

\_\_\_\_ Sketch  
 Preliminary  
 Final

FILE NO.: \_\_\_\_\_

SUBDIVISION AND LAND DEVELOPMENT APPLICATION  
CITY OF ALLENTOWN  
ALLENTOWN CITY PLANNING COMMISSION

DATE: 10/05/22

NAME OF SUBDIVISION: ChildSmiles Dental Land Development  
ADDRESS OF SUBDIVISION: 1802 and 1814 Tilghman Street  
PROPERTY OWNER: Dr. Michael Skolnick  
ADDRESS: 103 Eisenhower Parkway, Suite 102  
CITY, STATE, ZIP: Roseland, NJ 07068  
E-MAIL ADDRESS: drmskolnick@smilehealthnow.com  
PHONE #: 973-715-5963 FAX#: \_\_\_\_\_

APPLICANT (If other than owner): \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE, ZIP: \_\_\_\_\_  
E-MAIL ADDRESS: \_\_\_\_\_  
PHONE #: \_\_\_\_\_ FAX#: \_\_\_\_\_

SURVEYOR/ENGINEER/ATTORNEY: Laura M. Eberly, PE  
ADDRESS: 2980 Linden Street, Unit C2  
CITY, STATE, ZIP: Bethlehem, PA 18017  
E-MAIL ADDRESS: leberly@reutherbowen.com  
PHONE #: 484-403-1560 FAX#: \_\_\_\_\_

SUBDIVISION CLASSIFICATION: Minor \_\_\_\_\_ Major \_\_\_\_\_ Deed Consolidation \_\_\_\_\_

LAND DEVELOPMENT: Minor \_\_\_\_\_ Major

NUMBER OF LOTS: 1 ACREAGE: 0.73

SQ. FT OF FLOOR AREA: <sup>Medical</sup> Office: 9,905 Retail: \_\_\_\_\_ Warehouse: \_\_\_\_\_ Other: \_\_\_\_\_

PROPOSED DEVELOPMENT: Converting and expanding auto parts store into dental office. Removing diner.

ARE MUNICIPAL UTILITIES AVAILABLE? YES  NO \_\_\_\_\_

FEE: (Please complete page 2 and enter the fee here): \$ 2350.00  
(The fee must accompany submission)

**Note:**

1. All materials, including plans, reports and other documentation submitted on behalf of an application become *public records* as defined in the Pennsylvania Right to Know Law, 65 p.s. § 66.1 et. Seq.
2. **Major land developments and all subdivisions must be accompanied by an electronic copy and a hard copy of the site plan (8.5" x 11"), location map, project description, project elevation/rendering, and documentation of Lehigh Valley Planning Commission and Lehigh County Authority submissions.**
3. All new submissions require 10 sets of plans and four (4) copies of all reports.

SIGNATURE OF OWNER, APPLICANT OR AUTHORIZED REPRESENTATIVE:

[Signature]  
Signature

Managing Member  
Title



## Planning Staff Report to the Allentown City Planning Commission January 10, 2023

### Proposed Dental Office

**Project Title (Number):** ChildSmiles Dental Land Development (LMA-2022-00022)

**Project Location:** 1802 and 1814 Tilghman Street    **Type:** Major LD/**Prelim-Final** Plan

**Owner:** Michael Skolnick, MD    **Engineer:** Ruether Bowen Eng'g (Laura Eberly, PE)

**Project Overview:** The project site is in the southwest corner of Tilghman and S. 18<sup>th</sup> Streets, in West Allentown. The project includes:

- Demolition /removal of the former restaurant structure (completed)
- Consolidation of two parcels to aggregate to some 7.2 acres.
- Retention, repair and repurposing of the existing buildings.
- Construction of a 1-story, 40' by 55' structure (2,200 sf)
- Parking (44 spaces + 4 ADAs = 48)
- Landscaping (new trees and shrubbery); Erosion control

### FINDINGS and COMMENTS

*Fig-1. Aerial view of the project site showing abutting land uses and surrounding roadways.*



### **Zoning and Land Uses in the Vicinity** (refer to Figure 1)

1. The project site and all lands around it are zoned for commercial uses (B3 and B5), which allows the dental office use being proposed. Except for the residential parcels on the northwest corner of the site, across Tilghman, all uses in the immediate vicinity host

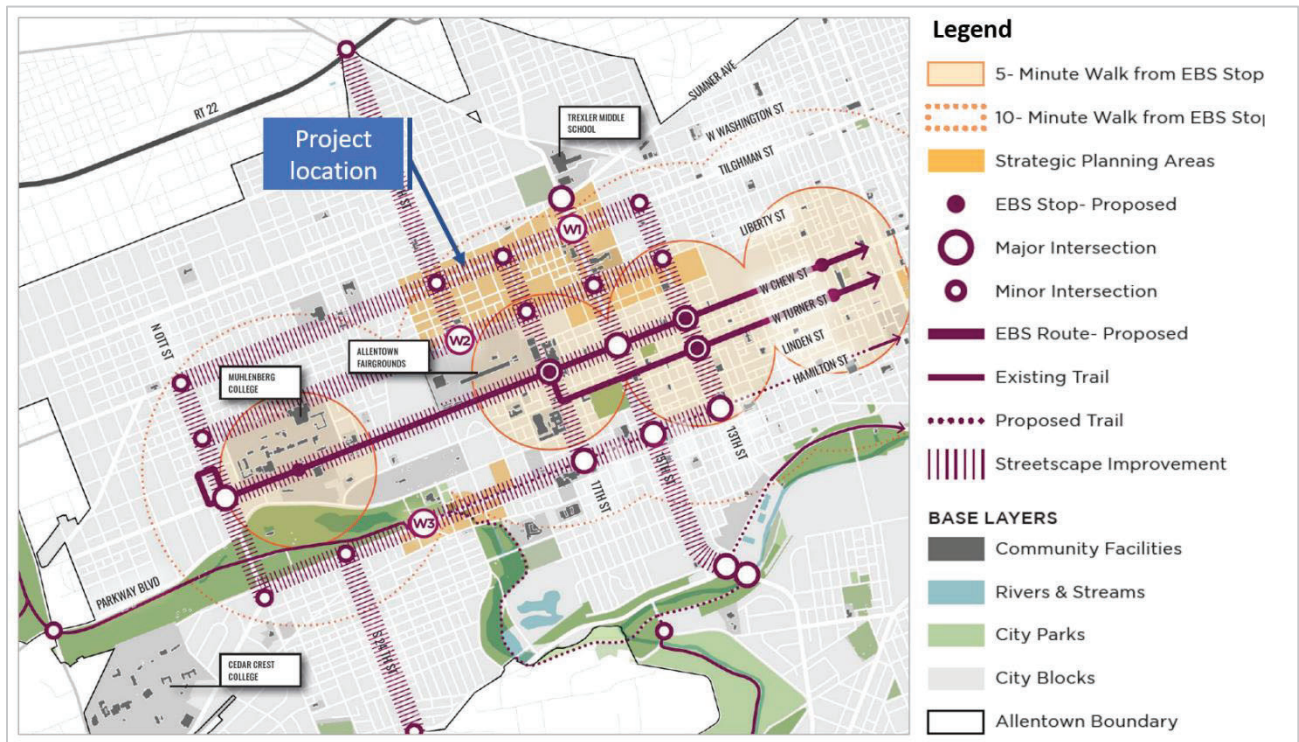
commercially oriented land uses, such as: food service, printing, general retailing, auto repair/sales, financial services, and warehousing.

2. While there are different land use-types in the immediate vicinity (residential and non-residential) Staff is not concerned about potential conflicts that may arise between uses. The ample separation between uses – either via the yard setbacks or roadway width – prevents or minimizes the occurrence of such conflicts.

**General /Specific Comments**

3. The project site is within the strategic planning area of West Allentown as identified in Allentown **Vision 2030** (Figure 2). The stretch of Tilghman Street between Ott and 13<sup>th</sup> Streets has been identified for streetscape improvements which includes enhanced pedestrian infrastructure treatment such as sidewalk repair /rehab, crosswalk enhancements and improved signalized intersections.

*Fig-2. West Allentown and the proposed projects in the strategic planning area as envisioned by Vision2030.*

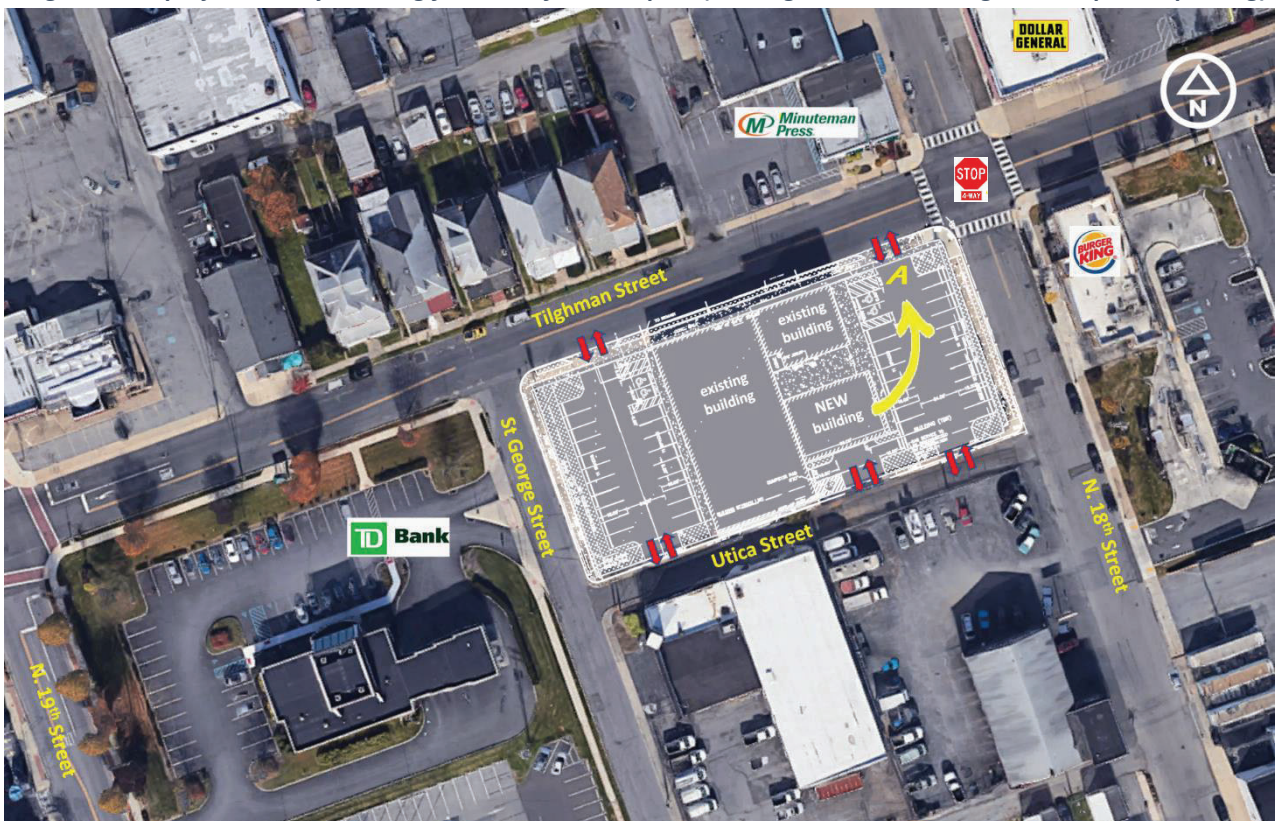


4. Moreover, Vision2030 expects enhanced walkability in the area connecting existing assets in the arts, education, and medical communities to emerging commercial districts. This includes increasing access between the Theater District and the Fairgrounds via 19th Street. This strategy points to the importance of art/cultural resources (such as street murals at intersections, neighborhood parks /parkettes, etc) and emphasizes the important role that corner properties (like the project site) play in establishing and maintaining the identity of the district.
5. Primarily due to the proximity of the Theater District, the Fairgrounds, the hospital and the schools, the comprehensive plan idealizes this part of West Allentown – in general – to remain as a host for safe, walkable and bikeable connections, with healthy and complementary interplay among residential, institutional and commercial land uses. Even with the change in

use – from restaurant /retail to dental office – the proposed activity is deemed consistent with the vision of the comprehensive plan.

6. **TND Overlay Design Guidelines** – the project site is within the TNDO. However, Staff was unable to review the project under the TNDO design guidelines, since there were no renderings submitted of the new building and the existing damaged building in its envisioned repaired condition. *For purposes of complying with the design requirements of the TND Overlay, the ACPC may wish to refer the developer to Item D of the TND Overlay (see Appendix A).*
7. As regards **access** and **siting**, the plan is to install five (5) ingress-egress points: two on Tilghman Street and three on Utica Street (as denoted by the red arrows in Fig-3). And, to construct the new building in the interior of the lot, attached to the east side of the existing long building. *To achieve a safer pedestrian and vehicular flow and better street appeal, staff suggests the following changes:*
  - a. *Eliminate the access point labelled A. This will achieve the following scenarios:*
    - *Eliminate the need for vehicular traffic to stop twice as the traffic reaches the SE corner of Tilghman and 18<sup>th</sup>. Taking out this access point, traffic will only have to stop once at the 4-way-Stop intersection.*
    - *Afford the pedestrian a continuous and safe path to walk on without the need to watch and stop for vehicles entering and/or existing the development.*
  - b. *Move the proposed building to location A to line up with the existing building line. This is expected to:*
    - *Result in a continuous building line of well-maintained facades rather than a parking lot, which makes for better street appeal.*

**Fig-3. Aerial project vicinity showing features of the site plan (existing and new buildings, access points, parking).**



- *Hide the parking lot from the primary thoroughfare and instead showcase the new building, which is proper.*
8. While the lighting plan calls for the installation of at least 9 lighting fixtures on the site, the plan is not clear where these fixtures will be installed/located. *Staff believes this is important for the ACPC to see in order to appreciate the adequacy of on-site lighting as this relates to engendering a sense of safety and security for both patrons and pedestrians.*
    - a. *The ACPC may wish to request the applicant to resubmit its lighting plan, mindful of visibly showing the locations of the fixtures.*
  9. Finally, the applicant proposes to integrate the two parcels comprising the site. Staff deems this action as most ideal and *recommends approval of the lot consolidation.*

### **Conclusion**

10. While the Staff considers the proposed project a desirable land use at this location, we would like to consider this prospect further and requests the Commission to ask the applicant to submit the following:
  - a. *A new site plan that shows the new building being located on Tilghman (as in Item 7).*
  - b. *Colored perspective renderings for the new and repaired buildings as may be seen along Tilghman and N. 18<sup>th</sup> Streets, with due regard to observing the TNDO design guidelines (as in Item 6).*

Contact Staff:

Jesus Sadiua  
Sr Planner

# Appendix -A

## TNDO Regulations

(Excerpt from the City of Allentown Zoning Ordinance)

### **1314.02** TNDO (TRADITIONAL NEIGHBORHOOD DEVELOPMENT OVERLAY DISTRICT)

- A. Authorization. The regulations for this district are authorized by Article VII-A (Traditional Neighborhood Development) of the Pennsylvania Municipalities Planning Code, P.L. 805, No. 247 as re-enacted and amended.
- B. Applicability.
1. This section is applicable to all properties within the TND Overlay District as shown on the official Zoning Map of the City of Allentown, except for any property located in a Limited Industrial (I-2); General Industrial (I-3) or Parks (P) zoning district.
  2. All properties for which these regulations are applicable shall retain their underlying zoning district designations but shall also be regulated by the TND Overlay District. If the standards of another provision of this Ordinance and the TND Overlay District both apply to the exact same matter, the provision of the TND Overlay District shall apply. |
- C. TNDO Regulations
1. Front Yard Building Setback.
    - a.
    - b.
  2. Vehicle Parking and Access.
    - a.
    - b.
  3. Front Porches.
  4. Commercial Uses in Residential Districts.
- D. Design Guidelines. The following design guidelines shall be considered in the design of new construction, additions and exterior alterations in the TND Overlay District. Some of these features may be required by other sections of this Ordinance in specific cases.
1. Modern additions and features should be placed toward the rear of a building.
  2. New construction should have rooflines that are similar to adjacent buildings. Flat roofs should be avoided, unless they include a decorative cornice in the front. Where a pitched roof is not practical, then the roof should at least appear to have angles and a pitch when viewed from the street.
  3. On sides visible from a street, new construction should use building materials that are similar in appearance to similar, older buildings in close proximity, including brick and stone.
  4. Where adjacent buildings have a certain horizontal or vertical orientation, that orientation should be continued in new construction. Where adjacent buildings have a certain spacing of windows and doors, similar spacing (and similar sizes of windows and doors) should be continued in new construction. Blank walls without door and window openings should be avoided along a street.
  5. Buildings should include at least two (2) stories. Where a two-story building is not possible, it should have the appearance of a two-story building when viewed from the street (such as using decorative dormers).



**Mark Hartney, Deputy Director  
Community and Economic Development**

City of Allentown  
435 Hamilton Street, Allentown, PA 18101-1699  
610-437-7610 x2734  
mark.hartney@allentownpa.gov

January 9, 2023

Laura M. Eberly, PE  
2980 Linden Street, Unit C2  
Bethlehem, PA 18017

RE: 1802 & 1814 Tilghman Street  
(LMA-2022-00022)

Dear Ms. Eberly:

The above referenced major land development plan dated November 18, 2022, has been reviewed by the appropriate City offices. We offer the following comments: (If you have any questions, please call the listed phone number.)

**Engineering 610-437-7589:**

1. All resubmissions must be accompanied by 4 copies of a written response letter addressing each Engineering and Traffic comment and referencing appropriate plan revision locations in the plan set. Attach a copy of the most recent City review letter to your written response.
2. Provide LVPC review letter.
3. Provide will serve letters for water and sanitary sewer service from LCA.
4. Provide PennDOT approved HOP for any work within Tilghman St right-of-way.
5. Proof of plan approval or payment of any accepted fee-in-lieu of planting to the Shade Tree Commission must be provided prior to mylar signature.
6. In accordance with SALDO Section § 350-22B(1), the title block shall contain the following information so that it appears on each sheet:
  - a. The name of the development and the notation "Final Plan", also remove "preliminary" references from the plan.
  - b. The property address and the ward. This is in the 11<sup>th</sup> Ward.

7. Provide all certifications, signature blocks, and proof of recording on each sheet to be recorded. Indicate the sheets to be recorded. It appears that at least sheets 3 and 5 should be recorded.
8. The proposed property monumentation should be noted.
9. Provide house/building numbering (address) on the record plan.
10. Note that a new Deed of Consolidation should be recorded with Lehigh County Recorder of Deeds within 90 days of Final Planning Approval.
11. Identify cartway(s) widths and right of way(s) widths for the adjoining roadways.
12. Show existing and proposed overhead utility lines adjoining the site and servicing the existing buildings. Show the locations for the existing sanitary laterals.
13. Provide additional spot elevations showing the accessible parking spaces and access aisle do not exceed 2% slope in any direction.
14. Clarify if grading is proposed at the Utica St and 18<sup>th</sup> St corner of the site which would impact the existing ramp.
15. Note that the sidewalk is to be replaced to the nearest joint at the proposed storm line at the corner of Tilghman St and N 18<sup>th</sup> St.
16. Clarify extent of full height and depressed curb replacement on all frontages.
17. It appears the sidewalk on the St George Street frontage should be proposed against the curb.
18. The sidewalk on Tilghman St must maintain no more than a 2% cross slope through the crossover area. Provide additional spot elevations showing the accessible pathway across the crossovers.
19. Provide details of the City standard crossover, sidewalk, curbing, and depressed curb for the proposed improvements.
20. Provide a note stating: survey cut sheets for curbing shall be submitted to the city for review prior to construction.
21. Provide an E&S control plan narrative. Identify compost filter sock downslope of disturbed areas on the E&S plan as needed.
22. Provide the proposed inlets with a permanent water quality device such as an inlet filter, snout, or other device.



23. Add a BMP tabulation (listing all the BMP devices to be employed on the site) on the PCSM plan. Add a table quantifying the existing and proposed impervious area on the site.
24. Show the proposed Rim elevation for Inlet 2 on the grading & PCSM plan. We recommend relocating the inlet toward Tilghman St in the proposed landscape area between the access aisle and the sidewalk.
25. Clarify if a small berm or curbing is proposed between the parking spaces and sidewalk on N 18<sup>th</sup> St to direct the runoff to Inlet 1.
26. Prior to final plan signatures for recording, the owner shall sign an operation and maintenance agreement for stormwater BMP's and a Stormwater License agreement for connection to the City stormwater system. The agreement template(s) must be requested from the City Engineering Department (Please contact Mike Lichty at [Michael.Lichty@allentownpa.gov](mailto:Michael.Lichty@allentownpa.gov)). The Owner will sign and notarize, and return to the City Engineering Department, The City will have the agreement signed by the Mayor and notarized. The City will return to the Owner, the Owner shall record the agreement at the office of the Lehigh County Recorder of Deeds, and then the Owner will supply a copy of the recorded documents to the City Engineering Department. (Stormwater Management Ordinance § 538-Appendix E). Due to the lengthy nature of this process, we encourage the applicant to start the process as soon as the stormwater BMP Plans are approved.
27. Provide a note on the plan stating that a connection permit from the City Engineering Bureau for each connection to the public storm sewer must be obtained prior to construction.
28. Provide a note for the clear sight triangles that "No vision obstructing object shall be permitted which exceeds a height of 30 inches above the elevation of the intersecting driveway and street."
29. Add a note stating all improvements within the public right-of-way must comply with the City of Allentown standards and specifications.
30. Add a note stating all City permits must be obtained prior to the start of construction.
31. In reference to the Record Plan, the following notes shall be added to the plan.
  - a. Water quality drainage structures shall be periodically inspected and maintained by the owner. In the event that the recorded owner(s) fails to properly maintain the facilities which are the responsibility of the recorded owner(s) after notification to said owner(s) by the City, the City is authorized to enter upon the property to perform such maintenance and thereafter recover the cost of performing such maintenance from the record owner(s). In order to enforce the recovery of such cost maintenance, the City shall have the right to file a municipal lien against the

recorded owner(s) and therefore to exercise its remedies in accordance with the Home Rule Charter.

- b. Owner is required to periodically inspect and maintain the on-site water facilities, primarily the BMP and storm water management devices, and have a log on hand of when such inspection & maintenance has been performed. This log shall be made available to the City during a post storm water inspection.
- c. All Storm sewer collection system piping shall have water-tight joints conforming to the latest or supersession of ASTM C361, C443, C877, C1628, C1896, D3212, and others as approved by the City Engineer.
- d. The developer shall comply with the stipulations of the City of Allentown codified ordinance NO. 14476 (ACT 167).
- e. Runoff from all on-site impervious areas shall not be directed into the public sanitary sewer, across the sidewalk area within the public right-of-way, or onto adjoining properties, § 455-106, § 455-108B(4) of City Property Rehabilitation & Maintenance Code.
- f. Any work to be done in the public rights-of-way shall be done in accordance to City and LCA standards.
- g. Work to be performed onsite, shall be done in accordance with the IBC.

32. A security cost estimate for all public improvements must be prepared and should also include items for E&S controls and maintenance, stormwater BMPs and appurtenant storm sewer as applicable. The security cost estimate shall be titled, dated, signed, and sealed by a registered professional. The cost estimate must also provide at a minimum a 10% contingency cost, a 5% inspection fee, and a 2% as-built cost. A colored plan shall be provided indicating the proposed improvements that security will be provided for.

33. Upon completion of addressing all outstanding comments and at the time of record plan mylar signature by the City Engineer, provide three complete sets of signed and sealed land development plans stamped "FOR CONSTRUCTION" for the Engineering Department's use. Provide sheets 8 & 9 (utility plans) on mylar to the City Engineering Bureau after final planning approval.

**Traffic: 610-437-7735:**

1. On all frontages, provide painted yellow curb and signs (no parking here to corner) restricting parking in project areas meeting the following at a minimum:
  - a. 20 feet from a crosswalk (marked or unmarked) at an intersection

- b. 30 feet upon the approach to any flashing signal, stop sign, yield sign, or traffic-control signal located at the site of a roadway
- c. 15 feet from a fire hydrant
- d. Within 25 feet from the intersection of curblines or, if none, then within 15 feet of the intersection of property lines at an intersection of highways.

If any existing marked curb and parking restriction signage exceed these requirements, they should be replaced in kind

- 2. Both accesses on Tilghman Street must be use as "Entrance only". All the vehicles must "Exit" out to Utica Street. Designer can change both access widths to 15' wide. Provide appropriate signage and pavement markings for both entrances and exits.
- 3. Provide Stop Bar and Stop Sign on North St. George Street at Tilghman Street intersection.
- 4. Conduct 12 hours of manual traffic counts and use the last five years-worth of crash data for an analysis to verify if the N 18th Street and Tilghman Street intersection is warranted for a traffic signal or Multiway Stop. Use the existing and opening year projected volume for this analysis.
- 5. Highway Occupancy Permit (HOP) May required If the existing driveway access or curb need to be modified along Tilghman Street.
- 6. Provide a note that all the pavement marking, and legends must be thermoplastic pavement markings.
- 7. Provide city standard pedestrian style lighting with telecell control node (Photocell) along the Tilghman Street, N 18<sup>th</sup> Street, and N St. George Street frontages of the property.
- 8. Provide city standard lighting details and photometric design on the separate sheet.

If you have any questions concerning the Traffic and lighting comments, please contact Mr. Varughese at [Nelson.Varughese@allentownpa.gov](mailto:Nelson.Varughese@allentownpa.gov)

**Zoning: 610-437-7630:**

Plans are unsatisfactory as submitted.

- 1. Zoning application required.
- 2. Insufficient off-street parking (**Variance**)

Insufficient off-street parking (50 spaces req; 46 spaces proposed)

- a. 660-74 Number of required off-street parking spaces.  
 All uses permitted by this chapter or hereafter permitted in any of the districts herein established shall provide as a minimum the number of off-street parking spaces specified in the following Table of Off-Street Parking Requirements and in accord with the following provisions:

Use	Number of Off-Street	Plus 1 Off-Street Parking
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	<b>Parking Spaces Required</b>	<b>Space For Each</b>
Offices primarily intended to include medical/dental offices	1 per 200 square feet of floor area	
Retail sales (other than types separately listed); see also shopping center	1 per 200 square feet of floor area, other than accessory warehouse/storage areas in rooms not accessible to customers	

**Nonconforming Parking**

1802-1812 Tilghman St – Restaurant being demo’d. Structure and use will no longer exist.

Nonconforming parking associated with this structure and use will no longer exist.

- a. 660-73E Nonconforming amounts of parking. If a structure or use lawfully exists prior to the adoption of this chapter and does not conform to the number of parking spaces required by this chapter, additional numbers of parking spaces shall only be required in the following cases: (1) Expansion. If the existing structure or use is expanded beyond its size at the time of adoption of this chapter, then additional off-street parking shall be required for the expansion in accordance with this article. For example, if an existing building of 5,000 square feet had one off-street parking space, and the building is proposed to be expanded by 4,000 square feet, then off-street parking shall be required for the 4,000 square feet of floor area, plus the one existing parking space must continue to be provided. (2) Change in use. If the existing structure or use is changed in use, then the number of off-street parking spaces required by this article shall be provided for the entire structure and use, minus any preexisting lawful deficit in the number of parking spaces. The deficit in the number of spaces continues to be grandfathered.

Calculation for nonconforming parking that is associated with the remaining building/retail use:

2,775 sq ft retail/200 sq ft = 13.875 or 14 spaces. 11 on-site; 3 off-site. Bella Casa Kitchen & Bath was required to obtain 3 additional spaces when the retail use expanded into the 2<sup>nd</sup> floor in 2017.

**Are those spaces leased off-site? If so, please provide lease.**

Restaurant 108 seats/4 + 12 employees/3 = 31 spaces

45 spaces required – 27 spaces existing – 3 additional spaces off-site for Bella Casa = 15 space on-site nonconforming.

On-site parking percentage per use before demo:

Restaurant 31/42 = 74%

Retail 11/42 = 26%

Amount of nonconforming parking associated with retail use that remains:

15 x 26% = 3.9 or 4 space nonconformity.

-1826 Tilghman St – 5,900 sq ft retail/200 sq ft = 29.5 or 30 spaces required; less 20 spaces existing = 10 space nonconformity.

For a total of 14 space nonconformity. 64 spaces required less 14 nonconforming spaces = 50 spaces required. \*provide lease for 3 off-site spaces to reduce this.

3. If bicycle parking is installed, may reduce required parking by one space. Show on plans.
  - a. 660-73W(1) If a use is required to provide five or more off-street parking spaces, then the parking requirement may be reduced by a maximum of one parking space if the landowner provides a hitch, rack or locker suitable for the secure parking of two or more bicycles. The design and location of the hitch, rack or locker shall be subject to City approval. The current landowner shall be responsible to ensure that the hitch, rack or locker continues to be available and is well-maintained and is replaced if damaged or removed. Such hitch, rack or locker shall be designed for use by the general public. If the hitch, rack or locker is within a street right-of-way, a City encroachment permit shall be required.
4. Percentage of parking area landscaping not provided. **Please provide.**
  - a. 660-77 Such areas shall include a landscaped area equal to 10% of the total area of paved and stone surfaces on the lot...
5. Shrubs or other plantings within required sight triangles must be maintained as to not exceed 30 inches above curb level.
  - a. 660-37A No structure, fence, wall, hedge, shrub or other planting shall be maintained between 30 inches above curb level and 10 feet above curb level within the triangular area adjacent to an intersection drawn as specified below:
    - (1) One side of the triangle shall be measured 15 feet along the property line of any street.
    - (2) One side of the triangle shall be measured 10 feet along the property line of any alley.
  - b. 660-37B On any lot where a private driveway enters a street, no obstruction between 30 inches above curb level and 10 feet above curb level shall be located within the triangular area formed by the property line, the private driveway paving and a line connecting them at points 10 feet from their intersection.
6. Dumpster screening not shown on plans. **Please provide.**
  - a. 660-77D Dumpster screening. Any new location for a solid waste dumpster shall be screened on at least three of four sides as necessary to screen views from public streets and existing dwellings on adjacent lots. Such screening shall consist of decorative masonry walls, mostly solid weather-resistant fencing of wood or material with a similar appearance, or primarily evergreen plantings.

**Shade Tree Commission: 610-821-4252:**

1. The Shade Tree Ordinance requires street trees to be planted within the public right-of-way of all subdivisions, land developments and improved properties. The subject Project is bound on four sides by existing public right-of-way. The applicant shall calculate the Street Requirement based on the combined total right-of-way and provide one street tree per every 40' linear feet.
2. A street tree summary should be added to the landscape plan that demonstrates compliance with the Shade Tree Ordinance.
3. All trees proposed and intended to meet the requirements of the Shade Tree Ordinance shall be planted within the Right-of-way. Trees that are unable to be planted within the right-of-way but are immediately adjacent shall be acknowledged and shown on the Record Plan as "Street Trees as required by the City of Allentown Shade Tree ordinance subject to all rules and regulations concerning, pruning, protection, maintenance, replacement, and preservation".
4. The following comments per frontage shall be considered:

Tilghman Street – Trees shall be planted between curb and sidewalk. If sidewalk is proposed to be reconstructed, applicant should consider widening of planting strip or providing min 4' x 7' tree pit cut-outs. The City recently completed a bare root tree planting on this block. The applicant should recognize the existing London Plan trees on the property and reconcile accordingly.

N. St. George Street – Street Trees can be installed behind sidewalk. Must be acknowledged on the Record Plan. Due to the absence of overhead wires, the applicant should utilize larger more upright tree species.

N. 18<sup>th</sup> Street – Trees shall be planted between curb and sidewalk. If sidewalk is proposed to be reconstructed, applicant should consider widening of planting strip or providing min 4' x 7' tree pit cut-outs. Due to the absence of overhead wires, the applicant should utilize larger more upright tree species.

Utica Street – Insufficient Right-of-way exists. Street Trees shall be confined to parking islands immediately adjacent to the Right-of-way and included on the Record Plan. Any trees not accommodated shall be subject to cash-in-lieu of planting provision.

5. A prominent note shall be added to the landscape plan indicating that permits shall be obtained from the City of Allentown Public Works Department for all Street Tree plantings.
6. Subject to review and approval by the Shade Tree Commission, the applicant may provide cash-in-lieu of planting for any Street Trees not able to be accommodated on site due to sight lines, underground utilities, or other physical limitations.

When all the comments have been addressed, please submit seven (7) sets of revised plans for further review.

Truly yours,

A handwritten signature in blue ink, appearing to read 'Mark Hartney', with a long horizontal flourish extending to the right.

Mark Hartney

e-copy: City of Allentown (Mark Shahda, David Petrik, Nelson Varughese, Melissa Velez, Michael Lichty, Kyle Sergeant)  
File





**GENERAL NOTES:**

- THE OWNER/APPLICANT FOR THIS PROJECT IS: THE CHILDSMILES GROUP LLC 103 EISENHOWER PARKWAY, SUITE 102 ROSELAND, NJ 07068 CONTACT: DR. MICHAEL SKOLNIK, DMD PHONE NUMBER 973-715-9863
- THE PROJECT ENGINEER IS: REUTHER-BOWEN 2880 LINDEN STREET, UNIT C2 BETHLEHEM, PA 18017 (484) 403-1500
- SITE DATA: OWNER: THE CHILDSMILES GROUP, LLC (TRACT NO. 1 & 2) INSTR. NO. 2022001003 5491732287-1 0.39 ACRES INSTR. NO. 2022011089 5491742282-1 0.33 ACRES
- ZONING DATA: ZONING CLASSIFICATION: B-3 (HIGHWAY BUSINESS DISTRICT) & TNO (TRADITIONAL NEIGHBORHOOD DEVELOPMENT OVERLAY DISTRICT) ZONING REQUIREMENT: 8500 BLDG., 8500 LINDO, 8500Z (BLDG.) MIN. LOT AREA: 10,000 SQ.FT. --- 31,363 SQ.FT. MIN. LOT W/TH: 30' --- 80' MIN. FRONT YARD: 30' --- 20' --- 20' (EX.BLDG.) MIN. REAR YARD: 10' --- 60' MIN. SIDE 1/2: 5' --- 5' MIN. BUILDING COVERAGE: 60% --- 50% MIN. 2-STORY: 8.5'X18' --- 8.5'X18' PARKING SPACE SIZE: 8.5'X18' --- 8.5'X18' REQUIRED PARKING: 30 --- 48
- PARKING CALCULATIONS: FOR ZONING ORDINANCE SECTION 660-73.2 EXISTING CONDITION PARKING = 30 RETAIL STORE (AUTO PARTS STORE) 1 SPACE PER 200 SQ.FT. OF FLOOR AREA, OTHER THAN ACCESSORY WAREHOUSE/STORAGE AREAS IN ROOMS NOT ACCESSIBLE TO CUSTOMERS. 9,000 SQ.FT. FLOOR AREA / 200 SQ.FT. = 45 (30 SPACES) RETAIL STORE (KITCHEN/BATH STORE) 1 SPACE PER 200 SQ.FT. OF FLOOR AREA, OTHER THAN ACCESSORY WAREHOUSE/STORAGE AREAS IN ROOMS NOT ACCESSIBLE TO CUSTOMERS. 6,775 SQ.FT. FLOOR AREA / 200 SQ.FT. = 33.875 (14 SPACES) RESTAURANT (DINER) 1 SPACE PER 4 SEATS PLUS 1 SPACE PER 4 EMPLOYEES = 108 SEATS / 4 PLUS 12 EMPLOYEES / 4 = 31 SPACES TOTAL EXISTING PARKING SPACES PROVIDED = 47 SPACES EXISTING PARKING DEFICIT = 28 SPACES PROPOSED PARKING: MEDICAL OFFICE (DENTAL) 1 SPACE PER 200 SQ.FT. OF FLOOR AREA 9,000 SQ.FT. FLOOR AREA / 200 SQ.FT. = 45 (50 SPACES) RETAIL STORE (KITCHEN/BATH STORE) 1 SPACE PER 200 SQ.FT. OF FLOOR AREA, OTHER THAN ACCESSORY WAREHOUSE/STORAGE AREAS IN ROOMS NOT ACCESSIBLE TO CUSTOMERS. 6,775 SQ.FT. FLOOR AREA / 200 SQ.FT. = 33.875 (14 SPACES) PROPOSED PARKING REQUIREMENT = 64 SPACES EXISTING PARKING SPACES PROVIDED = 47 SPACES TOTAL PARKING SPACES PROVIDED (REQUIRED - DEFICIT) = 48 SPACES
- THIS PROJECT PROPOSES TO CONSOLIDATE THE PROPERTIES OF THIS BLOCK INTO ONE PROPERTY, REMOVE THE "OWNER" BUILDING LOCATED ON THE SOUTHWEST CORNER OF THE LOT, RECONSTRUCT THE INTERIOR AND EXTERIOR OF THE BUILDING ON THE WEST SIDE OF THE PROPERTY AND RECONSTRUCT THE PARKING.
- THE PURPOSE OF THESE PLANS ARE TO OBTAIN PRELIMINARY/FINAL LAND DEVELOPMENT APPROVAL, AND ARE NOT INTENDED FOR CONSTRUCTION.
- BOUNDARY, PLANIMETRIC AND TOPOGRAPHICAL DATA PROVIDED IN APRIL 2022 BY DONALD AJLAIN, P.L.S. OF ESC. DESIGN, LOCATED IN MOSCOW, PENNSYLVANIA. HORIZONTAL DATUM: NAD83 PA STATE PLANE, SOUTH ZONE. VERTICAL DATUM: NAVD83 BENCHMARK BEING: MAG. NAIL IN POLE (52472, SA1111) ELEVATION: 332.13. MAG. NAIL IN POLE (8100 #4008), ELEVATION: 332.21.
- CONTRACTOR SHALL PROTECT ALL BENCHMARKS (SURVEY CONTROL POINTS, EXISTING STRUCTURES, MONUMENTATION, ETC.) FROM DAMAGE OR DISPLACEMENT. CONTRACTOR TO REMOVE/REPLACE ALL DISTURBED BENCHMARKS.
- THE SURVEYOR HAS MADE NO INVESTIGATIONS OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THESE PLANS ARE ONE PART OF THE CONSTRUCTION DOCUMENTS. THE CONSTRUCTION DOCUMENTS INCLUDE: CONSTRUCTION PLANS, EAS PLANS, FORM PLANS, HOP PLANS, NOTES, DETAILS, SECTIONS, PROFILES, EAS NARRATIVES, FORM NARRATIVES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF ALL PARTS OF THE CONSTRUCTION DOCUMENTS AND COORDINATE ALL REQUIRED WORK.
- THESE PLANS ARE SUBJECT TO ANY AND ALL RIGHT-OF-WAY, EASEMENTS AND COVENANTS OF RECORD.
- THERE ARE NO EXISTING WETLANDS WITHIN THE PROJECT AREA BASED ON FIELD INVESTIGATION AND REVIEW OF NIM MAPPING.
- ACCORDING TO FEMA FIRM PANEL 0251F, MAP NUMBER 4207702051F, EFFECTIVE DATE 07/16/2004, THE SITE IS LOCATED IN ZONE "X" DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD.
- THE PROJECT SITE IS PART OF THE JORDAN CREEK WATERSHED WATERSHED WHICH HAS A CURRENT ACT 167 PLAN. THE CHAPTER 83 DESIGNATION IS TRUST STOCKING - MIGRATORY FISH (TSF-MF).
- THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE AND ARE BASED ON FIELD LOCATIONS OF OBSERVABLE SURFACE STRUCTURES AND RECORDS BY UTILITY UTILITIES FOLLOWING A CALL TO PENNSYLVANIA ONE CALL SYSTEM, SERIAL #20220742089 LOCATIONS AND DEPTHS ARE APPROXIMATE. REUTHER-BOWEN DOES NOT GUARANTEE THE ACCURACY OF UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS.
- CONTRACTORS ARE REQUIRED TO CONTACT THE PENNSYLVANIA ONE-CALL SYSTEM (1-800) 772-1176 NOT LESS THAN 3 DAYS NOR MORE THAN 10 DAYS PRIOR TO BEGINNING ANY EXCAVATION OF DEMOLITION WORK, AND TO COMPLY WITH ALL OTHER REQUIRED PROCEDURES OF PENNSYLVANIA ACT 38, AS MOST CURRENTLY AMENDED. INFORMATION CONCERNING UTILITIES IS NOT INTENDED FOR CONSTRUCTION PURPOSES.
- THE CONTRACTOR SHALL CONDUCT EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS NECESSARY. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OF UTILITY LOCATIONS ARE DISCOVERED.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE ENGINEER, CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND HOLD THE OWNER AND EMPLOYER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL FINES, PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

- IN ALL CASES, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOT USE SCALED DIMENSIONS FOR CONSTRUCTION WITHOUT CONFIRMATION BY REUTHER-BOWEN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE PROJECT SITE. REUTHER-BOWEN WILL NOT BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
  - THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
  - THE CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS AND REQUIREMENTS.
  - PUBLIC AND COMMON USE AREAS, INCLUDING ADA DESIGNATED PARKING AREAS, SIDEWALKS, AND BUILDING ACCESSWAYS SHALL COMPLY WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
  - NO EARTH MOVING ACTIVITIES MAY TAKE PLACE ON THIS SITE UNTIL AN EROSION AND SEDIMENTATION POLLUTION CONTROL PLAN HAS BEEN APPROVED BY THE COUNTY CONSERVATION DISTRICT AND THE BOROUGH.
  - DEBRIS SHALL NOT BE BURIED ON SITE. ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS OR APPLICABLE CODES.
  - CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES AT NO ADDITIONAL COSTS TO THE OWNER.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE AND COORDINATE ALL INSPECTIONS WITH THE CITY OF ALLENTOWN AND MUNICIPAL AUTHORITY. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 24 HOURS NOTICE AND TO COORDINATE WITH THE CITY OF ALLENTOWN OR CITY OF ALLENTOWN ENGINEER REGARDING ALL MUNICIPAL INSPECTION WORK REQUIRED ON THE PROJECT SITE.
  - ON-SITE STORAGE OF HAZARDOUS MATERIALS IS NOT PERMITTED DURING CONSTRUCTION. IF ON-SITE STORAGE IS NECESSARY, CONTRACTOR IS REQUIRED TO PREPARE AND SUBMIT A PPC PLAN TO THE COUNTY CONSERVATION DISTRICT.
  - CONTRACTOR SHALL SEPARATE STORED DIFFERING MATERIALS WITH DIVIDERS OR STOOPHOLE APART TO PREVENT MIXING.
  - CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS TO BE REMOVED OR DESTROYED. CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS TO BE REMOVED OR DESTROYED. CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS TO BE REMOVED OR DESTROYED.
  - BY APPROVAL OF THESE PLANS, THE CITY OF ALLENTOWN HAS NEITHER CONFIRMED NOR DENIED THE EXISTENCE AND/OR EXTENT OF ANY WETLAND AREAS. ANY ENCROACHMENT INTO WETLAND AREAS SHALL BE SUBJECT TO THE JURISDICTION OF THE ARMY CORP OF ENGINEERS AND THE SAID ENCROACHMENT SHALL CONFORM TO THE RULES AND REGULATIONS OF THE JURISDICTIONAL AGENCIES.
  - CONTRACTOR SHALL PROTECT TREES, PLANT GROWTH AND FEATURES DESIGNATED TO REMAIN, AS FINAL LANDSCAPING.
  - CONTRACTOR IS RESPONSIBLE TO KEEP EXISTING ROADWAYS, PARKING AREAS AND LOCAL ROADS FREE OF CONSTRUCTION MATERIALS. ANY DIRT OR DEBRIS TRACKED ONTO SUCH AREAS MUST BE IMMEDIATELY REMOVED.
  - CONSTRUCTION VEHICLES, MATERIALS OR ACTIVITIES SHALL NOT INTERFERE WITH PUBLIC ACCESS EXCEPT WHERE SHOWN ON THE PLANS. CONTROL VEHICULAR PARKING TO PREVENT INTERFERENCE WITH PUBLIC TRAFFIC AND PARKING, AS REQUIRED BY EMERGENCY VEHICLES AND OWNER'S OPERATIONS.
  - IN THE EVENT THAT ROCK IS ENCOUNTERED WITHIN AN EXCAVATION CONTRACTOR SHALL CONTACT THE OWNER FOR VERIFICATION AND REMOVE ROCK TO 12" BELOW TARGET ELEVATION AND BACKFILL WITH APPROVED MATERIAL.
  - ANY ITEMS NOT SPECIFICALLY MENTIONED THAT ARE REQUIRED TO MAKE THE WORK COMPLETE AND OPERATIONAL SHALL BE INCLUDED BY THE CONTRACTOR. THIS INCLUDES WOOD BLOCKING, CALKING, SEALING AND FLASHING. CONTRACTOR TO FOLLOW MFG'S INSTALLATION PROCEDURES AND STANDARD INDUSTRY PRACTICES.
  - STORMWATER MANAGEMENT CONVEYANCE SYSTEMS SHALL BE OWNED, MANAGED, AND MAINTAINED BY THE PROPERTY OWNER. THE CITY OF ALLENTOWN WILL RETAIN THE RIGHTS TO ENTER AND INSPECT STORMWATER MANAGEMENT FACILITIES TO ENSURE PROPER MAINTENANCE.
  - THE CONTRACTOR SHALL REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND PROPOSED STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF CONSTRUCTION.
  - CONTRACTOR SHALL COMPILE AND SUBMIT AS-BUILT SURVEY PLANS FOR ALL STORM AND UTILITY FACILITIES PRIOR TO THE RELEASE OF THE FINANCIAL SECURITIES FOR SUCH FACILITIES.
- THIS PROJECT WILL REQUIRE APPROVAL FROM THE FOLLOWING ENTITIES:
- ISSUING ENTITY: PERMITS REQUIRED: LEHIGH VALLEY LAND DEVELOPMENT DEPARTMENT OF TRANSPORTATION STANDARDS. PLANNING COMMISSION LOW VOLUME DRIVEWAYS
- ALL DRIVEWAYS SHALL BE BUILT IN ACCORDANCE WITH THE CITY OF ALLENTOWN AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS.
  - ALL PROPOSED SIGNS, EXCEPT FOR THE REQUIRED TRAFFIC CONTROL/REGULATORY SIGNS MUST COMPLY WITH THE APPLICABLE SECTIONS OF THE ZONING ORDINANCE. SIGN DETAILS SHALL BE SUBMITTED TO THE BOROUGH CONCURRENTLY WITH THE BUILDING PLANS. A SEPARATE SIGN PERMIT APPLICATION SHALL BE SUBMITTED TO THE CITY OF ALLENTOWN AS REQUIRED.
  - THE DEVELOPER SHALL ENSURE THAT THE REQUIRED EROSION AND SEDIMENTATION CONTROLS WILL BE IMPLEMENTED IN ACCORDANCE WITH PA CODE, TITLE 25, CHAPTER 102-EROSION AND SEDIMENT CONTROL.
  - ACCESS TO ANY HIGHWAY UNDER THE JURISDICTION OF THE DEPARTMENT OF TRANSPORTATION SHALL BE ONLY AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT PURSUANT TO SECTION 402 OF THE ACT OF JUNE 1, 1945 "PL 1242, NO. 428, KNOWN AS THE "STATE HIGHWAY LAW".

**GENERAL UTILITIES NOTES:**

- ALL NEW UTILITIES SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- THE LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE PROJECT SITE. REUTHER-BOWEN WILL NOT BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- ALL UTILITY EXTENSIONS FROM THE BUILDING BY OTHER TRADES SHALL BE CONNECTED TO THE CONTINUATION UTILITY LINES ON THE SITE. THE GENERAL CONTRACTOR SHALL MAKE THE CONNECTIONS AT A POINT AS FINAL TO BE MADE BY OTHER TRADES HAVE BEEN MADE BY OTHER TRADES TO ASSURE THE SYSTEM IS COMPLETE WHEN FLOW WILL BEGAIN IN THE LINES.
- CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (FRONT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE NOT TO REMAIN. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOTING BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- EXISTING VALVES, RIMS, GRATES, CLOSURES AND LIDS SHALL BE FIELD RESET TO PROPOSED GRADE.
- STRUCTURE LOCATION (STATION) AND PIPE LENGTHS ARE MEASURED FROM THE CENTER OF STRUCTURE.
- WHENEVER POSSIBLE, SEWER MAINS SHOULD BE LAID AT LEAST 10' HORIZONTAL FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCATION CONDITIONS PREVENT A LATERAL SEPARATION OF 10', A SEWER MAY BE LAID CLOSER THAN 10' TO A WATER MAIN IF:
  - IT IS LAID IN A SEPARATE TRENCH
  - IT IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH.
  - IN EITHER CASE, THE ELEVATION OF THE TOP OF THE SEWER IS AT LEAST 18" BELOW THE BOTTOM (INVERT) OF THE WATER MAIN.
- WHENEVER SEWERS MUST CROSS WATER MAINS OR UTILITIES, A MINIMUM OF 18" OF VERTICAL CLEARANCE MUST BE MAINTAINED. IF NOT ATTAINABLE, A 4" CONCRETE ENCASUREMENT MUST BE PROVIDED. DUCTILE IRON PIPE MUST BE USED AT CROSSINGS WITH CONCRETE ENCASUREMENTS. THIS PIPE MUST CONSISTENTLY BE DUCTILE IRON PIPE BETWEEN THE TWO MANHOLES OF THE AFFECTED AREA.
- THE MINIMUM DISTANCE BETWEEN THE PLACEMENT OF TREES TO LIGHT POLES AND UTILITY SERVICE LINES SHALL BE 10 FEET.
- ALL SANITARY AND STORM SEWERS WITH A SLOPE LESS THAN 1.0% ARE TO BE CONSTRUCTED USING A LASER BEAM DEVICE TO ASSURE PROPER LINE AND GRADE, UNLESS OTHERWISE DIRECTED.
- ALL EXISTING UTILITY LINES TO BE ABANDONED SHALL EITHER BE REMOVED OR FILLED WITH SAND/SMALL STONE AND ADEQUATELY CAPPED/PLUGGED.
- DEPTHS OF EXISTING UTILITIES IN PORTIONS OF THE SITE ARE UNKNOWN. WHERE EXISTING UTILITIES ARE TO REMAIN AND ARE FOUND TO HAVE INADEQUATE GROUND COVER AFTER FINAL PROPOSED GRADES HAVE BEEN ESTABLISHED, THE DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND PRIOR TO FURTHER CONSTRUCTION ACTIVITIES IN THE AREA OF SAID CONFLICT.
- ALL STORM SEWER SYSTEMS ARE TO BE OWNED AND MAINTAINED BY THE CHILDSMILES GROUP LLC. BASIN SHALL BE OWNED AND MAINTAINED BY THE CHILDSMILES GROUP LLC WITH PERMISSION TO THE CITY OF ALLENTOWN TO ENTER AND PERFORM EMERGENCY MAINTENANCE IF REQUIRED. SHOULD THE CITY OF ALLENTOWN BE REQUIRED TO ENTER THE SITE AND PERFORM EMERGENCY REPAIRS TO THE ON-SITE STORMWATER FACILITIES, THE CITY OF ALLENTOWN SHALL BE COMPENSATED FOR THE WORK.
- WATER SERVICE PROVIDED BY LEHIGH COUNTY AUTHORITY.

**GENERAL SITE NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS, SPECIFICATIONS, AND REFERENCED DOCUMENTS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF WORK. THE CONTRACTOR SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS AND DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITH THE DRAWINGS, SPECIFICATIONS AND REFERENCED DOCUMENTS IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES SHALL BE AT THE CONTRACTOR'S RISK.
- LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM COMPANY RECORDS AND/OR ABOVEGROUND INSPECTION AND MARK OUT OF THE SITE. THE LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO AMENDED BY ACT 121 OF 2008, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. PA LAW REQUIRES THESE WORKING DAYS NOTICE FOR CONSTRUCTION PHASE, CALL THE PA ONE CALL SYSTEM AT 1-800-242-1176. SERIAL NO. 20220742089 HAS BEEN PLACED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE PA ONE CALL SYSTEM BEFORE BEGINNING ANY EXCAVATION WORK.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- THIS PLAN SHALL NOT BE USED FOR BUILDING STAKEOUT PURPOSES. PROPOSED BUILDING LOCATION AS DEPICTED IS INTENTIONALLY TOLERANCES FOR SITE WORK ONLY. PLEASE REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR EXACT BUILDING PLACEMENT.
- THE BUILDING FOOTPRINTS DESIGNATED HEREON HAVE BEEN TRANSPORTED FROM ARCHITECTURAL PLANS. FINAL BUILDING DIMENSIONS MAY VARY BUT SHALL ULTIMATELY CONFORM TO ALL APPLICABLE ZONING SETBACKS, IMPERVIOUS SURFACE COVERAGE RATIOS, ETC. UNLESS OTHERWISE NOTED, FINAL BUILDING FOOTPRINTS WHICH SUBSTANTIALLY VARY FROM THE FOOTPRINTS HEREON SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO BEGINNING ANY CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH PENNDOT SPECIFICATION "PUBLICATION FORM 408", LATEST EDITION AND WITH THE CITY OF ALLENTOWN STANDARDS WHERE APPLICABLE. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY MUST COMPLY WITH THE CITY OF ALLENTOWN STANDARDS AND SPECIFICATIONS.
- THE PROPOSED BUILDING SHALL BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.
- ALL CITY OF ALLENTOWN PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS AND COMPLETE ALL WORK INDICATED OR IMPLIED ON THE PROJECT PLANS AND/OR SPECIFICATIONS THAT ARE NOT EXISTING ON THE PROJECT SITE AND THAT ARE NOT SPECIFICALLY NOTED AS "FUTURE" OR "NOT IN CONTRACT (N/C)" BY OTHER CONTRACTS, OR "BY OTHER CONTRACT" OR "BY OTHER CONTRACTOR".
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY ACTUAL SITE CONDITIONS THAT DIFFER FROM THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER EXISTING SITE FEATURES.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATION, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNUSABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LAWS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- THE CONTRACTOR IS TO EXERCISE CARE WHEN PERFORMING WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES AND FACILITIES THAT ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE PRECAUTIONS AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT TO REMAIN, AND PROVIDE A SAFE WORK AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO EXISTING ITEMS DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPS, CURB, SIDEWALK, ETC. AS A RESULT OF THEIR WORK, REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO PROVIDE DOCUMENTATION OF THE CONDITION OF EXISTING ITEMS TO THE OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS AND REFERENCE DOCUMENTS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR FOR ANY CONFLICTS OR REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF RECORD IN WRITING WHEN A CONFLICT IS IDENTIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF TRAFFIC AND JOB SAFETY.
- ALL UTILITIES DAMAGED OR DESTROYED SHALL BE BROUGHT TO THE ATTENTION OF THE SPECIFIC UTILITY. ALL COST REQUIRED TO FIX OR REPLACE THE UTILITY SHALL BE BORNE BY THE CONTRACTOR.
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR IN THE FIELD.
- THE CONTRACTOR SHALL MAINTAIN INGRESS AND EGRESS AT ALL TIMES TO THE JOB SITE.
- THE PLAN IS SUBJECT TO ANY AND ALL RIGHTS-OF-WAY, EASEMENTS AND COVENANTS OF RECORD.
- IN ALL CASES, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOT USE SCALED DIMENSIONS FOR CONSTRUCTION WITHOUT CONFIRMATION BY DESIGN ENGINEER. THE DESIGN ENGINEER WILL NOT BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- ANY EXCESS EXCAVATION AT THE END OF THE JOB SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER AT NO ADDITIONAL COST TO THE OWNER.

EXISTING		LEGEND		PROPOSED	
---	630'	---	CONTOURS	---	630'
---	---	---	PROPERTY LINES	---	---
⊙	---	⊙	PROPOSED CORNER	⊙	---
---	---	---	SETBACK LINES	---	---
---	---	---	INLETS	---	---
---	---	---	STORM PIPE	---	---
---	---	---	UTILITY POLE	---	---
---	---	---	ELECTRIC LINE	---	---
---	---	---	LIGHT	---	---
---	---	---	GAS LINE	---	---
---	---	---	CLEANOUT	---	---
---	---	---	WATER SERVICE	---	---
---	---	---	WATER VALVE	---	---
---	---	---	FIRE HYDRANT	---	---
---	---	---	CHARLINE FENCE	---	---
---	---	---	BUILDING	---	---
---	---	---	TRAIL LINE	---	---
---	---	---	SOIL LINE	---	---
---	---	---	BEIT BOOK	---	---
---	---	---	SLOPE PROTECTION	---	---
---	---	---	LIPT PROTECTION	---	---
---	---	---	LIMIT OF DISTURBANCE	---	---

- UTILITY CONTACT LIST**
- COMPANY: LEHIGH COUNTY AUTHORITY  
1053 SPRUCE ROAD  
PO BOX 2346  
ALLENTOWN, PA 18106
- CONTACT: JASON PETERS  
jpeters@lehighcountyauthority.org
- COMPANY: ALLENTOWN CITY OF  
447 S 10TH ST  
ALLENTOWN, PA 18103
- EMAIL: adam\_fisher@allentownpa.gov
- COMPANY: PPL ELECTRIC UTILITIES CORPORATION  
434 SUSQUEHANNA TRLE  
NORTHAMBERLAND, PA 17857
- CONTACT: DOUG HARPT  
doug.harpt@pplweb.com
- COMPANY: US2 UTILITIES INC  
2121 CITY LINE ROAD  
BETHLEHEM, PA 18017
- CONTACT: TIMOTHY STEWART  
tstewart@ugl.com

**PENNSYLVANIA ONE CALL SYSTEM, INC.**  
DIAL 8-1-1 BEFORE YOU DIG  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL 1-800-242-1176

PA1System Inc. SERIAL # 20220742089

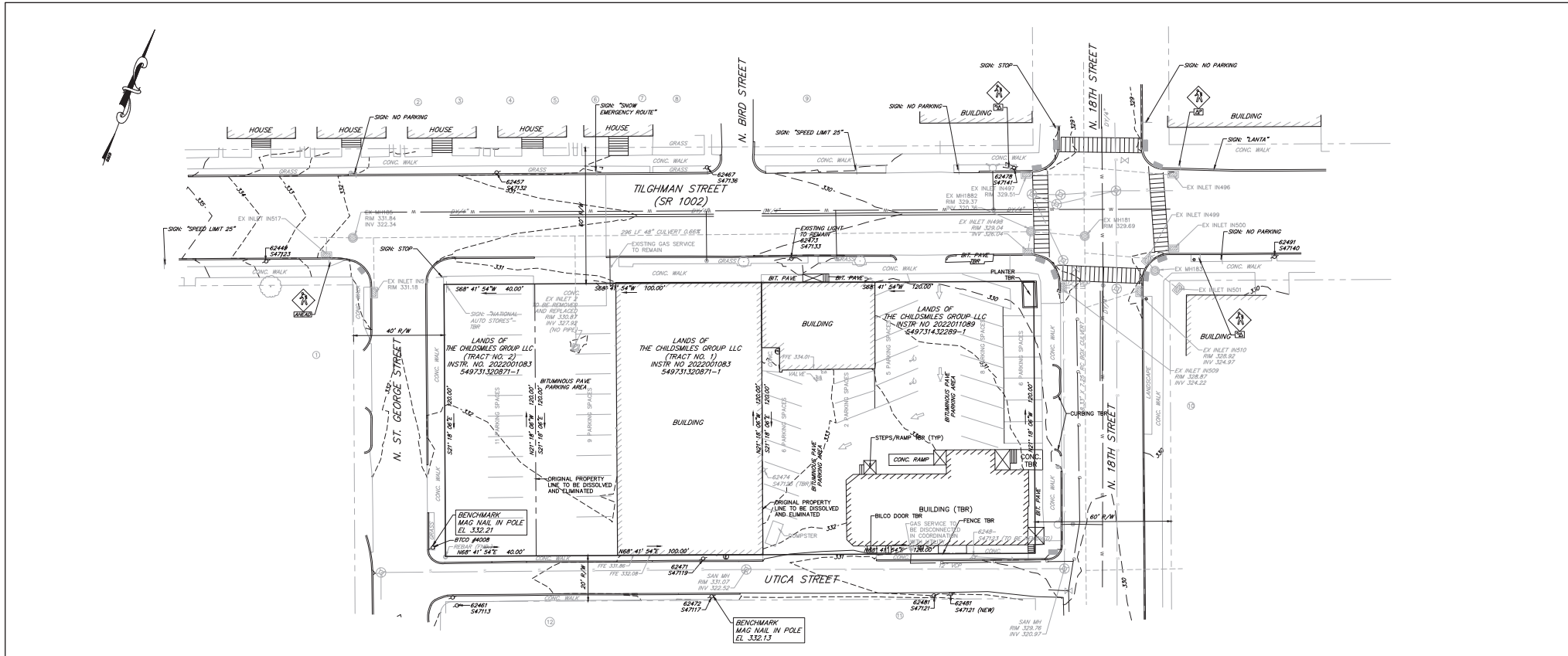
REV. NO.	DATE	REVISIONS	BY	ISSUING AGENCY:	OWNER:	PROJECT TITLE:	PREPARED BY:	SCALE:
					THE CHILDSMILES GROUP LLC 103 EISENHOWER PARKWAY, SUITE 102 ROSELAND, NJ 07068	CHILDSMILES DENTAL CITY OF ALLENTOWN, LEHIGH COUNTY PENNSYLVANIA	2880 LINDEN STREET, UNIT C2 BETHLEHEM, PA 18017 PHONE (484)403-1560 FAX (570)496-7201	10/21/22

**GENERAL NOTES & LEGEND**

DATE ISSUED: 10/21/22  
SCALE: AS SHOWN  
REVISIONS: LME  
DATE CHECKED: 6/13/22  
CHECKED BY: MB

**C0.2**





**GENERAL DEMOLITION AND EARTHWORK NOTES:**

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR OMISSIONS IDENTIFIED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF ACTIVITY.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS AND OTHER FEDERAL, STATE, AND LOCAL REGULATIONS, TO ENSURE THE PUBLIC AND CONTRACTOR SAFETY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
  - ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
  - ALL EXISTING UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
  - PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING DEMOLITION ACTIVITIES. THERE SHALL BE NO DISRUPTION TO EXISTING UTILITIES DURING CONSTRUCTION.
  - FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND RELOCATION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATE WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT OF THE AFFECTED PARTIES.
  - A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOIL, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
  - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES AND ANY OTHER IMPROVEMENTS TO REMAIN ON OR OFF SITE.

- IN ABSENCE OF SPECIFIC SPECIFICATION, THE CONTRACTOR SHALL PERFORM EARTHWORK ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S ENGINEER.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL", AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND ROADWAY RIGHT-OF-WAYS.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH FEDERAL, STATE, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIR SHALL RESTORE THE ITEM TO PRE-DEMOLITION CONDITION.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/PUNISHABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
- THE CONTRACTOR SHALL COORDINATE AND CONDUCT REMOVAL PROCEDURES WITH EACH RESPECTIVE UTILITY COMPANY FOR THE EXISTING UTILITIES SHOWN TO BE REMOVED.
- THE DEMOLITION PLAN IS NOT INTENDED TO SHOW EROSION CONTROL MEASURES. FOR SUCH GUIDELINES AND DETAILS, SEE THE EROSION AND SEDIMENT CONTROL PLAN AND DETAILS.

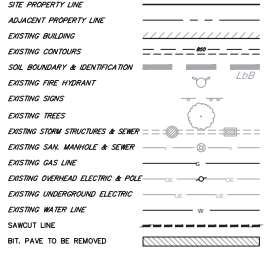
**SOIL DESCRIPTIONS:**

ENTIRE SITE:  
 U98 - URBAN LAND, 0 TO 8 PERCENT SLOPES

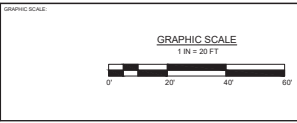
**RECEIVING WATERSHED AND CHAPTER 93 DESIGNATION**

WATERSHED: JORDAN CREEK WATERSHED  
 DESIGNATION: TROUT STOCKING - MIGRATORY FISH (TSF-MF)

**LEGEND**



REV. NO.	DATE	DESCRIPTION	BY



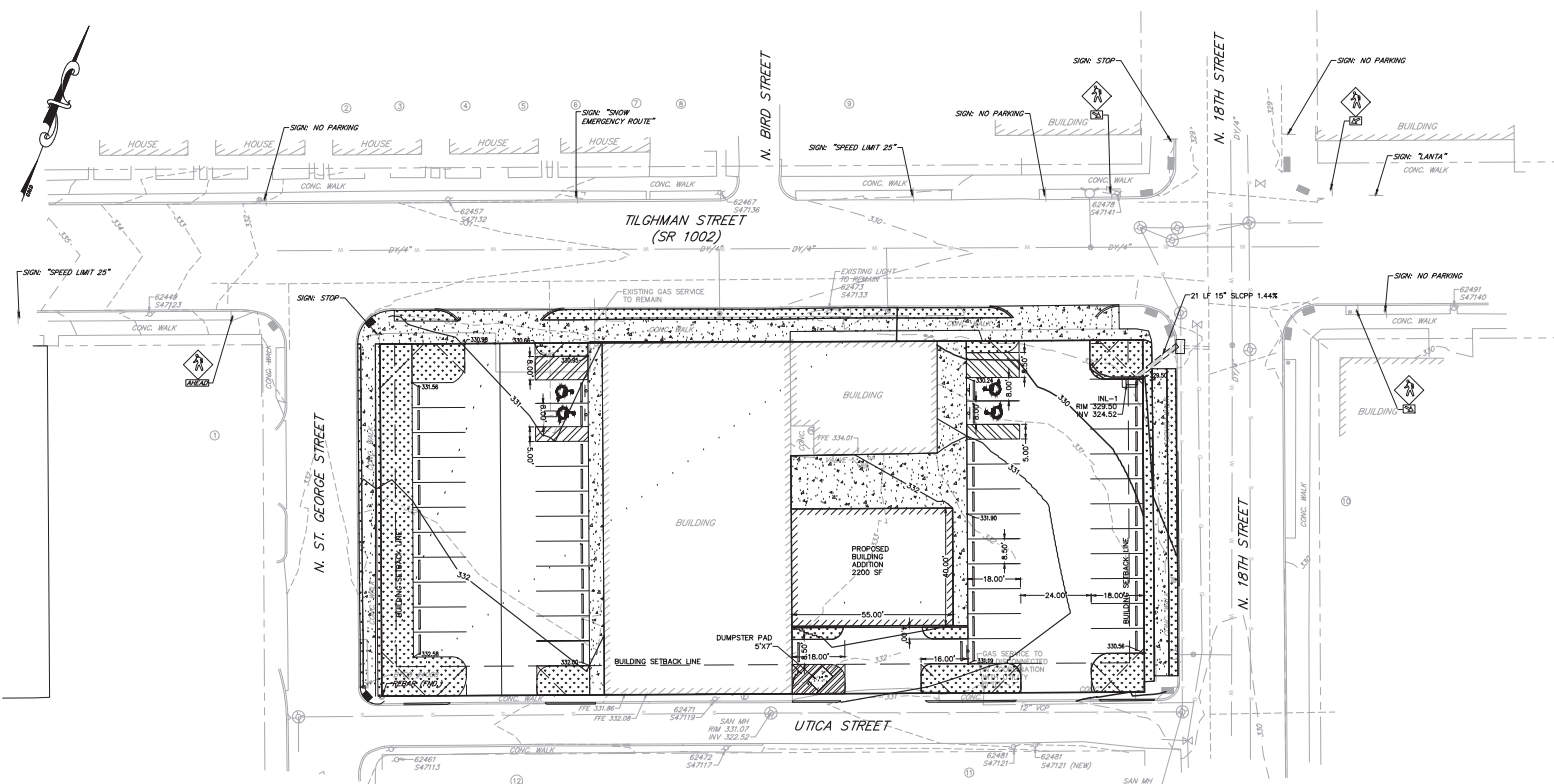
OWNER:  
**THE CHILDSMILES GROUP LLC**  
 103 EISENHOWER PARKWAY, SUITE 102  
 ROSELAND, NJ 07068

PROJECT TITLE:  
**CHILDSMILES DENTAL**  
 CITY OF ALLENTOWN, LEHIGH COUNTY  
 PENNSYLVANIA

PREPARED BY:  
**reuther+bowen**  
 Engineering, Design, Construction Services  
 2980 LINDEN STREET, UNIT C2 BETHLEHEM, PA 18017  
 PHONE (484)403-1560 FAX (570)496-7021

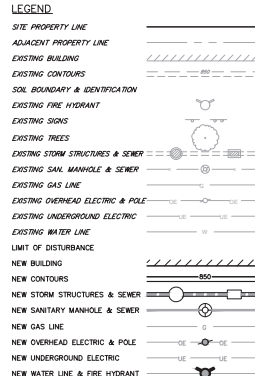
EXISTING CONDITIONS PLAN			
DATE ISSUED: 10/21/22	DRAWN BY: LME	ENG. NO.:	<b>C1.1</b>
SCALE: AS SHOWN	REVIEWED BY: LME		
PROJECT NO.:	CHECKED BY:		
6136.22	MB		





- GRADING NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ALLENTOWN AND PENNDOT PUBLICATION 408, LATEST EDITION.
  - STORM SEWER PIPES SHALL ENTER THE SIDES OF THE INLET BOXES AND SHALL NOT ENDOUR INTO BOX CORNERS. MODIFIED (EXPANDED) INLET BOXES SHALL BE USED WHERE NECESSARY.
  - THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHOULD NOT BE LESS THAN 1%.
  - PAVEMENT SHALL BE SAWED IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
  - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE/RECORD PLAN WILL SUPERSEDE IN ALL CASES. THE ENGINEER OF RECORD MUST BE IMMEDIATELY NOTIFIED IN WRITING OF ANY CONFLICTS.
  - THE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS (INCLUDING PAVERS, ETC.) FOR ALL OFFSITE HAUL AND/OR BORROW SITES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
  - EXISTING INLETS AND STORM SEWER FILLED WITH DEBRIS SHALL BE CLEANED AND FLOUSED. NEW INLETS AND PIPES SHALL BE CHECKED FOR SILT/DEBRIS AFTER CONSTRUCTION AND FLOUSED/CLEANED IF NECESSARY.
  - ALL STORMWATER DRAINAGE FACILITIES AND CONSTRUCTION PROCEDURES SHALL CONFORM TO THE PENNDOT STANDARDS AND MANUFACTURER SPECIFICATIONS WHEN APPLICABLE.
  - DEPTHS OF EXISTING UTILITIES IN PORTIONS OF THE SITE ARE UNKNOWN. WHERE EXISTING UTILITIES ARE TO REMAIN AND ARE FOUND TO HAVE INADEQUATE COVER AFTER FINAL PROPOSED GRADES HAVE BEEN ESTABLISHED, THE DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND PRIOR TO FURTHER CONSTRUCTION ACTIVITIES IN THE AREA OF SAID CONFLICT.
  - ALL DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 387. LOCATIONS OF EXISTING AND PROPOSED UTILITIES AND FACILITIES SHOWN ON THE DRAWINGS HAVE BEEN DEVELOPED FROM INFORMATION MADE AVAILABLE. COMPLETENESS AND ACCURACY OF LOCATION AND DEPTH OF UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR IS TO VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES AND FACILITIES BEFORE THE START OF WORK. UTILITY HAND EXCAVATION AS REQUIRED. WORK IS ALSO TO BE DONE IN ACCORDANCE WITH THE UTILITY COMPANIES WHOSE FACILITIES ARE THE PROXIMITY OF THE WORK. OTHER UTILITIES MAY BE REQUIREMENTS OF PENNSYLVANIA ACT 38 (1991). THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA GAS CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 DAYS PRIOR TO EXCAVATION.
  - CONTRACTORS SHALL HAVE ALL REQUIRED SUBMITTAL APPROVALS PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.
  - CONTRACTORS SHALL VERIFY ALL DIMENSIONS, INVERTS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. VARIATIONS BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY, PROCEDURES, MEANS AND METHODS, SEQUENCING, AND COORDINATION.
  - ALL WORK SHALL BE PERFORMED BY QUALIFIED, EXPERIENCED PERSONNEL.
  - CONTRACTOR SHALL NOTIFY THE OWNER OF PREEXISTING CONDITIONS OF DETERIORATION IN AREAS OF WORK THAT ARE UNCOVERED OR EXPOSED DURING THE WORK.
  - FIELD CHANGES REQUIRE PRIOR ENGINEERING REVIEW AND WRITTEN CONFIRMATION.
  - CONTRACTOR SHALL PROVIDE LAYOUT, LINE AND GRADE UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL PROVIDE TEMPORARY Dewatering OF EXCAVATIONS THROUGHOUT THE DURATION OF CONTRACT AT NO ADDITIONAL COST.
  - REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THEN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER CONTACT ON SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS SECTION.
  - CONTRACTOR TO PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING DUMP TRUCKS AND CONCRETE TRUCKS.
  - REFER TO THE SITE LAYOUT/RECORD PLAN FOR ADDITIONAL NOTES.

- PLACEMENT OF FILL NOTES:**
- BACKFILLING, TO THE SUBGRADE ELEVATION, SHALL BE DONE IN LAYERS OF SIX (6) TO EIGHT (8) INCHES AND EACH LAYER SHALL BE THOROUGHLY TAMPED BY AN APPROVED MECHANICAL TAMPER TO A MINIMUM DENSITY OF 95% AT OPTIMUM MOISTURE AS DETERMINED BY ASTM D-1557 OR AS NOTED. TAMPER WITH SUITABLE BACKFILL MATERIAL. BACKFILLING OR TAMPERING WITH TRENCHING MACHINES IS PROHIBITED.
  - THE FILL MATERIAL SHALL CONTAIN THE PROPER MOISTURE CONTENT TO OBTAIN THE REQUIRED COMPACTION. WETTING OR DRYING OF THE MATERIAL OR ANY OTHER MANIPULATION SHALL BE REQUIRED TO SECURE UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER. IF THE MATERIAL IS TOO WET TO PERMIT PROPER COMPACTION, ALL WORK ON PORTIONS THUS AFFECTED SHALL BE DELAYED UNTIL THE WET MATERIAL HAS EITHER DRIED TO THE MOISTURE CONTENT OR HAS BEEN REMOVED. A LAYER OF FILL SHALL NOT BE ADDED UNTIL THE PREVIOUS LAYER HAS ATTAINED THE REQUIRED PERCENT COMPACTION.
  - SUITABLE BACKFILL MATERIAL IS MATERIAL CONTAINING NO DEBRIS, ORGANIC MATTER, FROZEN MATERIAL OR LARGE ROCKS OR STONES WITH A DIAMETER OF GREATER THAN ONE-HALF THE THICKNESS OF THE COMPACTED LAYERS BEING PLACED. IN ADDITION, BACKFILL MATERIAL SHALL NOT CONTAIN VEGETATION, MASSES OF ROOTS, INDIVIDUAL ROOTS, CLUMBS, BRUSH, REFUSE, BOLLERS AND ANY OTHER MATERIAL WHICH IN THE OPINION OF THE ENGINEER, IS UNSUITABLE.



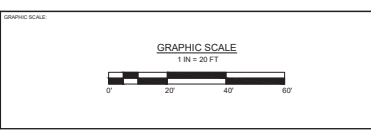
TOTAL DISTURBED AREA = 0.64 ACRES

RECEIVING WATERSHED AND CHAPTER 93 DESIGNATION

WATERSHED: JORDAN CREEK WATERSHED

DESIGNATION: TROUT STOCKING - WIKATORY FISH (75F-MF)

REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY



OWNER

**THE CHILDSMILES GROUP LLC**

103 EISENHOWER PARKWAY, SUITE 102  
ROSELAND, NJ 07068

PROJECT TITLE

**CHILDSMILES DENTAL**

CITY OF ALLENTOWN, LEHIGH COUNTY  
PENNSYLVANIA

PREPARED BY

**reuther+bowen**  
Engineering, Design, Construction Services

2980 LINDEN STREET, UNIT C2 BETHLEHEM, PA 18017  
PHONE (484)403-1560 FAX (570)498-7021

DATE ISSUED: 10/21/22

SCALE: AS SHOWN

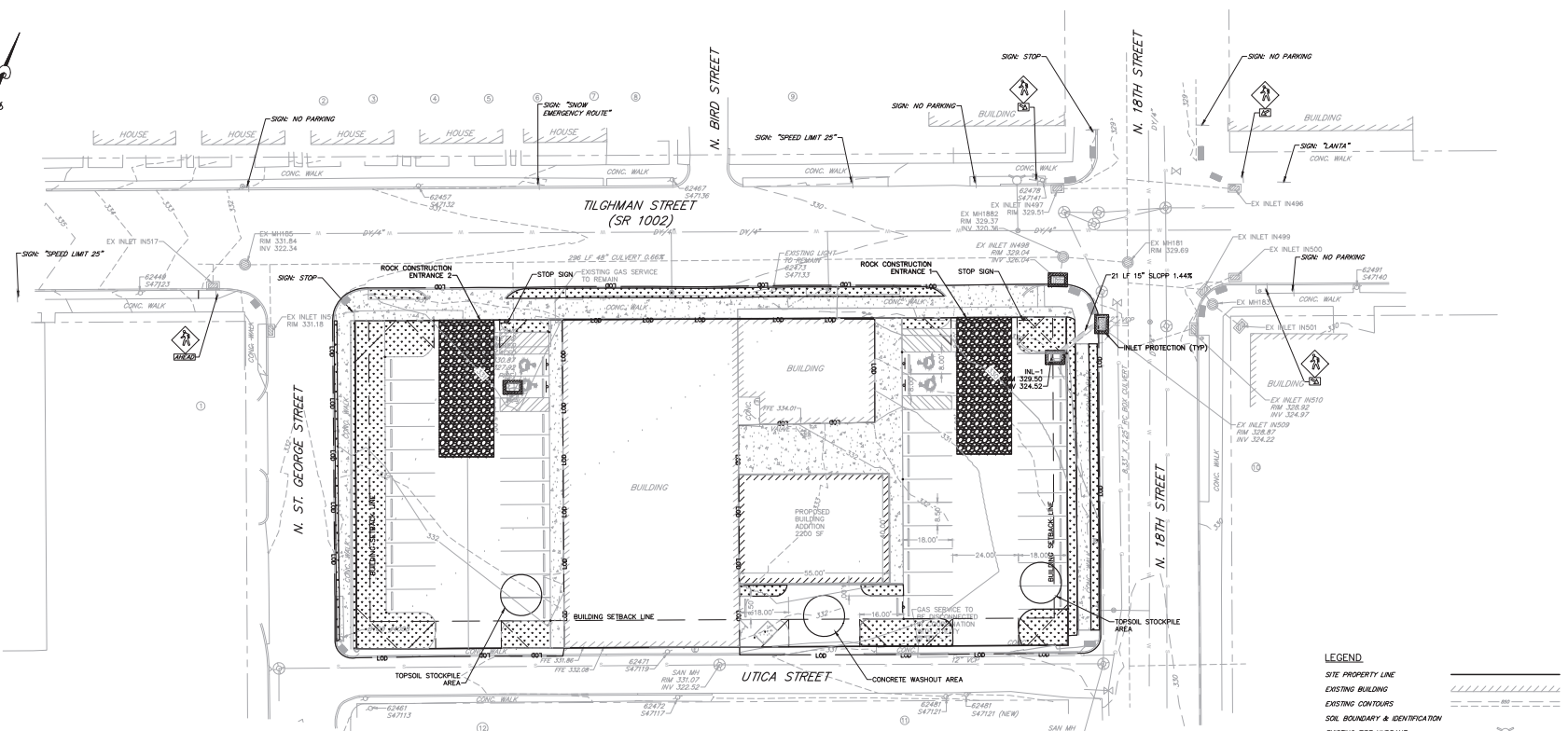
PROJECT NO: 6136.22

DESIGNED BY: LME

REVIEWED BY: LME

CHECKED BY: MB

**C3.1**



**GENERAL NOTES:**

- ANY DISTURBED AREA WHERE SOIL LIMITATIONS PROHIBIT ESTABLISHMENT OF VEGETATION (ROCKY SOILS OR AREAS WITH LITTLE VEGETATION PRIOR TO EARTH DISTURBANCE) SHALL BE REPLACED WITH 4" OF TOPSOIL OR OTHER SUITABLE MATERIAL TO PROMOTE VEGETATIVE GROWTH FOR STABILIZATION, AS DIRECTED BY THE ENGINEER. AREA REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
- THERE ARE NO WETLANDS WITHIN THE PROJECT SITE.
- THE AREA IS UNDERLAIN BY CARBONATE GEOLOGY AND MAY BE PRONE TO DINKHOLES. A DINKHOLE MITIGATION DETAIL IS PROVIDED ON THE EROSION AND SEDIMENT CONTROL PLANS.
- THE E & S PLAN MINIMIZES THE EXTENT AND DURATION OF EARTH DISTURBANCE FOR THIS PROJECT BY LIMITING CLEARING TO AREAS WHERE WORK WILL TAKE PLACE AND IMMEDIATELY STABILIZING DISTURBED AREAS AS CONSTRUCTION IS COMPLETED.
- THE CONTRACTOR SHALL CLEARLY MARK OUT THE LIMIT OF DISTURBANCE IN THE FIELD TO ENSURE ONLY THE MINIMUM AREA REQUIRED FOR CONSTRUCTION WILL BE CLEARED AND GRADED.
- THE CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED TO MINIMIZE EARTH DISTURBANCE.
- REFER TO SHEET D01 FOR GENERAL EROSION AND SEDIMENTATION CONTROL NOTES AND SEQUENCE OF CONSTRUCTION.

**SOIL DESCRIPTIONS:**

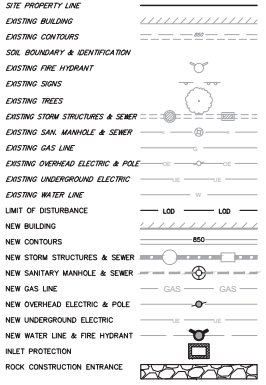
U08 - URBAN LAND, 0 TO 8 PERCENT SLOPES

**TOTAL DISTURBED AREA = 0.64 ACRES**

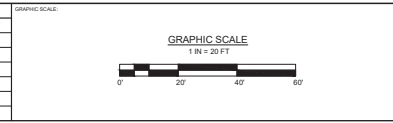
**RECEIVING WATERSHED AND CHAPTER 93 DESIGNATION**

WATERSHED: JORDAN CREEK WATERSHED  
DESIGNATION: TROUT STOCKING - MIGRATORY FISH (TSF-MF)

**LEGEND**



REV. NO.	DATE	DESCRIPTION	BY

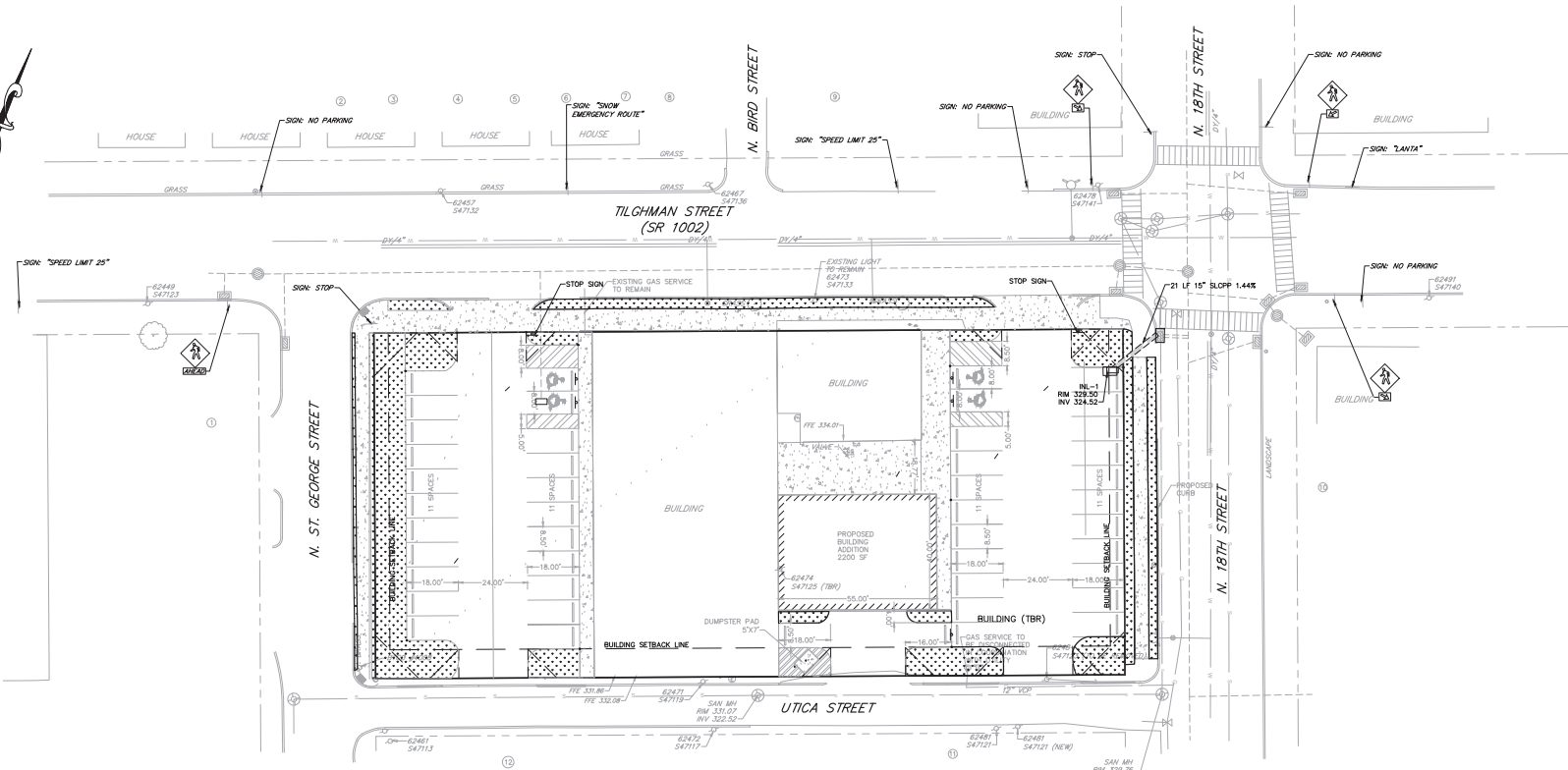


OWNER:  
**THE CHILDSMILES GROUP LLC**  
103 EISENHOWER PARKWAY, SUITE 102  
ROSELAND, NJ 07068

PROJECT TITLE:  
**CHILDSMILES DENTAL**  
CITY OF ALLENTOWN, LEHIGH COUNTY  
PENNSYLVANIA

PREPARED BY:  
**reuther+bowen**  
Engineering, Design, Construction Services  
2980 LINDEN STREET, UNIT C2 BETHLEHEM, PA 18017  
PHONE (484)403-1560 FAX (707)496-7021

E&S PLAN		DWG. NO. <b>C4.1</b>
DATE ISSUED 10/21/22	DRAWN BY LME	
SCALE AS SHOWN	REVIEWED BY LME	
PROJECT NO. 6136.22	CHECKED BY MB	



**WATER SERVICE NOTES:**

1. THE EXISTING WATER SERVICE TO THE BUILDING WILL REMAIN.
2. ANY WORK RELATING TO THE WATER SERVICE LINES SHALL BE PERFORMED IN ACCORDANCE WITH THE UTILITY COMPANY'S CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS FOR THE CONSTRUCTION OF WATER MAINS AND APPURTENANCES.
- 3.
4. THE CONTRACTOR SHALL PRESSURE TEST ALL WATER MAINS AND APPURTENANCES IN ACCORDANCE WITH AWWA STANDARDS (LATEST EDITION).
5. THE CONTRACTOR SHALL DISINFECT AND FLUSH ALL WATER MAINS AND APPURTENANCES IN ACCORDANCE WITH AWWA STANDARDS (LATEST EDITION).
6. ALL MATERIALS AND CONSTRUCTION PRACTICES FOR THE INSTALLATION OF WATER MAINS AND APPURTENANCES SHALL CONFORM TO THE MOST RECENT AWWA STANDARDS AND PAPER PUBLIC WATER SUPPLY STANDARDS.

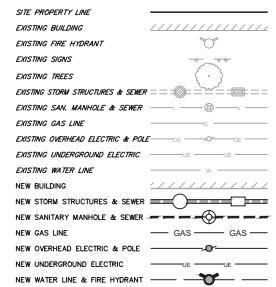
**SANITARY SEWER NOTES:**

1. THE EXISTING SANITARY SEWER SERVICE TO THE BUILDING SHALL REMAIN.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS OF CITY OF ALLENTOWN.
3. ALL MATERIALS AND TESTING SHALL BE IN ACCORDANCE WITH CITY OF ALLENTOWN REQUIREMENTS AND THE PA WASTEWATER FACILITIES MANUAL.

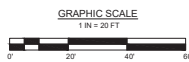
**FIRE PROTECTION NOTE:**

LOCATION OF THE NEAREST EXISTING OFF-SITE FIRE HYDRANT IS ON THE NORTHWEST CORNER OF UTICA STREET AND N. 18TH STREET INTERSECTION 130' SOUTHWEST OF SITE.  
 AN ADDITIONAL EXISTING OFF-SITE FIRE HYDRANT IS ON THE NORTHWEST CORNER OF TILGHMAN STREET AND N. 18TH STREET INTERSECTION 100' NORTHEAST OF SITE AND AN ADDITIONAL 40' ACROSS TILGHMAN STREET.

**LEGEND**



PENNSYLVANIA ONE CALL SYSTEM, INC.  
 DIAL 8-1-1 BEFORE YOU DIG  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS  
 NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING  
 DAYS IN DESIGN STAGE - STOP CALL 1-800-242-1776  
 PATSystem Inc. SERIAL # 20220743089

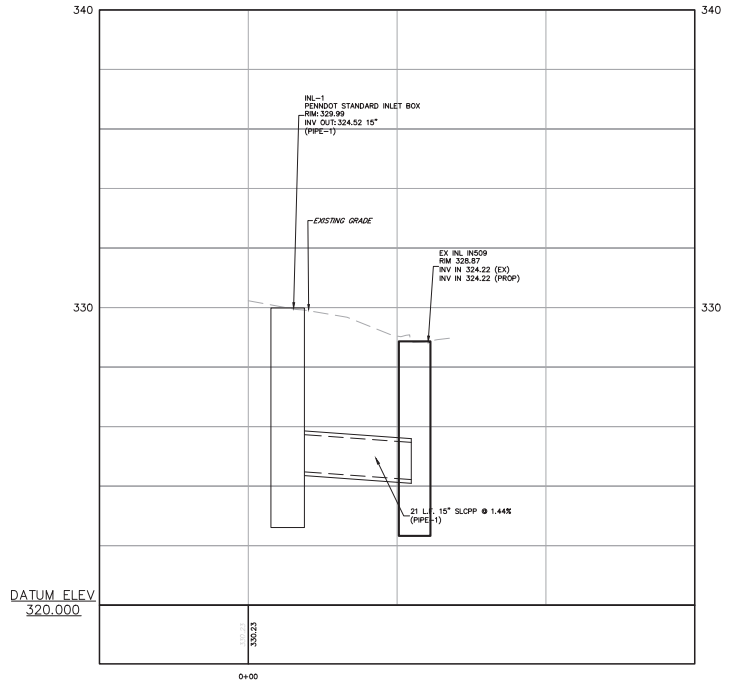


REV. NO.	DATE	DESCRIPTION	BY

OWNER	PROJECT TITLE
THE CHILDSMILES GROUP LLC 103 EISENHOWER PARKWAY, SUITE 102 ROSELAND, NJ 07068	CHILDSMILES DENTAL CITY OF ALLENTOWN, LEHIGH COUNTY PENNSYLVANIA

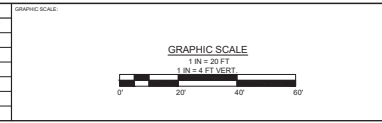
PREPARED BY	SCALE	TITLE
<b>reuther+brown</b> Engineering, Design, Construction Services 2980 LINDEN STREET, UNIT C2 BETHLEHEM, PA 18017 PHONE (484)403-1560 FAX (570)498-7021	AS SHOWN	UTILITY PLAN

DATE ISSUED	DRAWN BY	ENG. NO.
10/21/22	LME	C5.1
SCALE	REVIEWED BY	
AS SHOWN	LME	
PROJECT NO.	DRAWN BY	
6136.22	MB	



STORM PROFILE

REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY



OWNER  
**THE CHILDSMILES GROUP LLC**  
 103 EISENHOWER PARKWAY, SUITE 102  
 ROSELAND, NJ 07068

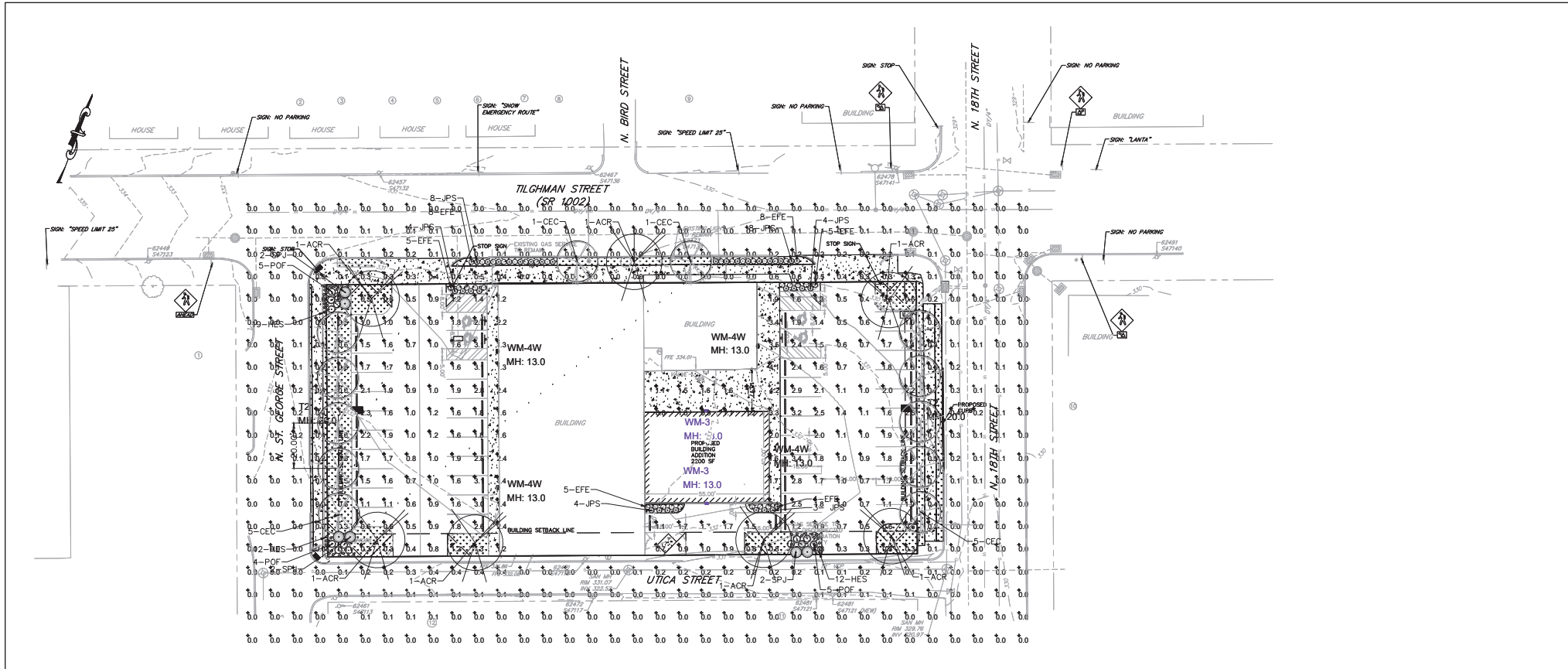
PROJECT TITLE  
**CHILDSMILES DENTAL**  
 CITY OF ALLENTOWN, LEHIGH COUNTY  
 PENNSYLVANIA

PREPARED BY  
**reuther+bowen**  
 Engineering, Design, Construction Services  
 2980 LINDEN STREET, UNIT C2 BETHLEHEM, PA 18017  
 PHONE (484)403-1560 FAX (570)498-7021

PROFILES		
DATE ISSUED	DRAWN BY	ENG. NO.
10/21/22	LME	C6.1
SCALE: AS SHOWN	REVIEWED BY: LME	
PROJECT NO. 6136.22	CHECKED BY: MB	



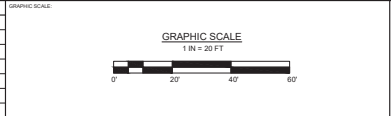




Luminaire Schedule									
Symbol	Qty	Label	Arrangement	MANUFACTURER/Description	LLF	Luminaire Lumens	Luminaire Watts	Arrangement Watts	Total Watts
	2	WM-3	Single	HUBBELL / RWL1-48L-20-4K7-3	0.850	2709	19.9	19.9	39.8
	5	WM-4W	Single	HUBBELL / RWL1-48L-45-4K7-4W	0.850	5704	46.5	46.5	232.5
	2	T2	Single	HUBBELL / RAR1-80L-50-4K7-T2	0.850	6264	49.7	49.7	99.4

SHEET 11 OF 15

REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY



OWNER  
**THE CHILDSMILES GROUP LLC**  
103 EISENHOWER PARKWAY, SUITE 102  
ROSELAND, NJ 07068

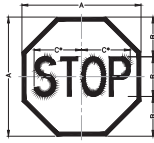
PROJECT TITLE  
**CHILDSMILES DENTAL**  
CITY OF ALLENTOWN, LEHIGH COUNTY  
PENNSYLVANIA

PREPARED BY  
**reuther+bowen**  
Engineering, Design, Construction Services  
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PHONE (484)403-1560 FAX (570)498-7021

TITLE LIGHTING PLAN			
DATE ISSUED	DRAWN BY	ENG. NO.	<b>C8.1</b>
10/21/22	LME		
SCALE: AS SHOWN	REVIEWED BY LME		
PROJECT NO. 6136.22	CHECKED BY MB		

**GENERAL NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS, SPECIFICATIONS, AND REFERENCED DOCUMENTS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTEGRATION OF CONTRACTORS RESPONSIBILITY TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION, FAILURE BY THE CONTRACTOR TO DO SO SHALL BE CONSIDERED A WAIVER OF THE CONTRACTOR'S SCOPE OF WORK AS DEFINED BY THE DRAWINGS, SPECIFICATIONS AND REFERENCED DOCUMENTS IN FULL COMPLIANCE AND CONFORMANCE WITH ALL APPLICABLE CODES.
- ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVEGROUND INSPECTION AND MARKING. THE CONTRACTOR SHALL VERIFY THE SIZE, DEPTH OR HORIZONTAL AND VERTICAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF THE PENNSYLVANIA LEGISLATIVE ACT NUMBER 287 OF 1974, AS AMENDED BY ACT 121 OF 2008, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. PA LAW REQUIRES THREE WORKING DAYS NOTICE FOR CONSTRUCTION PAVEMENT CALL THE PA ONE CALL SYSTEM AT 1-800-242-1776. SERIAL NO. 2015280316 WAS PLACED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE PA ONE CALL SYSTEM BEFORE BEGINNING ANY EXCAVATION WORK.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH PENNDOT SPECIFICATION PUBLICATION FORM 4007, LATEST EDITION.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNSATURABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LAWS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SHOWING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- THE CONTRACTOR IS TO EXERCISE CARE WHEN PERFORMING WORK ACTIVITIES ADJACENT TO PAVEMENT STRUCTURES AND FACILITIES THAT ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT TO REMAIN, AND PROVIDE A SAFE WORK AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO EXISTING ITEMS DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, SIDEWALK, ETC AS A RESULT OF THEIR WORK. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO PROVIDE DOCUMENTATION OF THE CONDITION OF EXISTING ITEMS TO THE OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD IN WRITING WHEN A CONFLICT IS IDENTIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF TRAFFIC AND JOB SAFETY.
- ALL UTILITIES DAMAGED OR DESTROYED SHALL BE BROUGHT TO THE ATTENTION OF THE SPECIFIC UTILITY. ALL COST INCURRED TO FIX OR REPLACE THE UTILITY SHALL BE BORNE BY THE CONTRACTOR.
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR IN THE FIELD.
- IN ALL CASES, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOT USE SCALED DIMENSIONS FOR CONSTRUCTION. WITHOUT CONFIRMATION BY CIVIL DESIGN PARTNERS, INC. CIVIL DESIGN PARTNERS, INC. MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- ANY EXCESS EXCAVATION AT THE END OF THE JOB SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER AT NO ADDITIONAL COST.

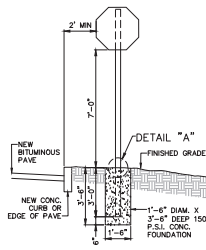


COLOR LEGEND AND BORDER BACKGROUND WHITE (REFLECTORIZED) RED (REFLECTORIZED)

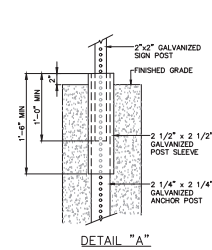
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30 x 30	30	10	12	C	I	BI-30
36 x 36	36	12	15	C	I	BI-36
48 x 48	48	16	20	C	I	BI-48

\* REDUCE SPACING BY 40%

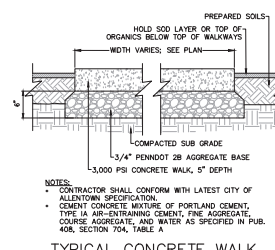
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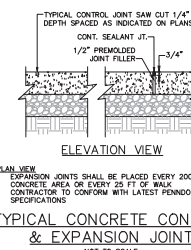
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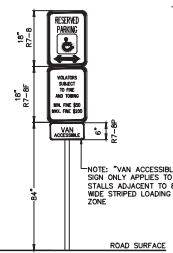
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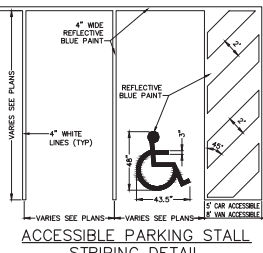
TYPICAL CONCRETE WALK NOT TO SCALE



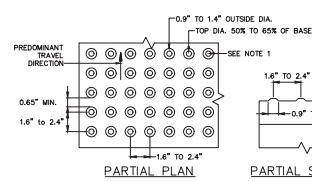
TYPICAL CONCRETE CONTROL & EXPANSION JOINT NOT TO SCALE



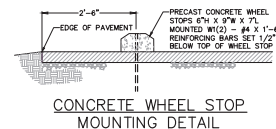
HANDICAP PARKING SIGN POST MOUNTING DETAIL NOT TO SCALE



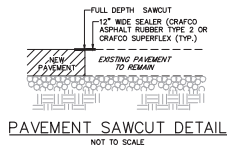
ACCESSIBLE PARKING STALL STRIPING DETAIL NOT TO SCALE



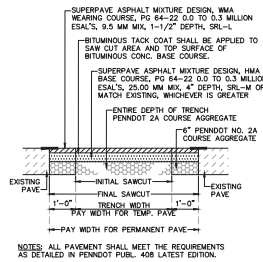
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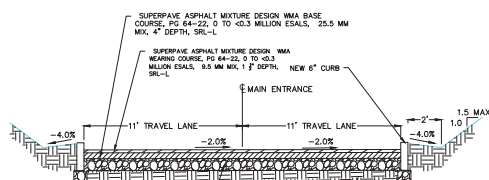
CONCRETE WHEEL STOP MOUNTING DETAIL NOT TO SCALE



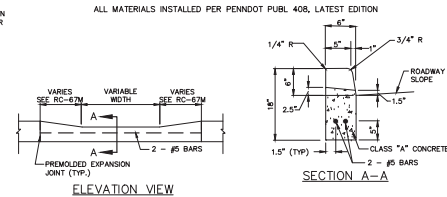
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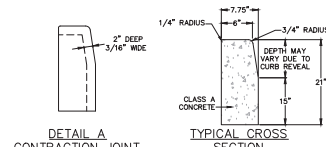
LIGHT DUTY PAVING SECTION NOT TO SCALE



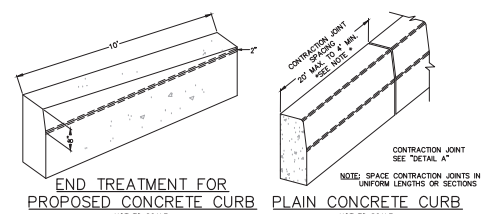
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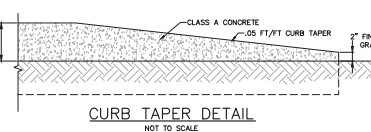
DEPRESSED CURB FOR DRIVES NOT TO SCALE



DETAIL A CONTRACTION JOINT



END TREATMENT FOR PROPOSED CONCRETE CURB NOT TO SCALE



CURB TAPER DETAIL NOT TO SCALE

REV. NO.	DATE	REVISIONS	BY

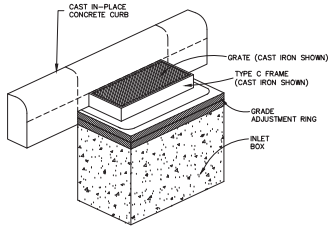
OWNER	PROJECT TITLE
THE CHILDSMILES GROUP LLC 103 EISENHOWER PARKWAY, SUITE 102 ROSELAND, NJ 07068	CHILDSMILES DENTAL CITY OF ALLENTOWN, LEHIGH COUNTY PENNSYLVANIA

PREPARED BY	SCALE	TITLE
reuther+bowen Engineering, Design, Construction Services	AS SHOWN	SITE DETAILS

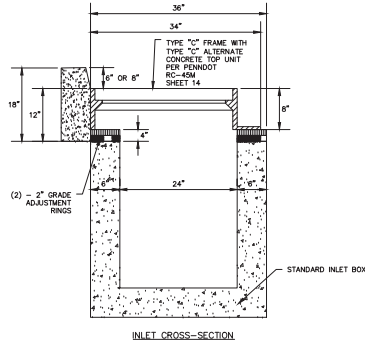
DATE ISSUED	DRAWN BY	DATE
10/21/22	LME	

SCALE	REVIEWED BY	DATE
AS SHOWN	LME	

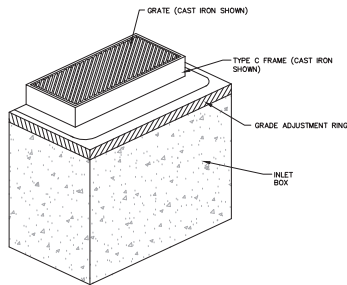
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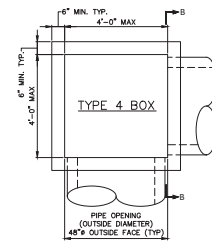
STANDARD TYPE C INLET ADJACENT TO CURB  
NOT TO SCALE



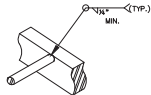
INLET CROSS-SECTION



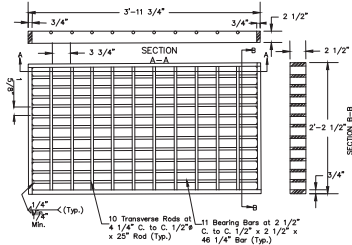
INLET BOX WITH TYPE C FRAME (RC-46)  
NOT TO SCALE



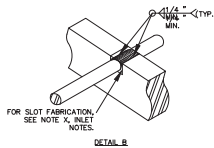
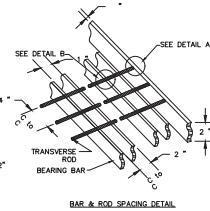
INLET BOX - TYPE 4  
(RC-46)  
NOT TO SCALE



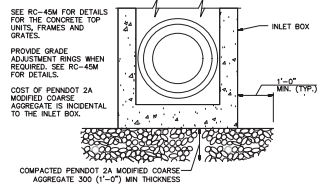
DETAIL A



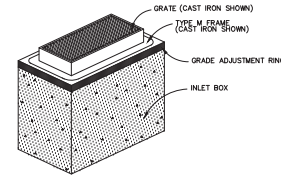
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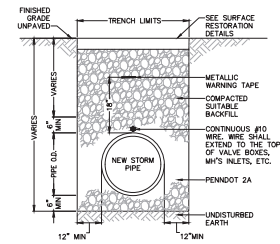
DETAIL B



INLET BOX SUBBASE PREPARATION DETAIL  
NOT TO SCALE



TYPE M INLET DETAIL (RC-46)  
NOT TO SCALE



STORM PIPE TRENCH BEDDING AND BACKFILL  
NOT TO SCALE

REVISIONS			GRAPHIC SCALE
REV. NO.	DATE	DESCRIPTION	BY

OWNER:  
**THE CHILDSMILES GROUP LLC**  
103 EISENHOWER PARKWAY, SUITE 102  
ROSELAND, NJ 07068

PROJECT TITLE:  
**CHILDSMILES DENTAL**  
CITY OF ALLENTOWN, LEHIGH COUNTY  
PENNSYLVANIA

PREPARED BY:  
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SITE DETAILS			
DATE ISSUED	DRAWN BY	DESIGN NO.	
10/21/22	LME		
SCALE: AS SHOWN	REVIEWED BY: LME		
PROJECT NO.: 6136.22	DRAWN BY: MB		

D1.2

**STANDARD E&S PLAN NOTES:**

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (E&S, STORMS, SITES AND DATED BY THE REVENING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVENING AGENCY WILL NOTICED BY ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVENING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL OF ITS DESIGN.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL NOTIFY THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCQM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCQM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT OR SEEDING OR SEEDING PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEANED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 30 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 28 PA. CODE 89.01 ET 271.1, AND 287D.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR OTHERWISE HANDLED AT THE SITE. EXAMPLES OF WASTE MATERIAL INCLUDE BUT IS NOT LIMITED TO:
  - CONCRETE SOIL MATERIAL
  - CONCRETE WASH WATER
  - PLASTIC ORANGE SAFETY FENCE
  - REBUILT PIECES OF FENCING
  - SCRAPS OF GEOTEXTILE
  - SPROCKETS
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL FORM 1P-100 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL RUMMING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE AS DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEVER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES).
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RESETTING MUST BE PERFORMED IMMEDIATELY IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRAP(S) SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOWN, OR PLACED ON ROADS, DRIVEWAYS, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARPED TO A MINIMUM DEPTH OF 3 TO 4 INCHES -- 6 TO 12 INCHES ON COMPACTED SOILS -- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTCROPS SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SURFACE SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EXPOSED FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS DISCOVERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADDED AREAS SHALL BE STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPACTED BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCEPTED EROSION, CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMPs SHALL REMAIN FUNCTIONAL, AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LOADED RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$1000 PER DAY IN CIVIL PENALTIES, UP TO \$100,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MIDDLE-ORANGE CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED AS DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- ALL CHANNELS SHALL BE FREE OF OBSTRUCTION AND NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 2H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- FILL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS.

**TOPSOIL APPLICATION:**

- PRIOR TO INITIATING PERMANENT STABILIZATION PROCEDURES, THE DISTURBED AREAS SHOULD BE PROPERLY PREPARED AND COVERED WITH TOPSOIL AS FOLLOWS:
- GRADED AREAS SHOULD BE SCARPED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF TOPSOIL TO THE SURFACE AREAS AND PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN THE SLOPE.
- TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES, AND A MINIMUM OF 2 INCHES OF FILL ON OUTSLOPES. SPREADING SHOULD BE DONE IN A MANNER THAT SEEDING OR SEEDING CAN PRODUCE A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PERMIT FORMATION OF DEPRESSIONS.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETERMINED TO PROPER GRADING AND SEEDING PREPARATION. COMPACTED SOIL SHOULD BE SCARPED TO 8 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.
- SUITABLE TOPSOIL CONSISTS OF ACCEPTABLE FRIABLE LOAM THAT IS REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, ROOTS, WEEDS, OTHER OBJECTIONABLE VEGETATION, STONES, OTHER FOREIGN MATERIAL LARGER THAN 2 INCHES IN ANY DIMENSION, LITTER, AND/OR OTHER MATERIAL UNSUITABLE OR HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE CONTAINED NOT LESS THAN 2.0% OR MORE THAN 10.0% ORGANIC MATTER. TOPSOIL SHALL MEET THE FOLLOWING GRADING ANALYSIS:
  - 2" SIEVE -- MINIMUM 100% PASSING
  - NO. 4 SIEVE -- MINIMUM 75% PASSING
  - NO. 10 SIEVE -- MINIMUM 60% PASSING

TEMPORARY SEEDING SPECIFICATIONS:	PERMANENT SEEDING SPECIFICATIONS:	PERMANENT STEEP SLOPE SEEDING SPECIFICATIONS:
SPECIFIED FORMULA	SPECIFIED TABLE	SPECIFIED TABLE
% PURE LIVE SEED BOX	% PURE LIVE SEED-SEE TABLE A	% PURE LIVE SEED-SEE TABLE A
APPLICATION RATE: SOUS/ACRES	APPLICATION RATE: SEE TABLE A	APPLICATION RATE: SEE TABLE A
LIMING RATE: 1 TON/ACRE	LIMING RATE: 1 TON/ACRE	LIMING RATE: 1 TON/ACRE
MULCHING RATE: 3 TONS/ACRE	MULCH STRAW	MULCH STRAW
10-10-10 FERTILIZER: SOUS/ACRE	MULCHING RATE: 3 TONS/ACRE	MULCHING RATE: 3 TONS/ACRE
	10-20-20 FERTILIZER: 1,000 LBS/ACRE	10-20-20 FERTILIZER: 1,000 LBS/ACRE
	SEEDING SEASON DATES: 8/15 TO 9/15	SEEDING SEASON DATES: 8/15 TO 9/15

Formula and Species	TABLE A				Seeding Rate lb/1000 Yd <sup>3</sup>
	# by Weight	Purity	Minimum %	Max. %	
<b>Formula B</b>					
* Perennial Ryegrass (Lolium perenne), A combination of improved certified varieties with no one variety exceeding 50% of the total Ryegrass component.	20	97	90	0.10	42.0 Total
* Orchardgrass (Dactylis glomerata)	30	97	85	0.10	12.5
* Annual Ryegrass (Lolium multiflorum)	50	97	80	0.15	21.0
<b>Formula C</b>					
* Orchardgrass (Dactylis glomerata)	60	98	90	0.10	12.0 Total
* Perennial Ryegrass (Lolium perenne)	40	98	90	0.10	8.0
<b>Formula D</b>					
* Tall Fescue (Festuca arvensis var. Kentucky 31)	50	98	85	0.10	50.0 Total
* Orchardgrass (Dactylis glomerata)	30	97	85	0.10	15.0
* Annual Ryegrass (Lolium multiflorum)	10	95	90	0.10	5.0
<b>Formula E</b>					
* Annual Ryegrass (Lolium multiflorum)	100	95	90	0.10	10.0 Total
<b>Formula F</b>					
* Perennial Ryegrass (Lolium perenne)	55	97	85	0.10	26.4
* Orchardgrass (Dactylis glomerata)	35	98	85	0.10	16.8
* Annual Ryegrass (Lolium multiflorum)	10	95	90	0.10	4.8
<b>Formula G</b>					
* Tall Fescue (Festuca arvensis var. Kentucky 31)	30	98	85	0.10	15.0 Total
* Orchardgrass (Dactylis glomerata)	10	92	80	0.10	4.5
* Virginia Blue Grass (Poa virginica)	10	92	80	0.10	1.5
* Topsoil (See Specifications)	14	95	80	0.20	2.1
* Topsoil (See Specifications)	17	95	80	0.20	1.8

NOTE: MULCH RATE FOR INTERIM AND FINAL SEEDING SHALL BE 3 TONS PER ACRE.

**SEQUENCE OF CONSTRUCTION:**

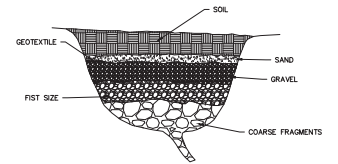
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE OF CONSTRUCTION ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. UPON THE COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED. AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL NOTIFY THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, AND THE EROSION AND SEDIMENT CONTROL PLAN PREPARER TO AN ON-SITE MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT (800) 242-1776.
- NOTES:**
- STORMWATER FACILITIES SHOULD BE INSTALLED STARTING AT THE OUTLET AREAS AND PROGRESS UPSTREAM, INSTALLING BMPs AND LUMPS AS WORK PROGRESSES.
  - REFER TO TRENCH EXCAVATION NOTES FOR ALL TRENCHING OPERATIONS.
  - A PAPERD WATER FILTER BAG SHALL BE UTILIZED TO DEWATER EXCAVATIONS AS NEEDED.
  - STOCKPILE ALL SUITABLE MATERIAL FOR REUSE WITHIN AN APPROVED STOCKPILE LOCATION AND HAUL ALL UNSUITABLE MATERIAL OFF-SITE TO AN APPROVED DISPOSAL LOCATION.

**SEQUENCE OF CONSTRUCTION:**

- AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL NOTIFY ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, AND THE EROSION AND SEDIMENT CONTROL PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES OR EXPANDING INTO AN AREA UNMARKED, PA ONE CALL SYSTEM SHALL BE NOTIFIED AT 1 800 242 1776.
- INSTALL INLET PROTECTION IN EX INLET #488 AND EX INLET #509.
- INSTALL ROCK CONSTRUCTION ENTRANCE 1.
- DEMOLISH EXISTING BUILDING TO BE REMOVED PER THE APPROVED PLANS, STABILIZE ALL DISTURBED AREA AT THE END OF EACH WORK DAY.
- CONCURRENT WITH STEP 5, INSTALL PIPE 1 AND INLET 1 PER APPROVED PLAN. COMPLETE INSTALLATION OF PIPE AND STABILIZATION OF ALL REMAINING DISTURBED AREA AT THE END OF EACH WORK DAY.
- INSTALL INLET PROTECTION IN INLET 1.
- CONSTRUCT EASTERN PARKING LOT AND SIDEWALKS PER APPROVED PLAN.
- CONCURRENT WITH STEP 8, CONSTRUCT BUILDING ADDITION.
- INSTALL ROCK CONSTRUCTION ENTRANCE 2.
- REPLACE EXISTING INLET 2 IN WESTERN PARKING LOT. CONTRACTOR TO VERIFY THAT EXISTING PIPE LEAVING INLET IS FREE OF SEDIMENT AND DEBRIS. INSTALL INLET PROTECTION IN INLET 2.
- CONSTRUCT WESTERN PARKING LOT AND SIDEWALKS PER APPROVED PLAN.
- CONSTRUCT PARKING LOT SOUTH OF BUILDING ADDITION.
- INSTALL ALL LANDSCAPING PER APPROVED PLAN.
- UPON FINAL STABILIZATION OF UP-SLOPE AREAS, REMOVE INLET PROTECTION. ALL DISTURBED AREAS SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCEPTED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

**SOIL DESCRIPTIONS:**

U08 - URBAN LAND, 0 TO 8 PERCENT SLOPES



- EQUIPMENT AND MATERIALS**  
THE EQUIPMENT AND MATERIALS LISTED SHOULD BE ON THE ORDER OR READILY AVAILABLE EQUIPMENT:
- A. MACHINE CAPABLE OF EXTENDING DEPTHS ON AN OBSTACLE OF 4 TO 16 FT
  - B. BELOW GRADE
  - C. REAR END HAND TOOLS
  - D. COMPACTOR EQUIPMENT (JUMPING JACK, WALK BEHIND VIBRATORY, ETC.)
  - E. 12 TO 2 IN. DIAMETER HOSE
- MATERIALS**
- A. NON-WOVEN GEOTEXTILE FABRIC
  - B. MINIMUM OF VARIOUS GRADATION/SIZE
  - C. WATER
  - D. "TANK-WALK" WAGROUS

**GENERALIZED SINKHOLE REPAIR**  
NOT TO SCALE

REVISIONS				DATE	DESCRIPTION	BY	DRAWING SCALE	OWNER	PROJECT TITLE	PREPARED BY	SCALE	TITLE
REV. NO.	DATE	DESCRIPTION	BY									

**THE CHILDSMILES GROUP LLC**  
103 EISENHOWER PARKWAY, SUITE 102  
ROSELAND, NJ 07068

**CHILDSMILES DENTAL**  
CITY OF ALLENTOWN, LEHIGH COUNTY  
PENNSYLVANIA

**reuther+bowen**  
Engineering, Design, Construction Services

2980 LINDEN STREET, UNIT C2 BETHLEHEM, PA 18017  
PHONE (484)403-1560 FAX (570)496-7021

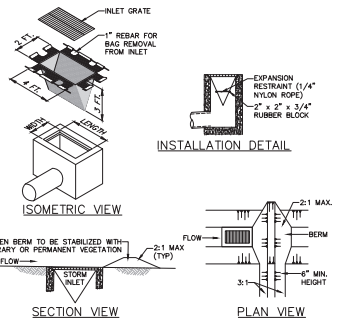
**E&S NOTES**

DATE ISSUED: 10/21/22 DRAWN BY: LME ENG. NO.:

SCALE: AS SHOWN REVIEWED BY: LME

PROJECT NO: 6136.22 CHECKED BY: MB

D2.1



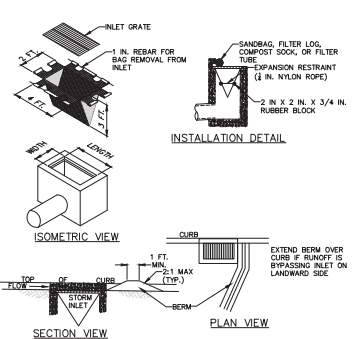
**NOTES:**  
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.  
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
 ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSAL OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-16  
 FILTER BAG INLET PROTECTION - TYPE M INLET**  
 NOT TO SCALE

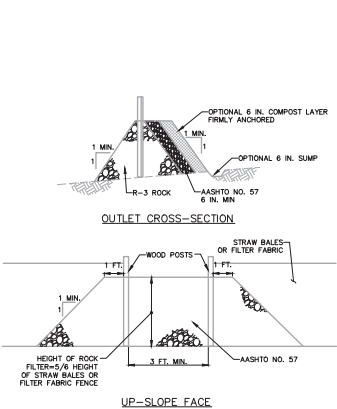


**NOTES:**  
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.  
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
 ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.  
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSAL OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

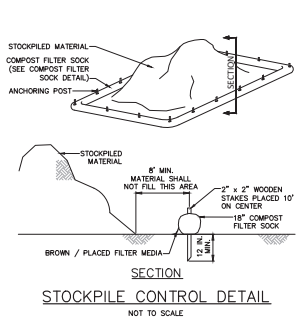
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-15  
 FILTER BAG INLET PROTECTION - TYPE C INLET**  
 NOT TO SCALE

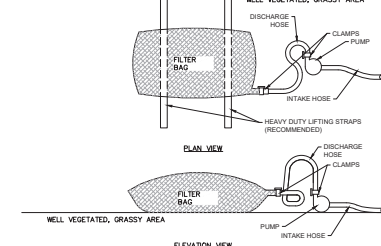


**NOTES:**  
 A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HD AND LV WATERSHEDS.  
 SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

**STANDARD CONSTRUCTION DETAIL #4-6  
 ROCK FILTER OUTLET**  
 NOT TO SCALE



**STOCKPILE CONTROL DETAIL**  
 NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #3-16  
 PUMPED WATER FILTER BAG**  
 NOT TO SCALE

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WEB WIDTH	ASTM D-4884	40 LB. LB.
GRAB TENSILE	ASTM D-4833	200 LB.
POURABLE	ASTM D-4833	110 LB.
MULLER BURST	ASTM D-3736	50 PSI
UV RESISTANCE	ASTM D-4338	70%
ADH. TO BR. FABRIC	ASTM D-4391	80 SEIVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

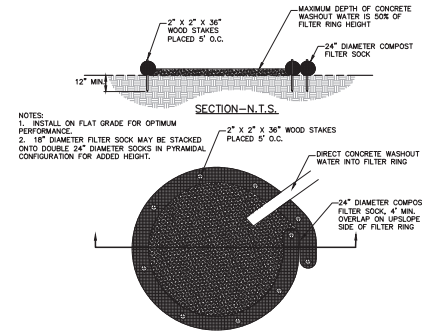
BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYER AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 4% FOR SLOPES EXCEEDING 25' CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SOIL STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HD OR LV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED WITH PAPER SIDE DOWN.



**COMPOST FILTER SOCK WASHOUT**  
 NOT TO SCALE

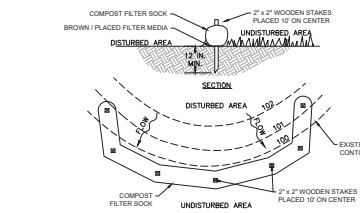
A SUITABLE IMPROVED GEOTEXTILE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.  
 MAINTENANCE:  
 ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.  
 ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.  
 PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

**TABLE 4.1**  
 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTIFILAMENT POLYPROPYLENE (BPP)	HEAVY DUTY MULTIFILAMENT POLYPROPYLENE (HDPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12", 16", 24"	12", 16", 24"	12", 16", 24"	12", 16", 24"	12", 16", 24"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HRS	23% AT 1000 HRS	100% AT 1000 HRS	100% AT 1000 HRS	100% AT 1000 HRS
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

**TABLE 4.2**  
 COMPOST STANDARDS

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
PH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% 40% PASS THROUGH #20 SCREEN
SOLUBLE SALT CONCENTRATION	≤ 0.05% (maximum)

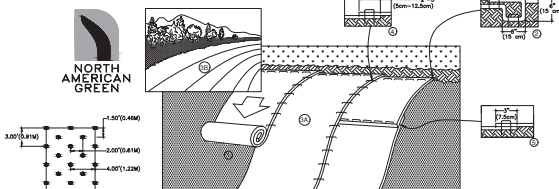


**STANDARD CONSTRUCTION DETAIL #4-1  
 COMPOST FILTER SOCK**  
 NOT TO SCALE

**NOTES:**  
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.  
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 4% (DROPS) TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.  
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.  
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.  
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTO-DEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL CUT OPEN AND THE MESH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1  
 COMPOST FILTER SOCK**  
 NOT TO SCALE



**STAPLE PATTERN C**  
 1.7 STAPLES PER SQ. M.  
 (2.0 STAPLES PER SQ. M.)

**STAPLE PATTERN D**  
 3.4 STAPLES PER SQ. M.  
 (4.1 STAPLES PER SQ. M.)

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.  
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. INITIAL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEEDS AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.  
 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE PATTERN.  
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-3" (5cm-12.5cm) OVERLAP. STAPLING ON BLANKET TYPE, TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) DOWN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET TYPE.  
 5. CONSECUTIVE BLANKETS SPACED DOWN THE SLOPE MUST BE PLACED ONE OVER ONE (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.  
 NOTE:  
 \*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.  
 14668 HIGHWAY 41 NORTH, DANVILLE, NC 27025  
 USA 1-800-272-2945  
 www.sogreah.com

**JUTE NETTING SLOPE INSTALLATION DETAIL**  
 NOT TO SCALE

REV. NO.	DATE	DESCRIPTION	BY

OWNER	PROJECT TITLE
THE CHILDSMILES GROUP LLC 103 EISENHOWER PARKWAY, SUITE 102 ROSELAND, NJ 07068	CHILD SMILES DENTAL CITY OF ALLENTOWN, LEHIGH COUNTY PENNSYLVANIA

PREPARED BY	SCALE	TITLE
reuther+bowen Engineering, Design, Construction Services 2980 LINDEEN STREET, UNIT C2 BETHLEHEM, PA 18017 PHONE (484)403-1560 FAX (570)946-7021	AS SHOWN	E&S NOTES & DETAILS

DATE ISSUED	DRAWN BY	ENG. NO.
10/21/22	LME	
SCALE: AS SHOWN	REVIEWED BY: LME	D2.2
PROJECT NO: 6136.22	CHECKED BY: MB	

DATE ISSUED	DRAWN BY	ENG. NO.
10/21/22	LME	
SCALE: AS SHOWN	REVIEWED BY: LME	D2.2
PROJECT NO: 6136.22	CHECKED BY: MB	

9/12/2022  
REV1  
REV2

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**CHILD SMILES DENTAL - PHASE 2**

TENANT FIT-OUT OF EXISTING BUILDING FOR  
ORTHODONTIC/DENTAL PRACTICE.  
1814 Tighman St., Allentown, PA 18104



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ELEVATIONS

A3.1

