



# ALLENTOWN POLICE DEPARTMENT

## FEASIBILITY STUDY

CITY COUNCIL PRESENTATION • FEBRUARY 07, 2024

**ALLOY5**  
ARCHITECTURE



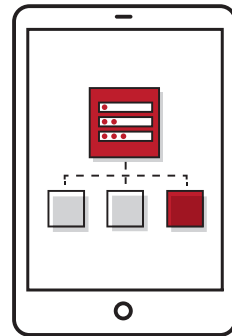
**D'HUY Engineering, Inc.**  
A TRADITION OF EXCELLENCE

# FEASIBILITY STUDY OVERVIEW

**6**  
months

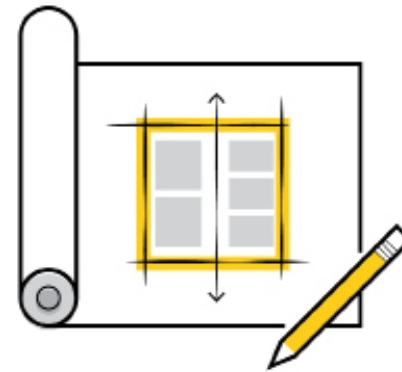
STUDY TIMELINE

1



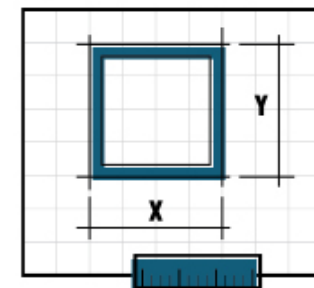
**DATA COLLECTION,  
ANALYSIS, & EVALUATION**

2



**BUILDING EVALUATIONS**

3



**CONCEPT DESIGN PHASE**

**2023**

JULY

AUGUST

SEPTEMBER

OCTOBER

NOVEMBER

DECEMBER



○ STUDY  
KICK-OFF

○ STUDY  
COMPLETION

# DESIGN TEAM



## CITY OF ALLENTOWN

Michael Becker - *Assistance Chief of Police, Operations*  
Jeb Bortz - *Associate Utility Engineer*  
Jennifer Gomez - *Director of Planning & Zoning*  
James Gress - *Assistant Chief of Police, Support Services*  
Mark Hartney - *Deputy Director*  
Genisis Ortega - *Communications Manager*  
Kyle Pammer - *Captain of Administration*  
David Petrik - *Deputy Director of Public Works*  
Chief Charles Roca - *Chief of Police*  
Jesse Sadiua - *Chief Planner*  
Mark Shahda - *Director of Public Works*  
Matt Tuerk - *Mayor*



## ARCHITECT

Randy Galiotto, AIA - *Principal*  
Tristan Benedict, AIA - *Project Architect*  
Michelle Mozingo - *Senior Designer*  
Christian Hoffer - *Project Manager*  
Bekah Rusnock - *Director of Development*



## ENGINEER

Doug Taylor, AIA, AVS, CDT - *Director of Design Services*  
Dave Derkits, PE - *Director of Mechanical Engineering*  
Dean Batten, PE - *Director of Electrical Engineering*  
Nolan Zambelli, PE - *Director of Plumbing Engineering*



# EXISTING PROPERTIES

- 1 Allentown Police Department (APD)  
4th Street & W. Hamilton Street



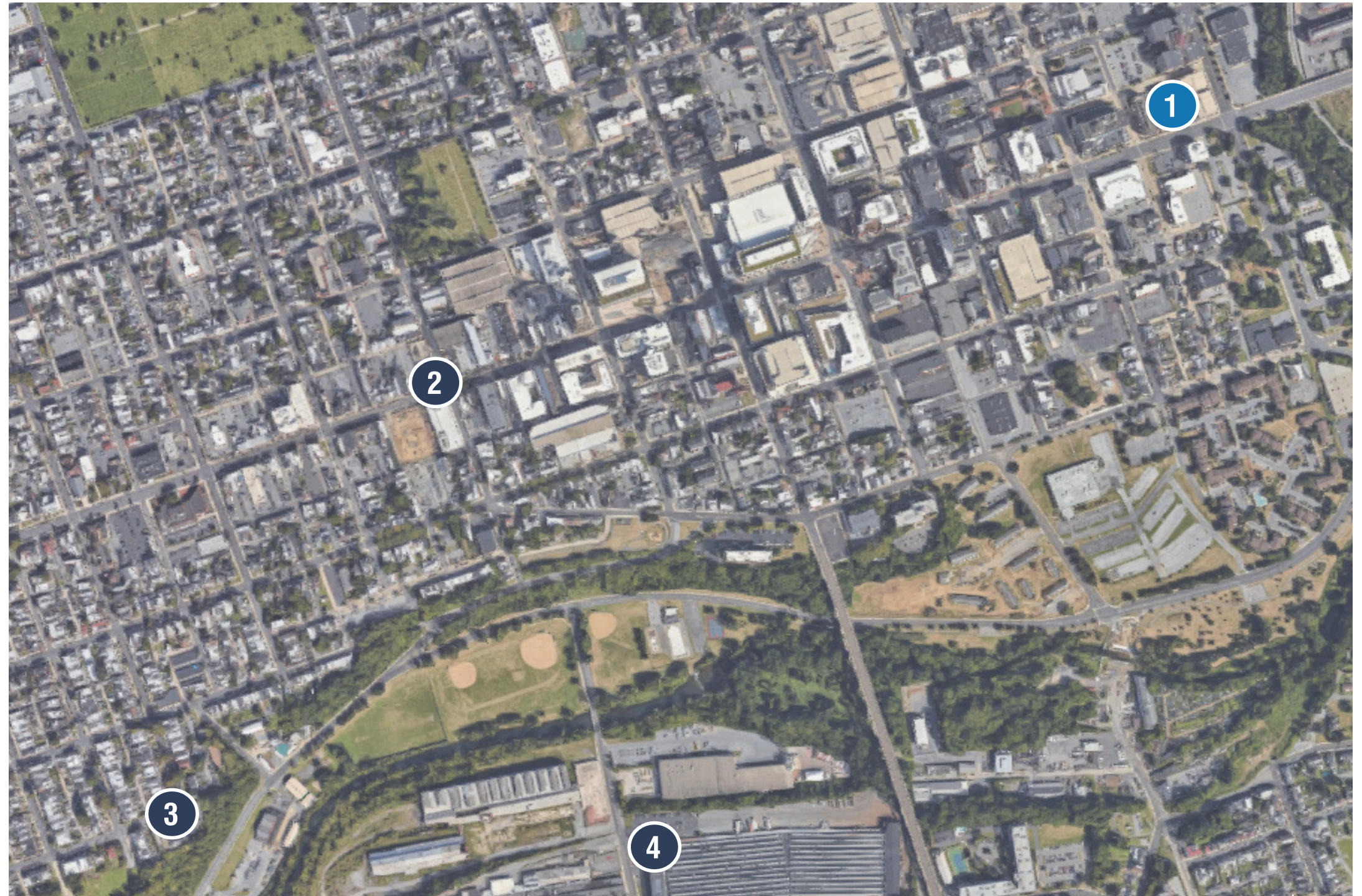
# EXISTING PROPERTIES

**1 Allentown Police Department (APD)**  
4th Street & W. Hamilton Street

**2 Allentown Patrol Department**  
10th Street & W. Hamilton Street  
*1.0 mile from APD*

**3 Allentown Police Comm. Center**  
13th Street & W. Fairview Street  
*1.6 miles from APD*

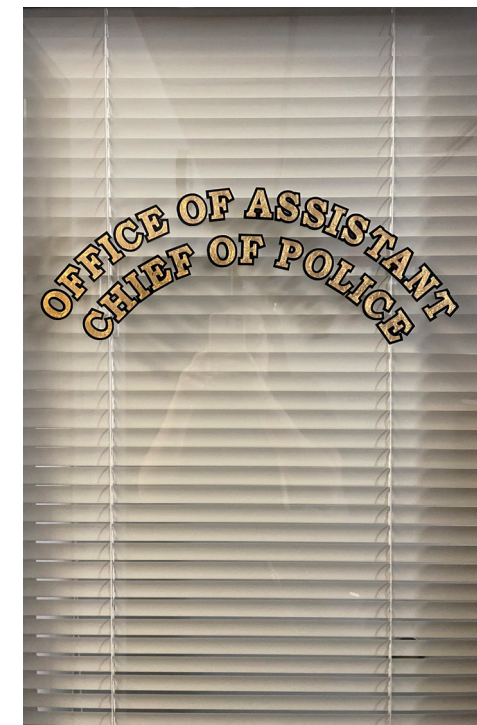
**4 Allentown Public Works**  
641 S. 10th Street  
*1.4 miles from APD*



- **CONSTRUCTED IN 1963**
- **BRUTALIST ARCHITECTURAL DESIGN**
- **MID-CENTURY MODERN FINISHES**
- **28,900 TOTAL SF**
- **1,000 SF TWO-STORY COURTROOM NOT IN USE**



ABOVE: 1960S POSTCARD FEATURING ALLENTOWN CITY HALL



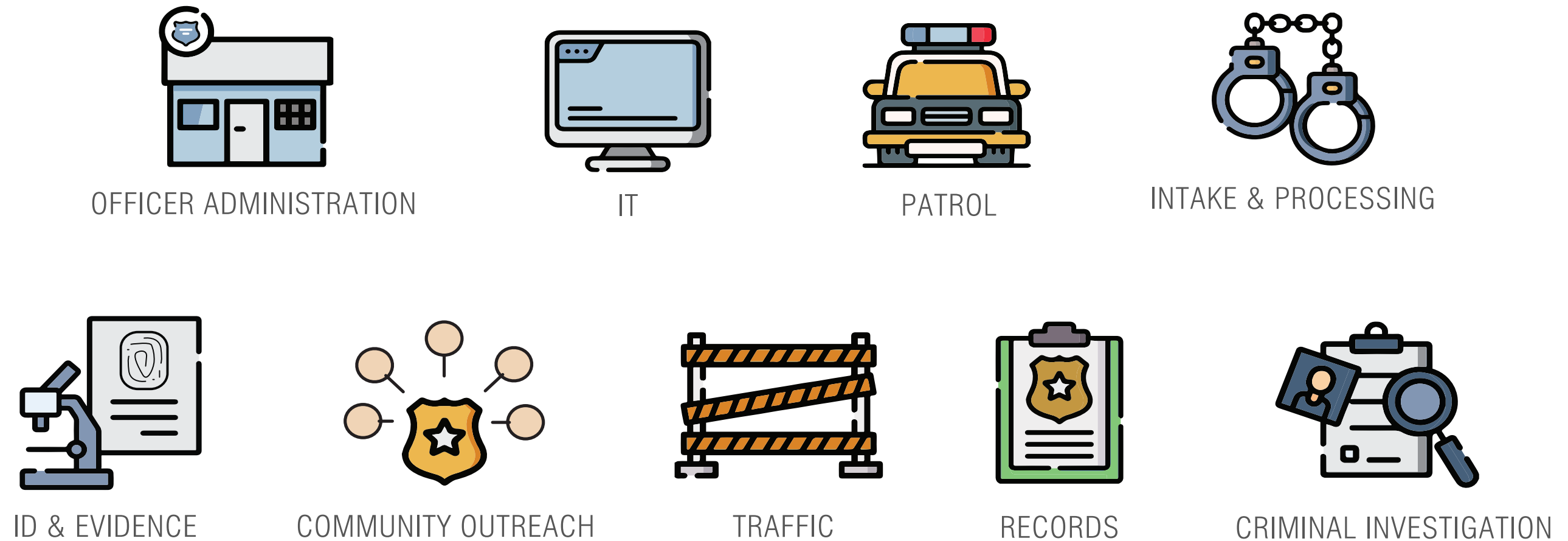
# POLICE FORCE



# POLICE FORCE



## DEPARTMENT BREAKDOWN





# ALLENTOWN POLICE DEPARTMENT DEFICENCY CATEGORIES



**SITE**



**ARCHITECTURE**



**MECHANICAL,  
ELECTRICAL, &  
PLUMBING**







**POLICE SUPPORT**

# REPORT CARD

● EXCELLENT   
 ● GOOD   
 ● AVERAGE   
 ● POOR   
 ● CRITICAL

## 4TH STREET & W. HAMILTON STREET

 <b>SITE</b>	 <b>ARCHITECTURE</b>	 <b>MECHANICAL, ELECTRICAL, &amp; PLUMBING</b>	 <b>POLICE SUPPORT</b>
<ul style="list-style-type: none"> <li><span style="color: orange;">●</span> SIDEWALKS</li> <li><span style="color: red;">●</span> PARKING</li> <li><span style="color: yellow;">●</span> ROADWAYS</li> <li><span style="color: red;">●</span> SALLY PORT</li> <li><span style="color: red;">●</span> ADA / CODE COMPLIANCE</li> </ul>	<ul style="list-style-type: none"> <li><span style="color: lightgreen;">●</span> EXTERIOR WALLS</li> <li><span style="color: yellow;">●</span> ROOF</li> <li><span style="color: yellow;">●</span> INTERIOR WALLS</li> <li><span style="color: yellow;">●</span> WINDOWS</li> <li><span style="color: orange;">●</span> DOORS</li> <li><span style="color: orange;">●</span> CEILINGS</li> <li><span style="color: yellow;">●</span> FINISHES</li> <li><span style="color: red;">●</span> ADA / CODE COMPLIANCE</li> </ul>	<ul style="list-style-type: none"> <li><span style="color: yellow;">●</span> AIR DISTRIBUTION SYSTEMS, AIR HANDLING, &amp; VENTILATION, (HVAC)</li> <li><span style="color: red;">●</span> FIRE PROTECTION/SPRINKLERS</li> <li><span style="color: yellow;">●</span> EXTERIOR &amp; INTERIOR LIGHTING</li> <li><span style="color: orange;">●</span> ELECTRICAL DISTRIBUTION</li> <li><span style="color: orange;">●</span> EMERGENCY / STANDBY POWER</li> <li><span style="color: orange;">●</span> FIRE ALARM SYSTEM</li> <li><span style="color: yellow;">●</span> COMMUNICATIONS / DATA</li> <li><span style="color: yellow;">●</span> WATER DISTRIBUTION SYSTEM</li> <li><span style="color: yellow;">●</span> HOT WATER HEATERS</li> <li><span style="color: orange;">●</span> PLUMBING SYSTEMS &amp; FIXTURES</li> </ul>	<ul style="list-style-type: none"> <li><span style="color: orange;">●</span> SECURITY &amp; ENTRY SEQUENCE</li> <li><span style="color: orange;">●</span> STORAGE</li> <li><span style="color: orange;">●</span> LOCKERS</li> <li><span style="color: yellow;">●</span> ACOUSTIC PRIVACY</li> <li><span style="color: yellow;">●</span> VISUAL PRIVACY</li> <li><span style="color: orange;">●</span> EQUIPMENT</li> <li><span style="color: yellow;">●</span> TECHNOLOGY</li> </ul>

# ALLENTOWN POLICE DEPARTMENT PROPOSED SOLUTION

LOCATION CRITERIA	
	All staff under one roof
	Adjacent to government quarter
	In the heart of the city
	Ample parking
	City-owned property

# POTENTIAL SITES

**1a** Allentown Police Department (APD)  
Renovation  
4th Street & W. Hamilton Street

**1b** Allentown Police Department (APD)  
Renovation & Addition  
4th Street & W. Hamilton Street

**2** Hamilton Tower  
404 W. Hamilton Street  
< .5 mile from APD

**3** Historic Allentown Train Station  
300 W. Hamilton Street  
< .5 mile from APD

**4** Historic Allentown Post Office  
442 W. Hamilton Street  
< .5 mile from APD

**5** Lehigh County Prison Parking Lot  
38 N. 4th Street  
< .5 mile from APD

**6** The Waterfront Lehigh Valley  
600 Block of Waterfront Drive  
1.2 miles from APD



# ALLENTOWN POLICE DEPARTMENT PROPOSED SOLUTION

## 1b ALLENTOWN POLICE DEPARTMENT

*PROJECT: RENOVATIONS & ADDITION*



All staff under one roof



Adjacent to government quarter



In the heart of the city



Ample parking spots



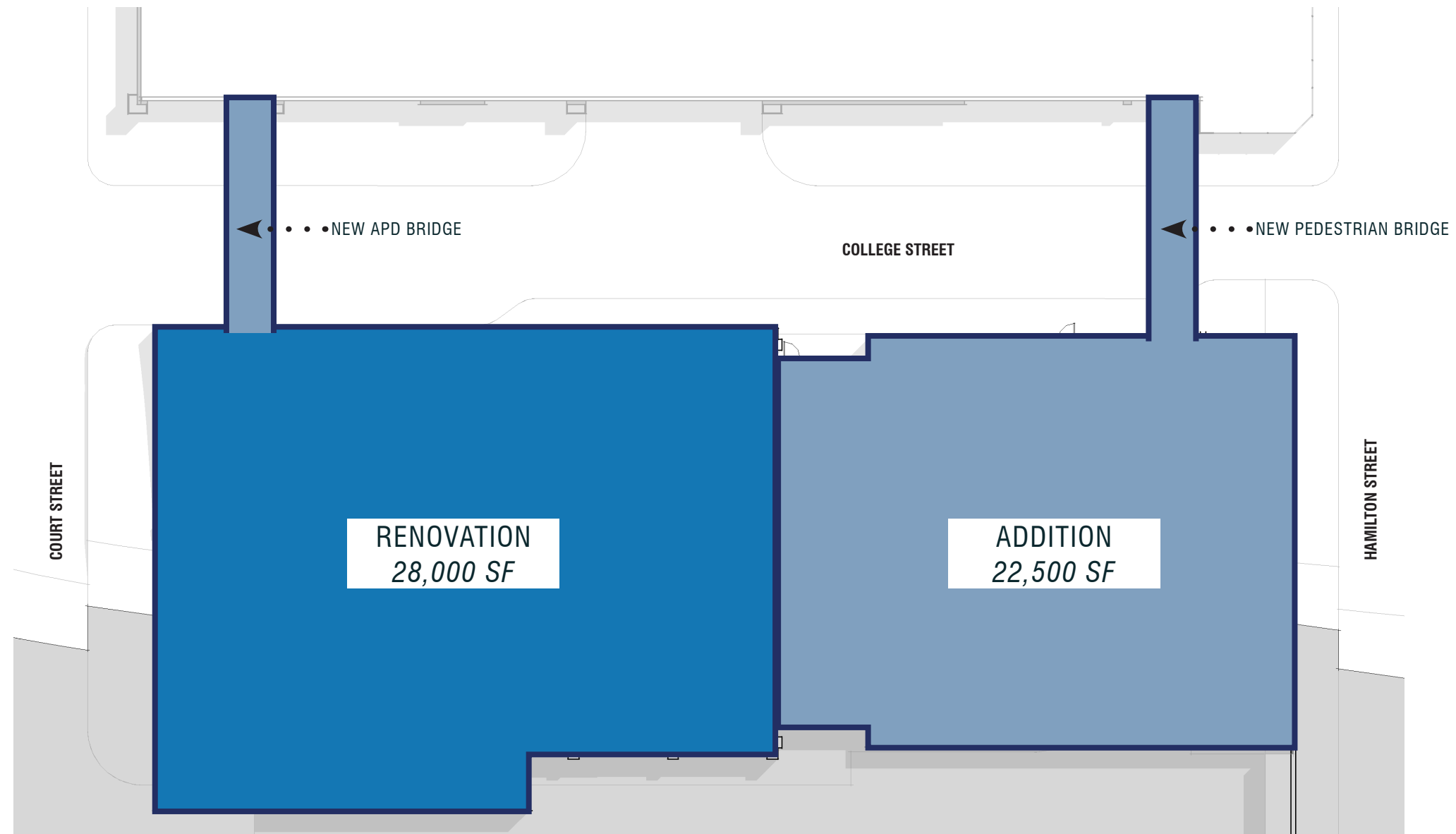
City-owned property



# ALLENTOWN POLICE DEPARTMENT

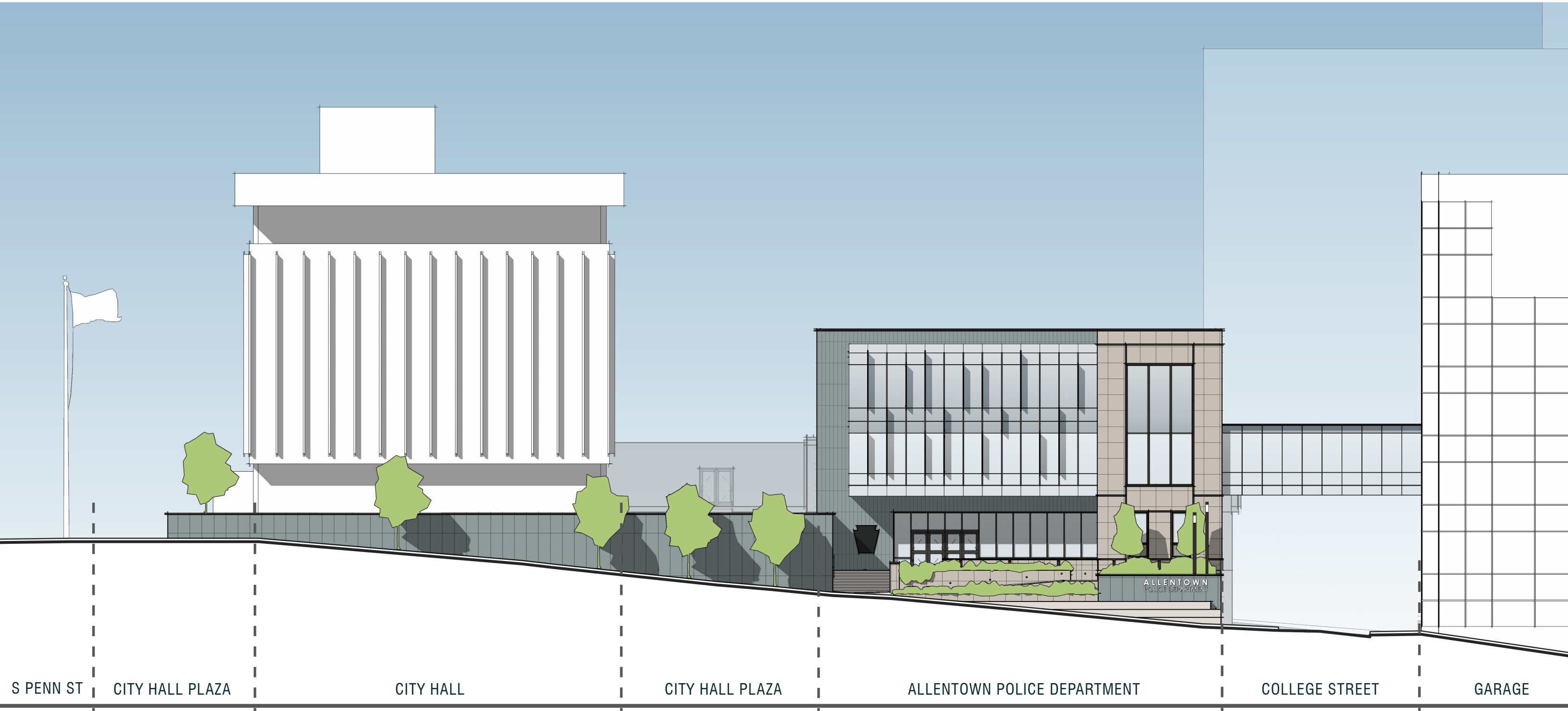
## 4TH STREET & W. HAMILTON STREET

<b>PROPOSED TOTALS</b>
<b>204</b> TOTAL STAFF MEMBERS
<b>250</b> PLANNED CAPACITY
<b>50,500 SF</b> TOTAL SQUARE FOOTAGE INCLUDING SALLY PORT



# ALLENTOWN POLICE DEPARTMENT

4TH STREET & W. HAMILTON STREET

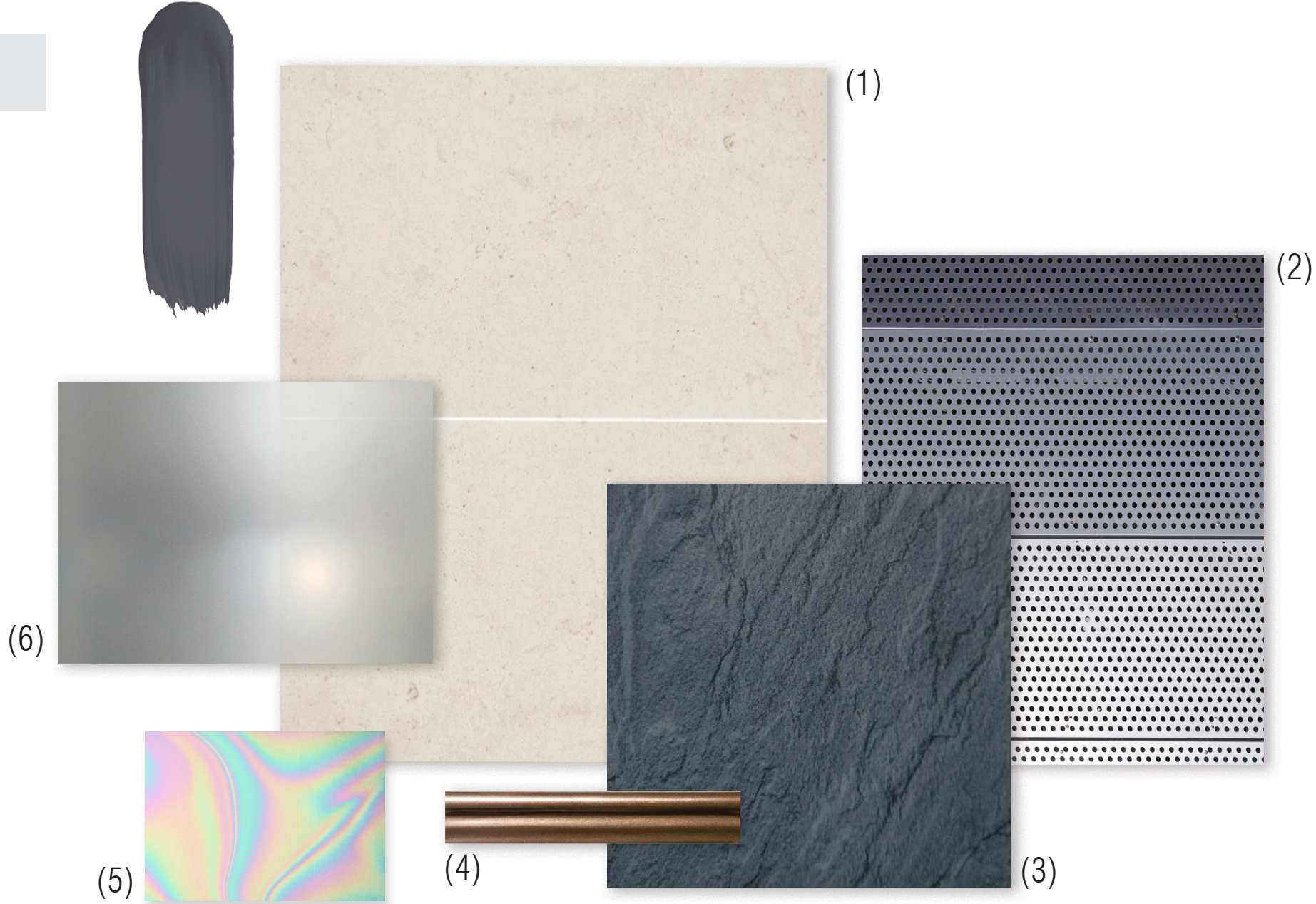


# ALLENTOWN POLICE DEPARTMENT

4TH STREET & W. HAMILTON STREET

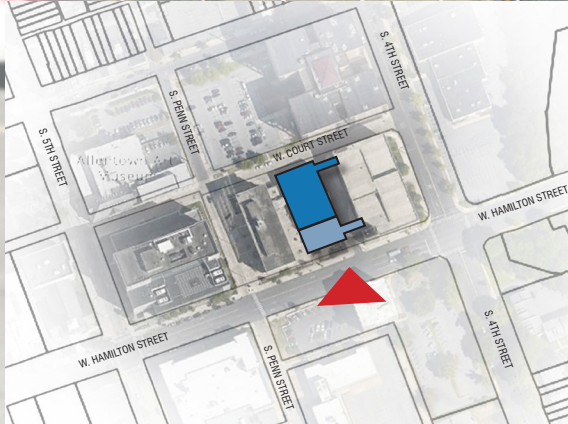
## MATERIAL STUDY

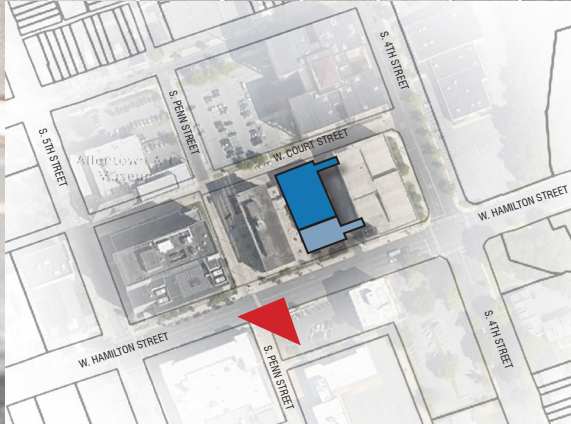
- 1. Limestone cladding
- 2. Metal mesh screening
- 3. Slate slabs
- 4. Bronze accents
- 5. Diochromatic fins
- 6. Reflective, bulletproof glass













# ALLENTOWN POLICE DEPARTMENT

## PROBABLE COST

	Budget - Low	Budget - High
NEW CONSTRUCTION <i>(including sitework)</i>	\$12,295,000	\$14,660,000
RENOVATION	\$11,175,000	\$15,943,000
<b>TOTAL CONSTRUCTION COSTS*</b>	\$23,470,000	\$30,603,000
TOTAL SOFT COSTS	\$ 2,327,780	\$ 3,026,300
PROJECT CONTINGENCY - 10%*	\$ 2,597,778	\$ 3,362,900
<b>TOTAL PROJECT COSTS</b>	<b>\$28,377,558</b>	<b>\$36,991,900</b>

### ESCALATION *(5% per year\*\*)*

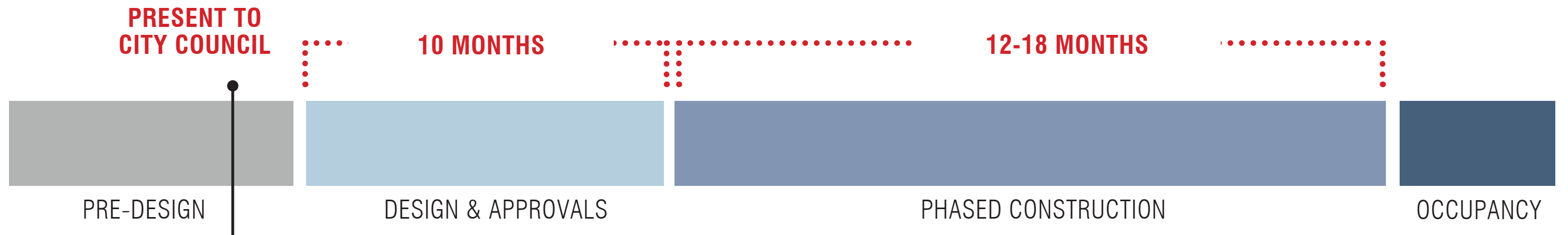
BID YEAR 2025	\$38,826,365
BID YEAR 2026	\$40,767,683
BID YEAR 2027	\$42,806,067

\* 10% Contingency added to Total Project Costs to anticipate unforeseen items.

\*\* Bid year represents last quarter. 5% escalation factors in projected inflation rates

# ALLENTOWN POLICE DEPARTMENT NEXT STEPS

## TIMELINE AND PHASING



“  
**This building will showcase APD pride.**

We engage the community, build trust, and work together.”

— APD SERGEANT



ALLENTOWN  
POLICE DEPARTMENT



THANK YOU

**ALLOY5**  
ARCHITECTURE



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