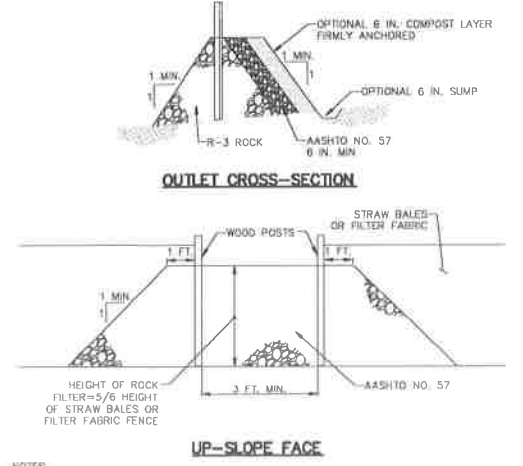
Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155) Minimum Functional Longevity	23% at 1000 hr	23% at 1000 hr		100% at 1000 hr	100% at 1000 hr
	6 months	9 months	6 months	1 year	2 years

USE THIS MATERIAL AS A MINIMUM STANDARD

**TABLE 4.2
 Compost Standards**

Organic Matter Content	25% - 100% (dry weight basis)
Organic Particle Size	Fibrous and unagitated
pH	5.5 - 8.5
Maturity Content	30% - 60%
Particle Size	20% 60% pass through 3/8" sieve
Soluble Salt Concentration	5.0 ppm (preliminary Maximum)

Compost should be a well decomposed, weed-free organic matter derived from agriculture, food, stump grindings, and yard or wood/leak organic matter sources. The compost should be aerobically composted. The compost should possess no objectionable odors and should be reasonably free (<1%)



**STANDARD CONSTRUCTION DETAIL #4-6
 ROCK FILTER OUTLET**

NOT TO SCALE

NOTES:
 A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.
 SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

FOR REVIEW ASSOCIATES BY:

MANAGER: DAVID MILLER, P.E.
DESIGN BY: CHD BY: DDM
SURV. CHECK: FELIXBOOK NO. 001 COLLETT
DRAWN BY: ASH BY: DDM

CLIENT: CITY CENTER INVESTMENT CORP., 645 HAMILTON STREET, SUITE 600 ALLENTOWN, PA 18101

CITY CENTER INVESTMENT CORP.

DATE: JULY 22, 2016
SHEET NO.: C-16 of 19
DWG. NO.: 098772000

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MANAGER: DAVID MILLER, P.E.
DESIGN BY: CHD BY: DDM
SURV. CHECK: FELIXBOOK NO. 001 COLLETT
DRAWN BY: ASH BY: DDM

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PLANT SCHEDULE (REVEGETATE/REFOREST)				
SYMBOL KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SITE/CONDITIONS
OP	9	SEE NOTE #3	SEE NOTE #3	5'x5' TREE GRATE

NOTE: 5 NEW TREES
4 REPLACEMENT TREES
9 TOTAL TREES

NOTES:

- TOTAL STREET FRONTAGE (LINDEN & 6TH) = 337.22 LF PER THE CITY SHADE TREE ORDINANCE, 1 SHADE TREE IS REQUIRED FOR EVERY 40 LF OF STREET FRONTAGE. 9 STREET TREES REQUIRED.
- STREET TREES SHALL BE SUBJECT TO ALL RULES AND REGULATIONS OF THE SHADE TREE ORDINANCE CONCERNING PRUNING, PROTECTION, MAINTENANCE AND PRESERVATION.
- STREET TREE SPECIES TO BE DETERMINED IN CONJUNCTION WITH THE CITY TREE INSPECTOR AND STAFF AT THE TIME OF PERMITTING PRIOR TO INSTALLATION.
- PERMITS SHALL BE OBTAINED FROM THE CITY OF ALLENTOWN PARKS DEPARTMENT FOR ALL STREET TREE PLANTINGS.
- 13 TREES TO BE REMOVED WITHIN THE ARTS WALK SHALL BE REPLACED WITH 13 TREES ALONG THE ARTS WALK. FINAL LOCATIONS AND SPECIES TO BE COORDINATED WITH THE CITY OF ALLENTOWN.

From: Public Works Director, Street Management Practices Manual Chapter 8

Part 2 Revegetate and Reforest

To receive credit for planting trees, the following criteria must be met:

- Trees must be native species (see Appendix), minimum 2" caliper. Minimum tree height is 6 feet.
- Trees shall be adequately protected during construction.
- Trees credited for stormwater management shall be clearly labeled on the construction drawings and recorded on Record Plan for project.
- Trees shall be maintained and protected for the life of the project (50 years) or until redevelopment occurs.
- No more than 25% of the runoff volume can be mitigated through the use of trees.
- Escrow shall be provided for the replacement of any protected trees used for stormwater credit that die within 5 years of construction. Dead trees shall be replaced within 8 months.
- Shall be located on the development project.
- May be applied for trees required under Street Tree or Landscaping requirements.
- May be applied for trees planted as part of Riparian Buffer improvement.
- Non-native species are not applicable.

SOILS CLASSIFICATION

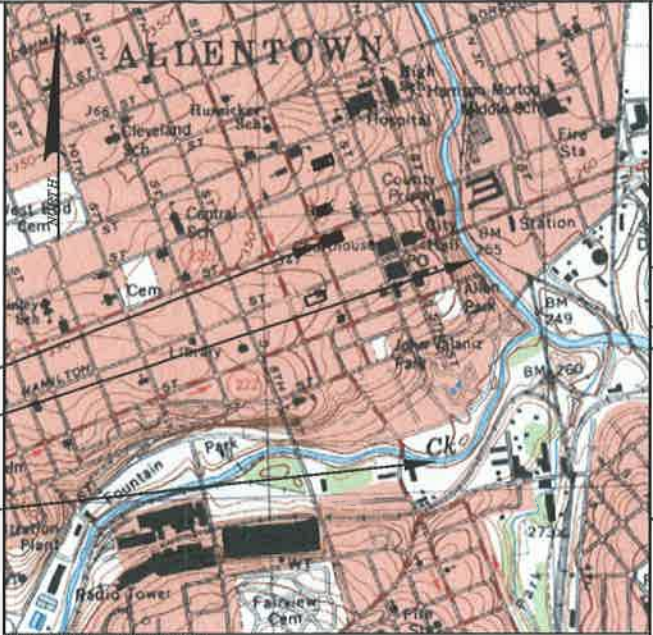
MD; MADE LAND, LIMESTONE MATERIAL 0 TO 3 PERCENT SLOPES
SEE SHEET C-18 FOR SOIL LIMITATIONS AND RESOLUTIONS.

RECEIVING WATER CLASSIFICATION WATER QUALITY DESIGNATION

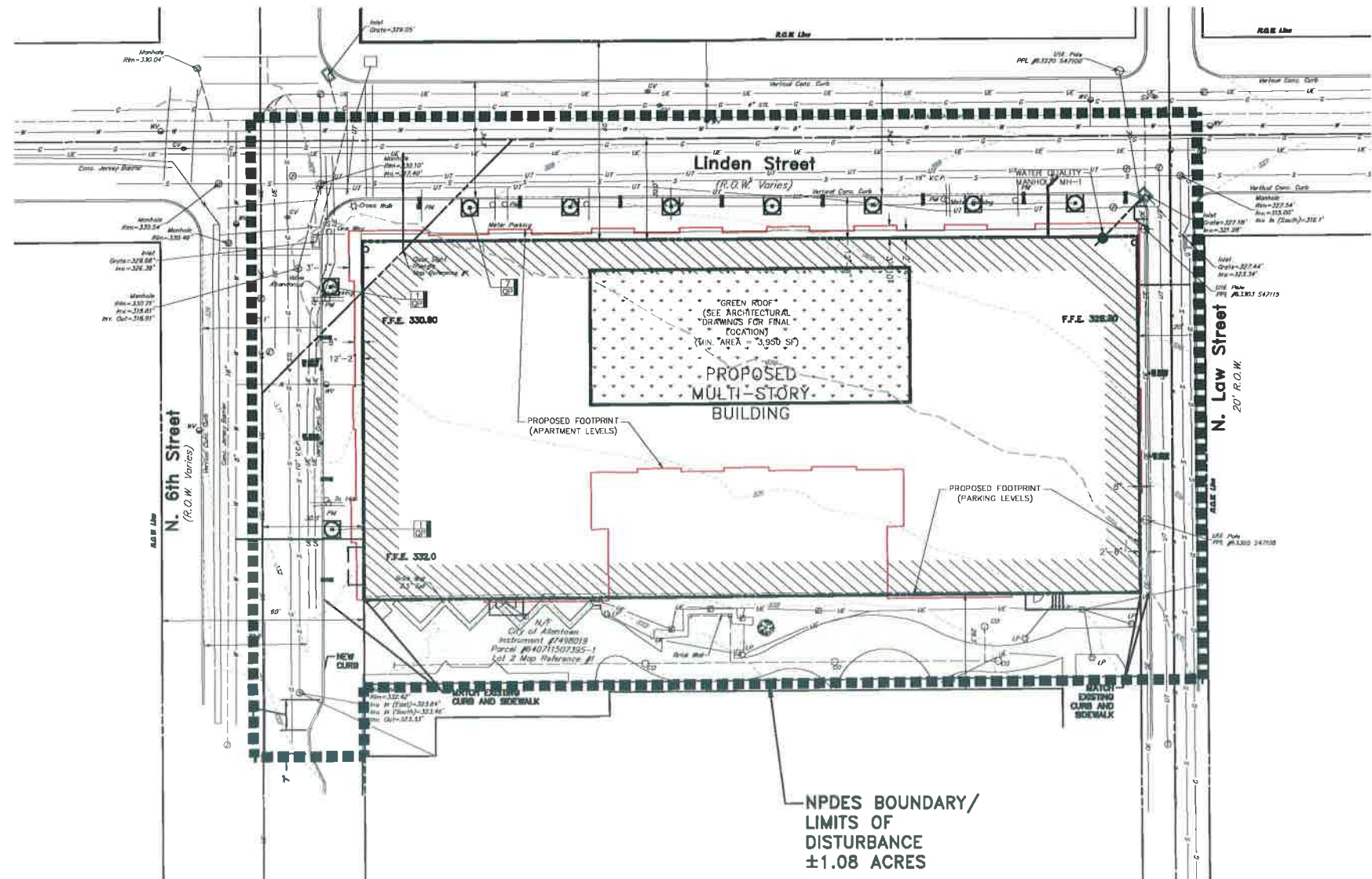
- JORDON CREEK
- CHAPTER 83 DESIGNATED USE:
 - TROUT STOCKING (TSF)
 - MIGRATORY FISHES (MF)
- EXISTING USE:
 - NONE

LEGEND

EXISTING BOUNDARY LINE	PROPOSED CURB	PROPOSED SANITARY SEWER MANHOLE
EXISTING RIGHT-OF-WAY LINE	PROPOSED PAVEMENT	PROPOSED SANITARY SEWER LINE
EXISTING EASEMENT LINE	PROPOSED FENCE	PROPOSED STORM MANHOLE
EXISTING SETBACK LINE	PROPOSED CONTOUR LINE	PROPOSED STORM INLET
EXISTING CURB	PROPOSED WATER LINE	PROPOSED STORM PIPE
EXISTING PAVEMENT	PROPOSED SANITARY SEWER MANHOLE	NPDES BOUNDARY
EXISTING VEGETATION	PROPOSED SANITARY SEWER LINE	LIMITS OF DISTURBANCE
DECIDUOUS TREE	PROPOSED STORM INLET	
EVERGREEN TREE	PROPOSED STORM PIPE	
	NPDES BOUNDARY	
	LIMITS OF DISTURBANCE	



SITE
RECEIVING WATERSHED - JORDAN CREEK
LITTLE LEHIGH CREEK



NPDES BOUNDARY/
LIMITS OF
DISTURBANCE
±1.08 ACRES

NOTES:

- NPDES BOUNDARY IS THE LIMIT SHOWN FOR THIS PROJECT.
- A MINIMUM GREEN ROOF AREA OF 3,950 S.F. SHALL BE PROVIDED FOR STORMWATER MANAGEMENT.

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REVIEW ASSOCIATES, INC. 215 W. MARKET STREET, 5TH FLOOR, ALLENTOWN, PA 18101 Phone: (610) 462-0330 Fax: (610) 462-0335 Email: review@review.com Website: www.review.com		ASIN BY: DDM	REVISION NO.:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN FINAL LAND DEVELOPMENT PLAN FOR STRATA III		ASIN BY: DDM	REVISION NO.:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:
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