



**TRANSMITTAL LETTER
 FOR SEWAGE FACILITIES PLANNING MODULE**

DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency)
 Northeast Region
 2 Public Square
 Wilkes-Barre, PA 18701-1915

Date _____

Dear Sir/Madam:

Attached please find a completed sewage facilities planning module prepared by _____
 _____ for Popeyes Restaurant _____
 _____ (Title) _____ (Name)

a subdivision, commercial ,or industrial facility located in City of Allentown

Lehigh _____ County.

 (City, Borough, Township)

Check one

(i) The planning module, as prepared and submitted by the applicant, is approved by the municipality as a proposed revision supplement for new land development to its Official Sewage Facilities Plan (Official Plan), and is adopted for submission to DEP transmitted to the delegated LA for approval in accordance with the requirements of 25 Pa. Code Chapter 71 and the *Pennsylvania Sewage Facilities Act* (35 P.S. §750),

OR

(ii) The planning module will not be approved by the municipality as a proposed revision or supplement for new land development to its Official Plan because the project described therein is unacceptable for the reason(s) checked below:

Check Boxes

- Additional studies are being performed by or on behalf of this municipality which may have an effect on the planning module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- The planning module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, 25 Pa. Code Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- Other (attach additional sheet giving specifics).

Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the approving agency.

- | | | |
|--|---|--|
| <input type="checkbox"/> Resolution of Adoption | <input type="checkbox"/> 3 Sewage Collection/Treatment Facilities | <input type="checkbox"/> 4A Municipal Planning Agency Review |
| <input type="checkbox"/> Module Completeness Checklist | <input type="checkbox"/> 3s Small Flow Treatment Facilities | <input type="checkbox"/> 4B County Planning Agency Review |
| <input type="checkbox"/> 2 Individual and Community Onlot Disposal of Sewage | | <input type="checkbox"/> 4C County or Joint Health Department Review |

Municipal Secretary (print)

Signature

Date



DEP Code No.
2-39001265-3

RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE (SUPERVISORS) (COMMISSIONERS) (COUNCILMEN) of _____
(TOWNSHIP) (BOROUGH) (CITY), _____ COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS _____ has proposed the development of a parcel of land identified as
land developer
_____, and described in the attached Sewage Facilities Planning Module, and
name of subdivision
proposes that such subdivision be served by: (check all that apply), sewer tap-ins, sewer extension, new treatment facility, individual onlot systems, community onlot systems, spray irrigation, retaining tanks, other, (please specify). _____

WHEREAS, _____ finds that the subdivision described in the attached
municipality
Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the (Supervisors) (Commissioners) (Councilmen) of the (Township) (Borough) (City) of _____ hereby adopt and submit to DEP for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, _____
(Signature)

Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # _____, adopted, _____, 20_____.

Municipal Address:

Seal of
Governing Body

Telephone _____

October 12, 2021
Via Transmittal

City of Allentown
Planning & Zoning Department
435 Hamilton Street
Allentown, PA 18101

Attention: Ms. Irene Woodward, AICP, Director of Planning & Zoning

RE: Proposed Restaurant
1935 South 4th Street
City of Allentown
Lehigh County, PA
PY212059

Dear Mr. Hunsicker:

On behalf of Allentown Fourth, LLC, Bohler Engineering PA, LLC is hereby submitting the following items for completion:

- One (1) copy of the LCA Chapter 94 Consistency Determination Letter, dated 9/16/2021.
- One (1) copy of the Sewage Facilities Planning Module Component 3 Form.
- One (1) copy of the LCA Flow Map, dated 9/16/2021.
- One (1) copy of the DEP Checklist & Letter, dated 9/9/2021.
- One (1) copy of the Project Narrative, dated 08/17/2021.
- One (1) copy of the PNDI Receipt, dated 08/13/2021.
- One (1) copy of the USGS Map.
- One (1) copy of the Site Photographs.
- One (1) copy of the Popeyes Sewer Flow Data.
- One (1) copy of the PP&L Electric Will Serve Letter, dated 8/20/2021.
- One (1) copy of the UGI Gas Will Serve Letter, dated 9/9/2021.
- One (1) copy of the LCA Water Will Serve Letter, dated 8/31/2021.
- One (1) copy of the LCA Sewer Will Serve Letter, dated 8/31/2021.
- One (1) copy of the PHMC Approval Letter, dated 8/17/2021.
- One (1) copy of the Alternative Analysis.
- One (1) copy of the Component 4A form.
- One (1) copy of the Lehigh Valley Planning Commission Act 537 Letter, dated 10/7/2021.
- One (1) copy of the Executed Component 4B form, dated 10/7/2021.
- One (1) copy of the Lehigh Valley Planning Commission Land Development Review Letter, dated 08/5/2021.
- One (1) copy of the DEP Transmittal Letter.
- One (1) copy of the DEP Resolution Letter.
- One (1) copy of the Existing Conditions/Demolition Plan, Site Plan, Grading Plan, Utility Plan, and Details sheets, dated 7/13/2021, Revision 1 dated 9/1/2021, Sheets C-201, C-301, C-401, C-501, C-902 & C-903.

Allentown Fourth, LLC is proposing to redevelop the property by demolishing the existing Checkers restaurant with drive thru and construct a 2,145 sq. ft. Popeyes Restaurant with drive thru within the building pad area. The site will also contain related site amenities and improvements inclusive of lighting, landscaping, and utilities.

During your completion, should you have any questions or require any additional information, please do not hesitate to contact me at this office.

Sincerely,



BOHLER ENGINEERING PA, LLC

Adam Citrullo
Adam Citrullo

Cc:

R:\21\PY212059\Permitting\Utilities\Sewer Planning\Correspondence\PY212059_2021-10-12_L (COA).doc



1053 SPRUCE ROAD * P.O. BOX 3348 * ALLENTOWN, PA 18106-0348
 610-398-2503 * FAX 610-398-8413 * www.lehighcountyauthority.org
 email: service@lehighcountyauthority.org

September 16, 2021

Irene Woodward
 Director of Planning
 City of Allentown
 435 Hamilton Street
 Allentown, PA 18101

RE: Popeyes Restaurant – 1935 S 4th Street, City of Allentown
 Sewer Module - Chapter 94 Consistency Determination – Appendix A

Dear Mrs. Woodward:

This letter and approval for the attached Sewage Facilities Planning Module is based on the current estimate of available wastewater capacity. This letter does not promise, guarantee or assure any future conveyance or treatment allocation without compliance with all applicable rules and regulations, payment of all necessary fees and availability of the respective allocation at that time.

In accordance with the Interim Act 537 Plan submitted by the Kline’s Island Sewer System (KISS) municipalities to the Pa. Department of Environmental Protection and approved on June 25, 2021, an amount equal to the property or development’s wastewater flow will be allocated from the Connection Management Plan at the time of approval of the Sewage Facilities Planning Module. This property or development’s wastewater flow need, as represented in the attached Sewage Planning Module, is 1,200 gallons per day. Therefore, the Connection Management Plan balance will be adjusted as follows:

2020 Connection Management Plan Allocation (all numbers in gallons per day)	1,500,000
2021-2025 Connection Management Plan Allocation	3,117,129
Previously allocated from prior planning module submissions (since 1/17/20)	-1,611,562
This submission	-1,200
Remaining Allocation in KISS Connection Management Plan (as of 9/16/2021)	3,004,367

Please contact me if you have any questions about this information.

Sincerely,


 Liesel M. Gross
 Chief Executive Officer

cc: Scott Novatnak, DEP
 Robert Corby, DEP
 Craig Messinger, COA
 Phil DePoe, LCA
 Matthew Chartand, Bohler Engineering



Code No.
2-39001265-3

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Popeyes Restaurant with drive-thru

2. Brief Project Description Allentown Fourth, LLC is proposing to demolish the existing vacant Checkers Restaurant and construct a 2,145 SF. Popeyes Restaurant with drive-thru. The site will include related amenities and improvements inclusive of parking, access driveways, lighting, landscaping, utilities, and stormwater management facilities.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Allentown	Lehigh	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Woodward	Irene			
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1		Mailing Address Line 2		
435 Hamilton Street				
Address Last Line -- City		State	ZIP+4	
Allentown		PA	18101+1603	
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
610-437-7611 x2866		irene.woodward@allentownpa.gov		

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

Popeyes Restaurant with drive-thru

Site Location Line 1 1935 South 4 th Street		Site Location Line 2		
Site Location Last Line -- City Allentown	State PA	ZIP+4 18103-4905	Latitude 40.579018	Longitude -75.454776

Detailed Written Directions to Site Directions from I-78 East, take exit 59 towards SR 145. Make a left onto W Rock Road towards SR 145. Make a left to head North onto SR 145. Site is located 1.2 miles on the East side of SR 145, just past the W Emaus Ave intersection.

Description of Site Existing vacant Checkers Restaurant with drive-thru

Site Contact (Developer/Owner)

Last Name Reed	First Name Erika	MI	Suffix	Phone 609-430-3055	Ext.
Site Contact Title Director of Project Development	Site Contact Firm (if none, leave blank) The Dreher Group				
FAX	Email erika.reed@thedrehergroup.com				
Mailing Address Line 1 4 Caufield Place	Mailing Address Line 2 Suite 120				
Mailing Address Last Line -- City Newtown	State PA	ZIP+4 18940+9410			

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name Chartrand	First Name Matthew	MI M	Suffix
Title Associate	Consulting Firm Name Bohler Engineering PA, LLC		
Mailing Address Line 1 74 West Broad Street	Mailing Address Line 2 Suite 500		
Address Last Line -- City Bethlehem	State PA	ZIP+4 18018+5738	Country USA
Email mchartrand@bohlereng.com	Area Code + Phone 610-709-9971	Ext.	Area Code + FAX 610-709-9976

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: Lehigh County Authority

F. PROJECT NARRATIVE (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.
The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
- Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number N/A

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 5.04

Connections 1

Name of:

existing collection or conveyance system City of Allentown

owner City of Allentown, LCA - Lessee

existing interceptor Jordan Creek Interceptor

owner City of Allentown, LCA - Lessee

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility Kline's Island WWTP (City of Allentown)

NPDES Permit Number for existing facility PA0026000

Clean Streams Law Permit Number N/A

Location of discharge point for a new facility. Latitude _____ Longitude _____

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the Kline's Island WWTP (Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality City of Allentown, LCA - Agent

Name of Responsible Agent Liesel M. Gross

Agent Signature Liesel M. Gross Date 9/16/2021

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice

(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 1200 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd) MGD		b. Present Flows (gpd) MGD		c. Projected Flows in 5 years (gpd) MGD (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	0.30	1.20	0.10	0.95	0.10	0.96
Conveyance	58	81	30	78 ⁽¹⁾	31	80 ⁽¹⁾
Treatment	40	40	32.3	40	33.4	42

(1) Peak Hourly Flow - Estimated

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. YES NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality City of Allentown, LCA - Agent
 Name of Responsible Agent Liesel M. Gross
 Agent Signature Liesel M. Gross Date 9/16/2011

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality City of Allentown, LCA - Agent

Name of Responsible Agent Liesel M. Gross

Agent Signature *Liesel M. Gross*

Date 9/16/2021

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality City of Allentown, LCA - Agent

Name of Responsible Agent Liesel M. Gross

Agent Signature *Liesel M. Gross*

Date 9/16/2021

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions)

- The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)

- The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 1200 gpd

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

- 6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

- 1. Does the project propose the construction of a sewage treatment facility ?
- 2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
- 3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
- 4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
- 5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
- 6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
- 7. Does the project involve a major change in established growth projections?
- 8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

- 9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
 - the public notice,
 - all comments received as a result of the notice,
 - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Matthew Chartrand

Name (Print)



Signature

Associate

Title

09/28/2021

Date

74 W. Broad Street, Suite 500, Bethlehem, PA 18018

Address

610-709-9971

Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$_____ payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\# \text{ _____ Lots (or EDUs) X } \$50.00 = \$ \text{ _____}$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.

2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \text{ _____ Lots (or EDUs) X } \$35.00 = \$ \text{ _____}$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

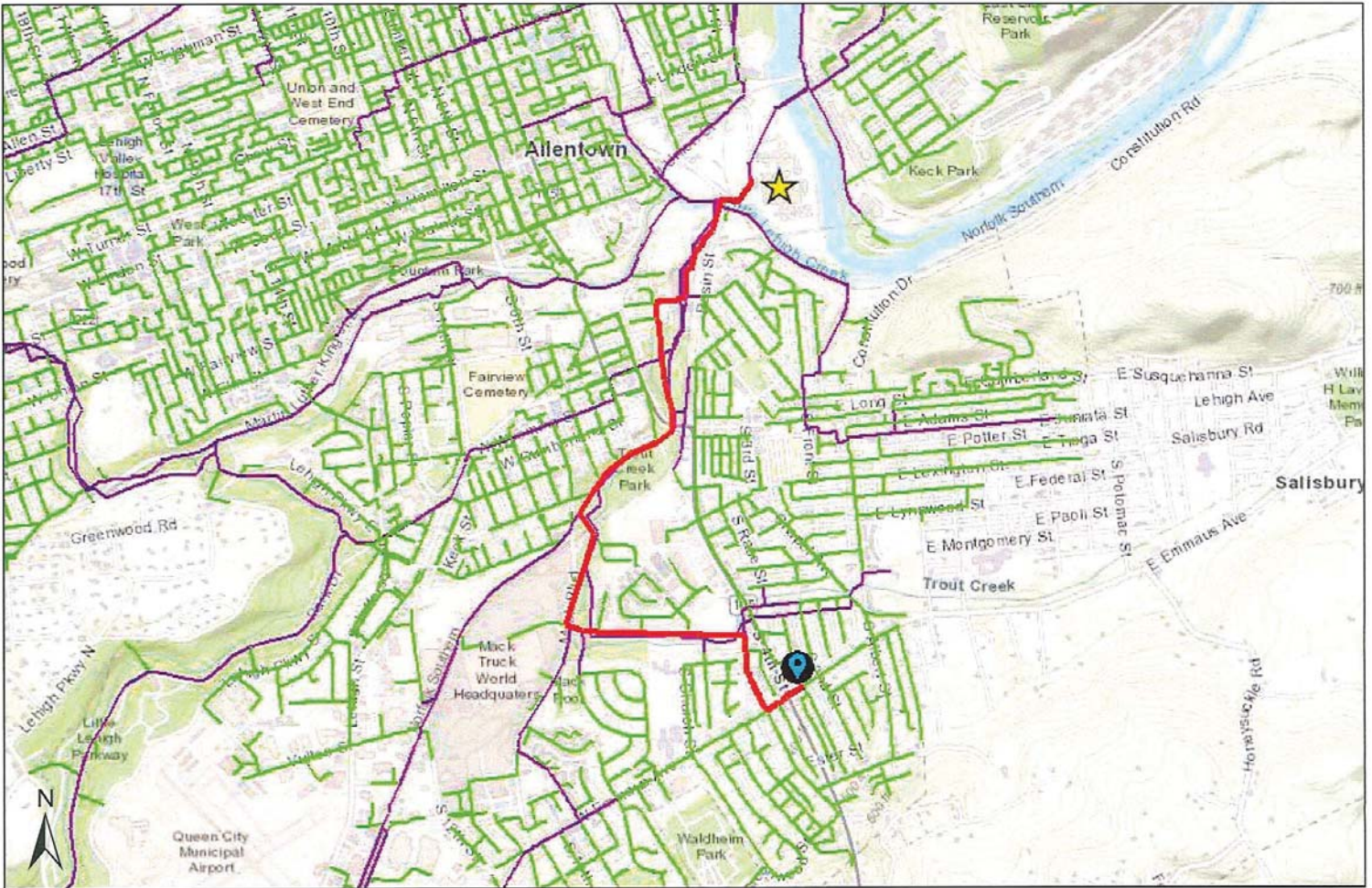
The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

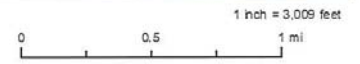
LCA FLOW MAP - 1935 S 4th St



9/16/2021, 11:02:12 AM

Legend

- ★ Kline's Island WWTP
- Sanitary Mains
- Collector Sanitary Main
- Interceptor Sanitary Main



Date 9/9/2021

Name BOHLER
Address 74 W. BROAD ST., SUITE 500
BETHLEHEM, PA 18018

RE: Planning Module for New Land Development
Subdivision POPEYES RESTAURANT
COMMERCIAL 1200 GPD
CITY OF ALLENTOWN, LEHIGH County
DEP Code No: 2 - 39001265 - 3

Dear:

In response to your postcard application, enclosed are the applicable planning modules required for the proposed development. Please submit the completed planning module and supporting information to the municipality(ies) in which the project is located. The Department must receive 3 copies. Please answer all questions. Do Not answer "N/A" or "Not Applicable". If you find a question does not apply, explain all reasons to support that answer.

A copy of the letter MUST be attached to the planning module when resubmitted through the municipality to the Department. This letter is to be used as a completion checklist and guide to completing the planning modules and does not supersede the rules and regulations found in Chapter 71. The municipality must submit the complete module package to the Department, (see end of letter for certification statement).

Effective December 15, 1995 Act 149 required the Department to assess planning module review fees. This fee is based on the type of development and total equivalent dwelling units proposed. The applicant will be billed upon Department approval or denial of the project.

If you are applying for a planning module exemption for this project, the exemption was not granted for the following reason(s):

<u>Materials required</u>	<u>Municipal Checklist</u>		<u>DEP Completeness Review</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Department cover/Checklist letter	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Transmittal letter, completed and signed by the Municipal Secretary.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Resolution of Adoption completed and signed by the Municipal Secretary and containing the municipal seal.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Component 2-Follow attached guidance.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Component 3-Follow attached guidance.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Component 3s-Follow attached guidance.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Component 4a-Municipal Planning Agency Review	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Component 4b-County Planning Agency Review	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Potential Impact(s) has occurred based on your search of the PA Natural Diversity Inventory. These issues must be resolved with each agency before the Department's review of Planning Modules can occur.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Sewage management program as per 25 Pa. Code Subsection 71.72	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Hydrogeologic Study - Analysis of interbasin transfer of water between a Special Protection watershed into a Non-Special Protection watershed.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Delaware River Basin Commission Notice of Applications Received (NAR) for projects with sewage flows exceeding 10,000 GPD.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Preliminary hydrogeology	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Permeability testing, to be determined at site testing	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Detailed hydrogeologic study	<input type="checkbox"/>

Socio-economic justification

If the project is located in a Special Protection Watershed, please submit an Antidegradation Analysis meeting the Requirement of Chapter 93.4(b), 93.4(a) and 93.4c(b)(2)

In all cases, address the immediate and long range sewage disposal needs of the proposal and comply with 25 Pa. Code, Chapter 71, Subchapter C relating to New Land Development Plan Revisions.

Please note that the Department will return the planning module package if an incomplete revision is submitted.

Sincerely,



Robert T. Corby, Jr.
Sewage Planning Specialist
Clean Water Program

CERTIFICATION STATEMENT

I certify that this submittal is complete and includes all requested items. Failure to submit a complete module package will result in return of package.

Municipal Address _____

Municipal Telephone Number _____

Signed: _____, Municipal Secretary

List below any individuals and address that should be copied if the planning module is returned to the municipality (if address is not provided, no copy will be sent):


August 17, 2021

Proposed Popeyes Restaurant
1935 South 4th Street
City of Allentown
Lehigh County, PA
PY212059

PROJECT NARRATIVE

Allentown Fourth, LLC is proposing to redevelop Parcel APN 6406611080887-0001, Unit 2 as shown on the Tax Maps of Lehigh County, Pennsylvania. The subject site is a 2.53-acre lot, and the subject site has frontage along South 4th Street (SR 145), Cooper Street, S 3rd Street, and W Emaus Ave. The redevelopment consists of demolishing the existing vacant Checkers restaurant with drive thru and construct a 2,145 sq. ft. Popeyes Restaurant with drive thru within the building pad area. The site will also include related site amenities and improvements inclusive of parking, access driveways, lighting, landscaping, utilities, and stormwater management facilities.

BOHLER ENGINEERING PA, LLC


Adam Citrullo

R:\21\PY212059\Administrative\Correspondence\PY212059_2021-08-17_L (Project Narrative).doc

1. PROJECT INFORMATION

Project Name: **Proposed Popeyes**

Date of Review: **8/13/2021 01:15:52 PM**

Project Category: **Development, New commercial/industrial development (store, gas station, factory)**

Project Area: **1.39 acres**

County(s): **Lehigh**

Township/Municipality(s): **ALLENTOWN**

ZIP Code:

Quadrangle Name(s): **ALLENTOWN EAST**

Watersheds HUC 8: **Lehigh**

Watersheds HUC 12: **Little Lehigh Creek-Lehigh River**

Decimal Degrees: **40.579058, -75.454489**

Degrees Minutes Seconds: **40° 34' 44.6073" N, 75° 27' 16.1587" W**

2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

Proposed Popeyes

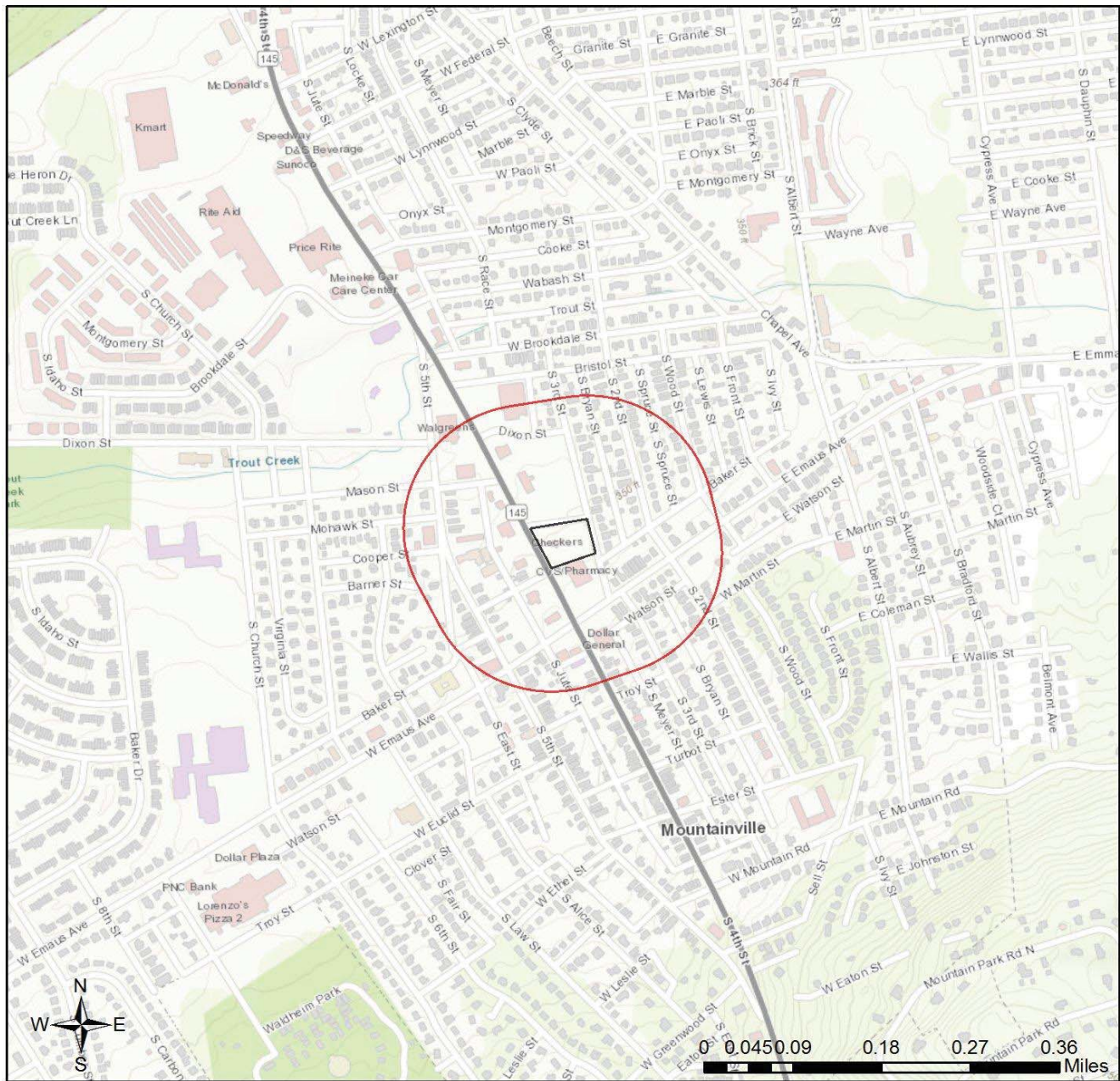


- Project Boundary
- Buffered Project Boundary



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China

Proposed Popeyes



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, Garmin, Intemap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



RESPONSE TO QUESTION(S) ASKED

Q1: The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

Your answer is: No forests, woodlots or trees will be affected by the project.

Q2: Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.



5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
Email: IR1_ESPenn@fws.gov
NO Faxes Please

PA Game Commission

Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

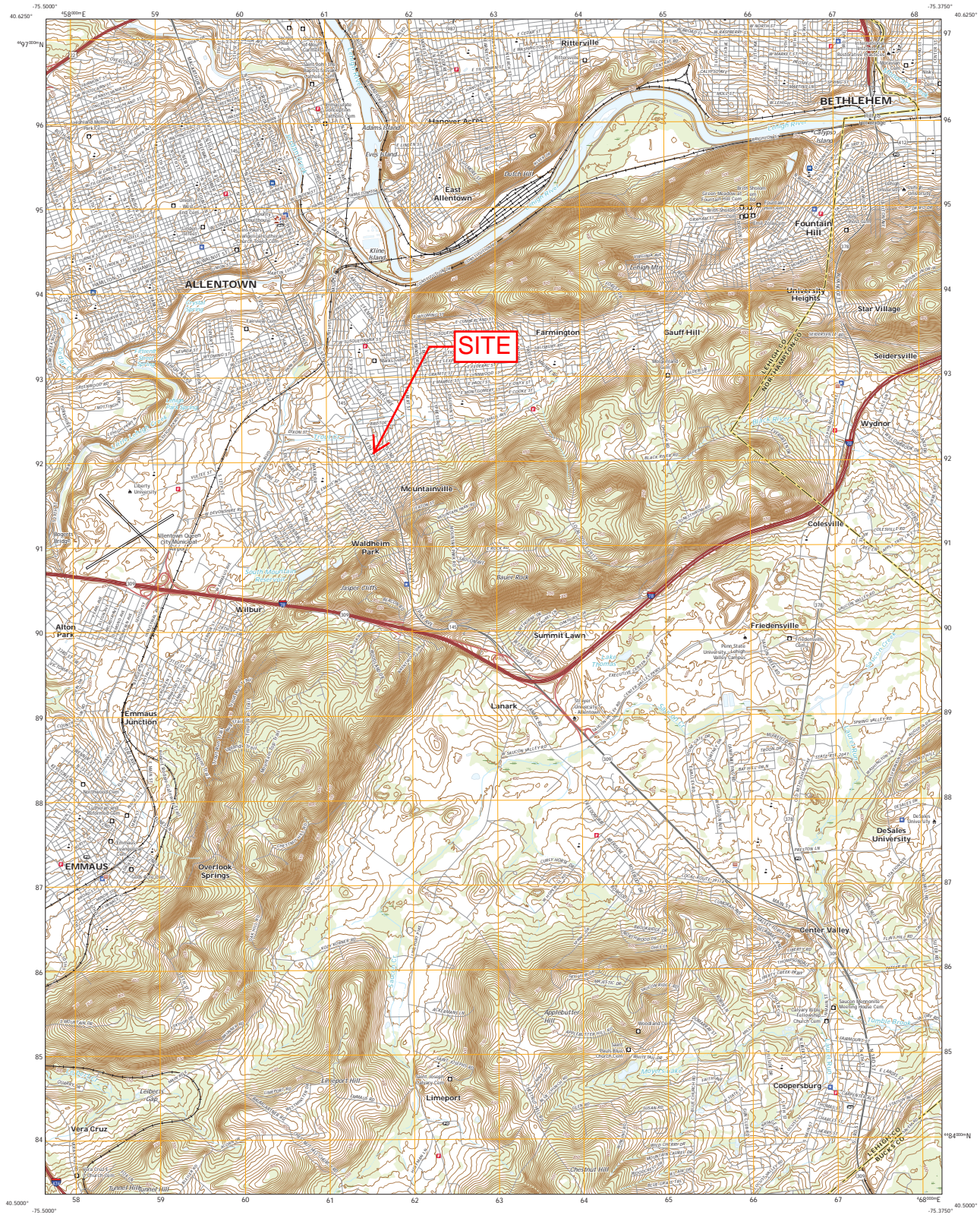
Name: Mike Jeitner
Company/Business Name: Bohler Engineering PA, LLC
Address: 74 West Broad Street, Suite 500
City, State, Zip: Bethlehem, Pennsylvania, 18018
Phone: (610) 709-9971 Fax: ()
Email: mjeitner@bohlereng.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

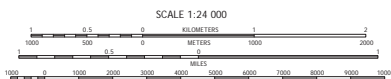
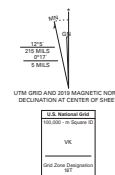
Michael E. Jeitner
applicant/project proponent signature

08/13/2021
date



Produced by the United States Geological Survey
North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84). Projection and
1 000-meter grid Universal Transverse Mercator, Zone 18T
This map is not a legal document. Boundaries may be
generalized for this map scale. Private lands within government
reservations may not be shown. Obtain permission before
entering private lands.

Imagery: NIPAP, June 2017 - December 2017
Roads: U.S. Census, Bureau, 2016
Names: National Hydrography Dataset, 2011 - 2018
Contours: National Elevation Dataset, 2011 - 2017
Boundaries: Multiple sources; see metadata file 2017 - 2018
Wetlands: FWS National Wetlands Inventory 1981

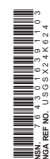


1	2	3
4	5	6
7	8	9

ALLENTOWN QUADRANGLES

1 Coalmont
2 Catasqueque
3 Beauregard
4 Allentown West
5 Bethlehem
6 East Coalmont
7 Mount Airy
8 Quakertown

CONTOUR INTERVAL 10 FEET
NORTH AMERICAN DATUM OF 1983
This map was produced in conformance with the
National Geospatial Program US Topo Product Standard, 2011.
A metadata file associated with this product is draft version 0.6.18











READING CHICKEN LLC
 68 CULVER ROAD - SUITE 150
 MONMOUTH JUNCTION, NJ 08852

Service At: 3225 5TH ST HWY - PLAZA 222

[Pay My Bill](#)

Total Due: \$1,097.51

[Billing Chart](#)

[Consumption Chart](#)

Due Date	Bill Date	Service	Chg Type	Previous Reading	Current Reading	Usage	Charge
07/30/2021	06/30/2021	Sewer Comm.	Billing	1688	1779	91	858.44
	06/30/2021	Water Comm.	Billing	1688	1779	91	231.56
							Total Charges → \$1,090.00
06/30/2021	07/02/2021	Sewer Comm. (Penalty)	Penalty				0.52
	07/02/2021	Water Comm. (Penalty)	Penalty				0.16
	05/31/2021	Sewer Comm.	Billing	1630	1688	58	550.88
	05/31/2021	Water Comm.	Billing	1630	1688	58	166.55
							Total Charges → \$718.11
06/01/2021	06/02/2021	Water Comm. (Penalty)	Penalty				1.59
	06/02/2021	Sewer Comm. (Penalty)	Penalty				5.24
	04/30/2021	Sewer Comm.	Billing	1571	1630	59	560.20
	04/30/2021	Water Comm.	Billing	1571	1630	59	168.52
							Total Charges → \$735.55

Due Date	Bill Date	Service	Chg Type	Previous Reading	Current Reading	Usage	Charge
07/30/2021	06/30/2021	Sewer Comm.	Billing	1688	1779	91	858.44
	06/30/2021	Water Comm.	Billing	1688	1779	91	231.56
						Total Charges →	\$1,090.00
06/30/2021	07/02/2021	Sewer Comm. (Penalty)	Penalty				0.52
	07/02/2021	Water Comm. (Penalty)	Penalty				0.16
	05/31/2021	Sewer Comm.	Billing	1630	1688	58	550.88
	05/31/2021	Water Comm.	Billing	1630	1688	58	166.55
						Total Charges →	\$718.11
06/01/2021	06/02/2021	Water Comm. (Penalty)	Penalty				1.59
	06/02/2021	Sewer Comm. (Penalty)	Penalty				5.24
	04/30/2021	Sewer Comm.	Billing	1571	1630	59	560.20
	04/30/2021	Water Comm.	Billing	1571	1630	59	168.52
						Total Charges →	\$735.55
04/30/2021	05/04/2021	Sewer Comm. (Penalty)	Penalty				52.29
	05/04/2021	Water Comm. (Penalty)	Penalty				16.06
	03/31/2021	Water Comm.	Billing	1516	1571	55	160.64
	03/31/2021	Sewer Comm.	Billing	1516	1571	55	522.92
						Total Charges →	\$751.91
03/30/2021	02/28/2021	Sewer Comm.	Billing	1466	1516	50	476.32
	02/28/2021	Water Comm.	Billing	1466	1516	50	150.79
						Total Charges →	\$627.11

03/01/2021	01/31/2021	Sewer Comm.	Billing	1393	1466	73	690.68
	01/31/2021	Water Comm.	Billing	1393	1466	73	196.10
						Total Charges →	\$886.78
01/29/2021	12/31/2020	Sewer Comm.	Billing	1335	1393	58	550.88
	12/31/2020	Water Comm.	Billing	1335	1393	58	166.55
						Total Charges →	\$717.43
12/30/2020	11/30/2020	Sewer Comm.	Billing	1284	1335	51	485.64
	11/30/2020	Water Comm.	Billing	1284	1335	51	152.76
						Total Charges →	\$638.40
11/30/2020	11/30/2020	Water Comm. (Penalty)	Penalty			7.29	
	10/31/2020	Sewer Comm.	Billing	1226	1284	58	550.88
	10/31/2020	Water Comm.	Billing	1226	1284	58	166.55
						Total Charges →	\$724.72
10/30/2020	10/30/2020	Sewer Comm. (Penalty)	Penalty			56.02	
	10/30/2020	Water Comm. (Penalty)	Penalty			16.85	
	09/30/2020	Sewer Comm.	Billing	1167	1226	59	560.20
	09/30/2020	Water Comm.	Billing	1167	1226	59	168.52
						Total Charges →	\$801.59
09/30/2020	08/31/2020	Sewer Comm.	Billing	1116	1167	51	485.64
	08/31/2020	Water Comm.	Billing	1116	1167	51	152.76
						Total Charges →	\$638.40
08/31/2020	07/31/2020	Sewer Comm.	Billing	1058	1116	58	550.88
	07/31/2020	Water Comm.	Billing	1058	1116	58	166.55
						Total Charges →	\$717.43

PPL Electric Utilities
Business Accounts
827 Hausman Rd. Allentown, PA 18104-9392
Tel. 888.220.9991
businessaccounts@pplweb.com
www.pplelectric.com/business



Bohler Engineering
C/O Corey Barrientos
74 W Broad St Suite 500
Bethlehem PA 18018

August 20, 2021

Re: Proposed Popeyes Restaurant - to be located at 1935 South 4th Street, Allentown, Lehigh County, PA. New 2,145 sq ft restaurant with drive-thru and related amenities.

Dear Corey:

This letter confirms PPL Electric Utilities' intention to provide electric service at the above location. Requirements for service are subject to the provisions of our tariff as filed with the Pennsylvania Public Utility Commission (PPUC). A copy of the tariff is available for review through the Internet at <https://www.pplelectric.com/utility/about-us/electric-rates-and-rules/current-electric-tariff/table-of-contents.aspx>.

Occasionally, changes are made in terms and conditions for service. We suggest that you contact our Business Accounts team at 1-888-220-9991, option 4, well in advance of your need for service. Or, applications for three-phase service can be obtained through our website <https://www.pplelectric.com/utility/about-us/for-contractors-and-builders/building-or-renovating.aspx>. Our Rules for Electric Metering and Service Installations (REMSI) can also be viewed through the Internet at <https://www.pplelectric.com/at-your-service/electric-rates-and-rules/remsi.aspx>.

Careful planning at this time will enable you to receive the full value and benefit available from our service.

If you have any questions, please call me.

Sincerely,

Krista Schmoyer
Business Accounts Specialist



September 9, 2021
Corey Barrientos

Dear Corey,

Thank you for your interest in utilizing natural gas for the proposed new construction project located at 1935 South 4th St in Allentown. Pursuant to your request, this letter will serve as confirmation that natural gas will be available to serve the proposed project site, following a distribution system reinforcement analysis. This agreement is contingent on the economic evaluations as described below.

The Customer may be responsible for funding reinforcement costs to ensure that adequate gas supply and pressure will be available to serve the proposed project. A cost analysis for the system reinforcements will be performed once anticipated loads are received from the Customer.

This offer is subject to the approval of UGI Engineering and Executive Management. The agreement is contingent upon UGI's ability to secure the applicable permits, easements on private property, rights-of-way, etc. necessary to proceed with this project. Any right-of-way costs shall be borne by the Customer. This offer is also based on usage consumptions as communicated by the Customer. Any variation from these assumptions will void this agreement and require additional analysis.

If you have any questions or concerns, feel free to contact me at 610-807-3106. I appreciate your cooperation in this matter and wish to thank you for choosing natural gas for your energy needs.

Sincerely,

Charlie Loeffler

New Business Sales Representative
UGI Utilities, Inc.
2121 City Line Road
Bethlehem, PA 18017
P: 610-807-3106
cloeffler@ugi.com



LEHIGH COUNTY AUTHORITY 1053 SPRUCE ROAD * P.O. BOX 3348 * ALLENTOWN, PA 18106-0348
610-398-2503 * FAX 610-398-8413 * www.lehighcountyauthority.org
email: service@lehighcountyauthority.org

August 31, 2021

Mrs. Irene Woodward
Planning Director
City of Allentown
435 Hamilton Street
Allentown, PA 18101

SUBJECT: Land Development – 1935 S 4th Street
Will Serve - Water Service

Dear Mrs. Woodward:

Lehigh County Authority (LCA) is willing to provide public water service in the requested amount of 1,500 GPD to the proposed Popeyes restaurant building located at 1935 S 4th Street.

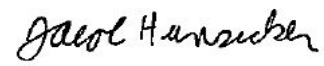
LCA has ample capacity to provide water service to this development and the service is presently available in the adjacent streets.

Tapping fees, connection fees, and meter fees are based upon the City of Allentown's ordinances and LCA's schedule of rate fees. Any abandoned lines must be properly capped.

Water service is conditioned upon the following:

1. LCA approval of the site, plumbing and fire protection system plans.
2. Developer obtaining any road opening permits from the municipality and/or PA-DOT to construct the water mains and/or services.
3. Developer executing a Developer's Water System Agreement or a Construction Permit with LCA for construction of the water mains and/or services.
4. Developer installation of water mains and/or services in accordance with the approved plans and applicable LCA policies and regulations, including the current General Specifications for Water System Construction.
5. Developer compliance with the terms and conditions of LCA's Rules and Regulations for Water Service, including completion of an Application for Water Service and payment of all applicable fees. Tapping fees shall be paid to LCA prior to building permits being provided by the City.

Sincerely,

A handwritten signature in black ink that reads "Jacob Hunsicker". The signature is written in a cursive style.

Jacob Hunsicker
Capital Works Project Specialist

cc: Adam Citrullo – Bohler Engineering
Corey Barrientos – Bohler Engineering



LEHIGH COUNTY AUTHORITY 1053 SPRUCE ROAD * P.O. BOX 3348 * ALLENTOWN, PA 18106-0348
610-398-2503 * FAX 610-398-8413 * www.lehighcountyauthority.org
email: service@lehighcountyauthority.org

August 31, 2021

Mrs. Irene Woodward
Planning Director
City of Allentown
435 Hamilton Street
Allentown, PA 18101

SUBJECT: Land Development – 1935 S 4th Street
Will Serve - Sewer Service

Dear Mrs. Woodward:

Lehigh County Authority (LCA) is willing to provide public sewer service in the requested amount of 1,500 GPD to the proposed Popeyes restaurant building located at 1935 S 4th Street. The final GPD total will be reflected on the approved DEP sewer planning module.

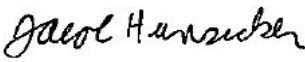
LCA has capacity at this time to provide sewer service in our collection system and at the city wastewater treatment plant for this development.

Tapping fees will be based upon the City of Allentown's ordinances and LCA's schedule of rate fees.

Sewer service is conditioned upon the following:

1. The developer obtaining approval of a PA-DEP Sewage Facilities Planning Module.
2. LCA approval of the site and plumbing plans.
3. Developer obtaining any road opening permits from the municipality and/or PA-DOT to construct the sewer mains and/or services.
4. Developer executing a Developer's Sewer System Agreement or a Construction Permit with LCA for construction of the sewer mains and/or services.
5. Developer installation of the sewer system in accordance with the approved plans and applicable LCA policies and regulations, including the current General Specifications for Sewer System Construction.
6. Developer compliance with the terms and conditions of LCA's Rules and Regulations for Sewer Service, including completion of an Application for Sewer Service and payment of applicable fees and charges in its Schedule of Wastewater Rates & Charges. Tapping fees shall be paid to LCA prior to building permits being provided by the City.

Sincerely,

A handwritten signature in black ink that reads "Jacob Hunsicker". The signature is written in a cursive, slightly slanted style.

Jacob Hunsicker
Capital Works Project Specialist

cc: Adam Citrullo – Bohler Engineering
Corey Barrientos – Bohler Engineering



Pennsylvania State Historic Preservation Office

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION

August 17, 2021

Corey Barrientos
74 W Broad Street
Suite 500
Bethlehem PA 180185738

RE: ER Project # 2021PR05725.001, Popeyes Restaurant with drive-thru, Department of Environmental Protection, Allentown City, Lehigh County

Dear Corey Barrientos:

Thank you for submitting information concerning the above referenced project. The Pennsylvania State Historic Preservation Office (PA SHPO) reviews projects in accordance with state and federal laws. Section 106 of the National Historic Preservation Act of 1966, and the implementing regulations (36 CFR Part 800) of the Advisory Council on Historic Preservation, is the primary federal legislation. The Environmental Rights amendment, Article 1, Section 27 of the Pennsylvania Constitution and the Pennsylvania History Code, 37 Pa. Cons. Stat. Section 500 et seq. (1988) is the primary state legislation. These laws include consideration of the project's potential effects on both historic and archaeological resources.

Above Ground Resources

No Above Ground Concerns - Environmental Review - No Effect - Above Ground

Thank you for submitting information concerning the above-referenced project. There may be above ground historic properties within the project area of potential effect. However, in our opinion the project as proposed will have no effect on historic properties, should they exist. Should the scope of the project change and/or should you be made aware of historic property concerns, you will need to notify the PA SHPO at pashare@pa.gov and provide the revised designs for review and comment.

For questions concerning above ground resources, please contact John Gardosik at jgardosik@pa.gov.

Archaeological Resources

No Archaeological Concerns - Environmental Review - No Historic Properties - Archaeological

Thank you for submitting information concerning the above-referenced project. In our opinion and based on the information received and available in our files, there are no archaeological historic properties (resources listed in or eligible for listing in the National Register) present within the area of potential effect. Should the scope of the project change and/or should you be made aware of historic property concerns, you will need to

notify the PA SHPO at pashare@pa.gov and provide the revised designs for review and comment.

For questions concerning archaeological resources, please contact John Gardosik at jgardosik@pa.gov.

Sincerely,

A handwritten signature in blue ink that reads "Andrea MacDonald". The signature is written in a cursive style with a large initial 'A'.

Andrea MacDonald
Director, State Historic Preservation Office

Re: Proposed Restaurant
1935 South 4th Street
City of Allentown
Lehigh County, PA
PY212059

ANALYSIS OF SEWAGE DISPOSAL ALTERNATIVES

The following sewage disposal alternatives were considered for this property.

Connection to an Existing Wastewater Treatment Facility – The site is currently located within the Municipality's Act 537 Plan area maintaining this connection with a gravity sewer lateral has been determined to be feasible for the project scope.

Individual On-Lot Sewage Disposal – The proposed development requires that the majority of the site be paved to provide parking and loading areas for the site operations. Given the amount of paving required for parking, insufficient area is available to support individual on-lot sewage disposal.

Community Sewage Treatment and Spray Irrigation Disposal – In order to service this development with community spray irrigation disposal, a large storage lagoon and spray irrigation disposal field plus horizontal isolation distances would be required. The current lot configuration and constraints do not allow for a sufficient area for storage and isolation distances or a sufficient area of suitable soil for disposal. This option was not selected due to lot configuration constraints and the availability of public sewer for this site.

Adjacent Property Disposal Methods – Adjacent properties consist of Low Density Residential and Local/Community Commercial. These properties are served through existing connections to sewer. There is no indication that the disposal methods used on adjacent properties are in need of improvement, therefore there is no need for a combined public/private project.

Selected Alternative - The proposed connection to the public sanitary sewer has been evaluated to be the best ultimate method of sewage disposal for this project. The site will convey sewage flows to the existing main through gravity sewer lateral. The daily flow for the proposed method has been calculated to be 4 PADEP EDU's based on 1,500 GPD for the proposed use.

Facility Maintenance – Lehigh County Authority is the owner responsible for the operation and maintenance of the facility as well as the ultimate compliance with both water quality standards and effluent limitations.

R:\21\PY212059\Permitting\Utilities\Sewer Planning\Word Docs\Alternative Analysis.doc



INSTRUCTIONS FOR COMPLETING COMPONENT 4A MUNICIPAL PLANNING AGENCY REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency.

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

Section D. Additional Comments

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.



**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
 Popeyes Restaurant with drive-thru

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency _____
2. Date review completed by agency _____

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)?
<input type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____
		17. Name, title and signature of planning agency staff member completing this section: Name: _____ Title: _____ Signature: _____ Date: _____ Name of Municipal Planning Agency: _____ Address _____ Telephone Number: _____

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.



GREG ZEBROWSKI
Chair

STEVEN GLICKMAN
Vice Chair

PAMELA PEARSON
Treasurer

BECKY A. BRADLEY, AICP
Executive Director

October 7, 2021

Mr. Adam Citrullo
Bohler Engineering PA, LLC
74 W. Broad Street, Suite 500
Bethlehem, PA 18018

**Re: Act 537 Review - Sewage Facilities Planning Module
Popeye's Restaurant – 1935 S. 4th Street
City of Allentown, Lehigh County
DEP Code No. 2-39001265-3**

Dear Mr. Citrullo:

The Lehigh Valley Planning Commission (LVPC) reviewed the above-referenced planning module according to the requirements of Act 537, the Pennsylvania Sewage Facilities Act. We offer the following comments.

This sewage facilities planning module is intended for a proposed 2,145 square foot restaurant with drive-thru on approximately 2.5 acres at 1935 S. 4th Street. An existing restaurant located on the site will be demolished. The development is proposed to be served by public sewage disposal, with ultimate treatment at the Kline's Island wastewater treatment plant. This sewage facilities planning module exhibits consistency with *FutureLV: The Regional Plan*. According to *FutureLV*, the proposed project is located in an area designated for Development in the General Land Use Plan and aligns with the *FutureLV* action to 'promote development in areas with public sewer and water capacity' (under Policy 3.2).

Enclosed please find an executed Module Component 4b. Please call me if you have any questions regarding this review.

Sincerely,

Susan L. Rockwell
Senior Environmental Planner

Enclosure

cc: Irene Woodward, AICP, Director of Planning, City of Allentown
Erika Reed, The Dreher Group
Robert Corby, PA Department of Environmental Protection



**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW**

(or Planning Agency with Areawide Jurisdiction)

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and one copy of this *Planning Agency Review Component* should be sent to the county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Popeye's Restaurant - 1935 S. 4th Street

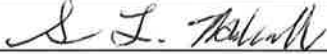
SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency ---
2. Date plan received by planning agency with areawide jurisdiction September 29, 2021
Agency name Lehigh Valley Planning Commission
3. Date review completed by agency October 7, 2021

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i>)? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use? <i>See attached MPC review letter dated 8/17/2021</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan?
If no, describe goals and objectives that are not met --- |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe inconsistency --- |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation?
If no, describe inconsistencies: --- |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impact --- |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known historical or archeological resources be impacted by this project? <i>PHEM determined</i>
If yes, describe impacts --- |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project? <i>See PNDI results</i>
If yes, describe impacts --- |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance? <i>N/A</i>
If no, describe inconsistencies --- |

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained? <u>N/A</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a county or areawide subdivision and land development ordinance? <u>Not applicable to the City of Allentown</u>
<input type="checkbox"/>	<input type="checkbox"/>	13. Does this proposal meet the requirements of the ordinance? <u>N/A</u> If no, describe which requirements are not met ---
<input type="checkbox"/>	<input type="checkbox"/>	14. Is this proposal consistent with the municipal Official Sewage Facilities Plan? <u>See municipal interpretation</u> If no, describe inconsistency ---
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe ---
<input type="checkbox"/>	<input type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? <u>N/A</u>
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances. If no, describe the inconsistencies ---
<input checked="" type="checkbox"/>	<input type="checkbox"/>	17. Does the county have a stormwater management plan as required by the Stormwater Management Act?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, will this project plan require the implementation of storm water management measures?
18. Name, Title and signature of person completing this section:		
Name: <u>Susan L. Rockwell</u>		
Title: <u>Senior Environmental Planner</u>		
Signature: <u></u>		
Date: <u>October 7, 2021</u>		
Name of County or Areawide Planning Agency: <u>Lehigh Valley Planning Commission</u>		
Address: <u>961 Marcon Boulevard, Suite 310 Allentown, PA 18109</u>		
Telephone Number: <u>610-264-4544</u>		

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.



GREG ZEBROWSKI
Chair

STEVEN GLICKMAN
Vice Chair

PAMELA PEARSON
Treasurer

BECKY A. BRADLEY, AICP
Executive Director

August 5, 2021

Irene Woodward, AICP
Director of Planning & Zoning
City of Allentown
435 Hamilton Street
Allentown, PA 18101

**RE: Popeye's Restaurant - 1935 South 4th Street – Land Development
City of Allentown
Lehigh County**

Dear Ms. Woodward:

The subject application proposes to demolish an existing, vacant restaurant for the construction of a 2,145-square-foot restaurant with a drive-through at 1935 South 4th Street (parcel number 640661180887). The proposal is located within a Development area of the General Land Use Plan and exhibits consistency with *FutureLV: The Regional Plan* because it serves to 'encourage reinvestment in commercial areas' (of Policy 4.6). The proposal's retention of existing site improvements for use with the proposed new development serves to 'minimize environmental impacts of development to protect the health, safety and welfare of the public' (Policy 3.2) through reduction of greenhouse gas created by unnecessary demolition and the related transportation of such materials to landfills.

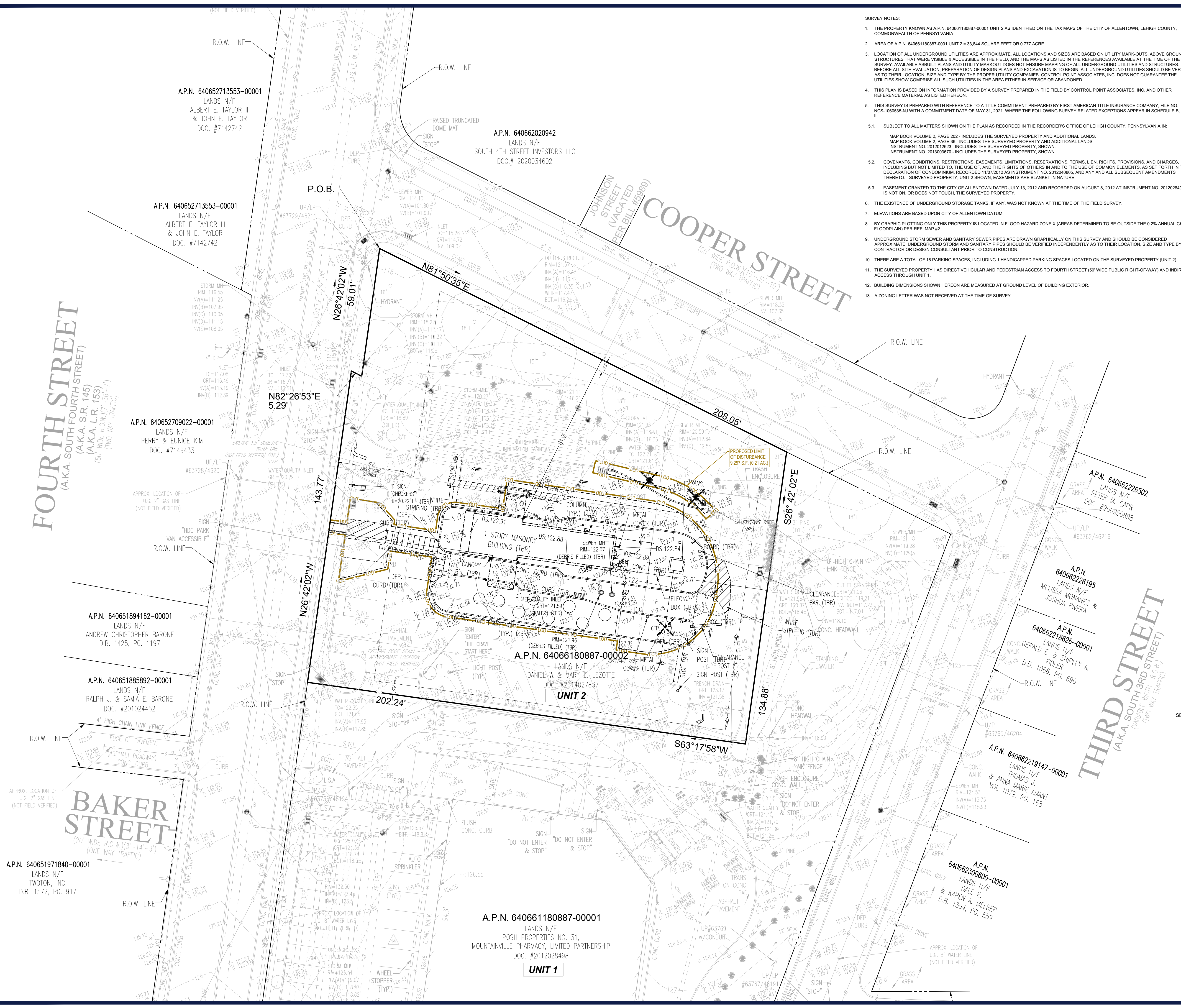
Municipalities, when considering subdivision/land developments, should reasonably attempt to be consistent with *FutureLV: The Regional Plan*, as required by the Pennsylvania Municipalities Planning Code (MPC) [Article 1§105, Article III§303, §304 & §306(a), Article VI§603(j)]. The LVPC review does not include an in-depth examination of plans relative to subdivision design standards or ordinance requirements since these items are covered in the municipal review.

Please call or email a Community Planning staff person for information on how to obtain LVPC signatures on the final plans.

Sincerely,

Samantha Smith
Chief Community Planner

cc: Craig Messinger, City of Allentown Director of Public Works; Allentown Fourth, LLC, Applicant; Matt Chartrand, PE, Bohler



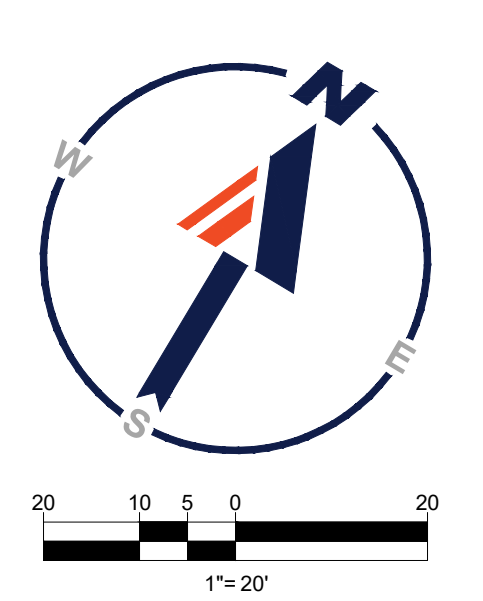
- SURVEY NOTES:**
- THE PROPERTY KNOWN AS A.P.N. 64066180887-0001 UNIT 2 AS IDENTIFIED ON THE TAX MAPS OF THE CITY OF ALLENTOWN, LEHIGH COUNTY, COMMONWEALTH OF PENNSYLVANIA.
 - AREA OF A.P.N. 64066180887-0001 UNIT 2 = 33,844 SQUARE FEET OR 0.777 ACRE
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ALL SITE EVALUATION, PREPARATION OF DESIGN PLANS AND EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. NCS-106035-4J WITH A COMMITMENT DATE OF MAY 31, 2021, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, PART II:
 - SUBJECT TO ALL MATTERS SHOWN ON THE PLAN AS RECORDS IN THE RECORDER'S OFFICE OF LEHIGH COUNTY, PENNSYLVANIA IN:
 - MAP BOOK VOLUME 2, PAGE 232 - INCLUDES THE SURVEYED PROPERTY AND ADDITIONAL LANDS.
 - MAP BOOK VOLUME 2, PAGE 36 - INCLUDES THE SURVEYED PROPERTY AND ADDITIONAL LANDS.
 - INSTRUMENT NO. 2012012823 - INCLUDES THE SURVEYED PROPERTY, SHOWN.
 - INSTRUMENT NO. 2013003670 - INCLUDES THE SURVEYED PROPERTY, SHOWN.
 - COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, LIMITATIONS, RESERVATIONS, TERMS, LIEN, RIGHTS, PROVISIONS, AND CHARGES, INCLUDING BUT NOT LIMITED TO, THE USE OF, AND THE RIGHTS OF OTHERS IN AND TO THE USE OF COMMON ELEMENTS, AS SET FORTH IN THE DECLARATION OF CONDOMINIUM, RECORDED 11/07/2012 AS INSTRUMENT NO. 2012040805, AND ANY AND ALL SUBSEQUENT AMENDMENTS THERETO. - SURVEYED PROPERTY, UNIT 2 SHOWN, EASEMENTS ARE BLANKET IN NATURE.
 - EASEMENT GRANTED TO THE CITY OF ALLENTOWN DATED JULY 13, 2012 AND RECORDED ON AUGUST 8, 2012 AT INSTRUMENT NO. 2012028497 - IT IS NOT ON, OR DOES NOT TOUCH, THE SURVEYED PROPERTY.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - ELEVATIONS ARE BASED UPON CITY OF ALLENTOWN DATUM.
 - BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. MAP #2.
 - UNDERGROUND STORM SEWER AND SANITARY SEWER PIPES ARE DRAWN GRAPHICALLY ON THIS SURVEY AND SHOULD BE CONSIDERED APPROXIMATE. UNDERGROUND STORM AND SANITARY PIPES SHOULD BE VERIFIED INDEPENDENTLY AS TO THEIR LOCATION, SIZE AND TYPE BY THE CONTRACTOR OR DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
 - THERE ARE A TOTAL OF 16 PARKING SPACES, INCLUDING 1 HANDICAPPED PARKING SPACE LOCATED ON THE SURVEYED PROPERTY (UNIT 2).
 - THE SURVEYED PROPERTY HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO FOURTH STREET (50' WIDE PUBLIC RIGHT-OF-WAY) AND INDIRECT ACCESS THROUGH UNIT 1.
 - BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.
 - A ZONING LETTER WAS NOT RECEIVED AT THE TIME OF SURVEY.

EXISTING	
PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Symbol]
RETAINING WALL	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
FENCE	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
SIGN	[Symbol]
PARKING COURT	[Symbol]
AREA LIGHT	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]
ELECTRIC LINE	[Symbol]
TELEPHONE LINE	[Symbol]
GAS LINE	[Symbol]
WATER LINE	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]

LEGEND TO BE REMOVED	
BUILDING	[Symbol]
CONCRETE CURB	[Symbol]
SIGN	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
ELECTRIC LINE	[Symbol]
TELEPHONE LINE	[Symbol]
GAS LINE	[Symbol]
WATER LINE	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]

UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY THE PENNSYLVANIA ONE CALL SYSTEM (1-800-242-1776) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 2012291898 (2012 MARK-OUT)

UTILITY COMPANY	PHONE NUMBER
FRONTIER COMMUNICATIONS	866-901-7386
ALLENTOWN CITY	610-437-7511
PP&L	610-774-5151
WYOMISSING VALLEY JOINT MUA	610-376-1756
SERVICE ELECTRIC CABLEVISION (SVC)	610-784-3933
UGI UTILITIES	800-322-4429
SALISBURY TOWNSHIP	610-791-4000
VERIZON	610-345-5501
LEHIGH COUNTY AUTHORITY	610-398-2503



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PROJECT No.: PY212059
 DRAWN BY: SKS
 CHECKED BY: MMC
 DATE: 07/13/2021
 CAD LID: PY212059-LDVP-1A

FINAL LAND DEVELOPMENT PLANS
 FOR

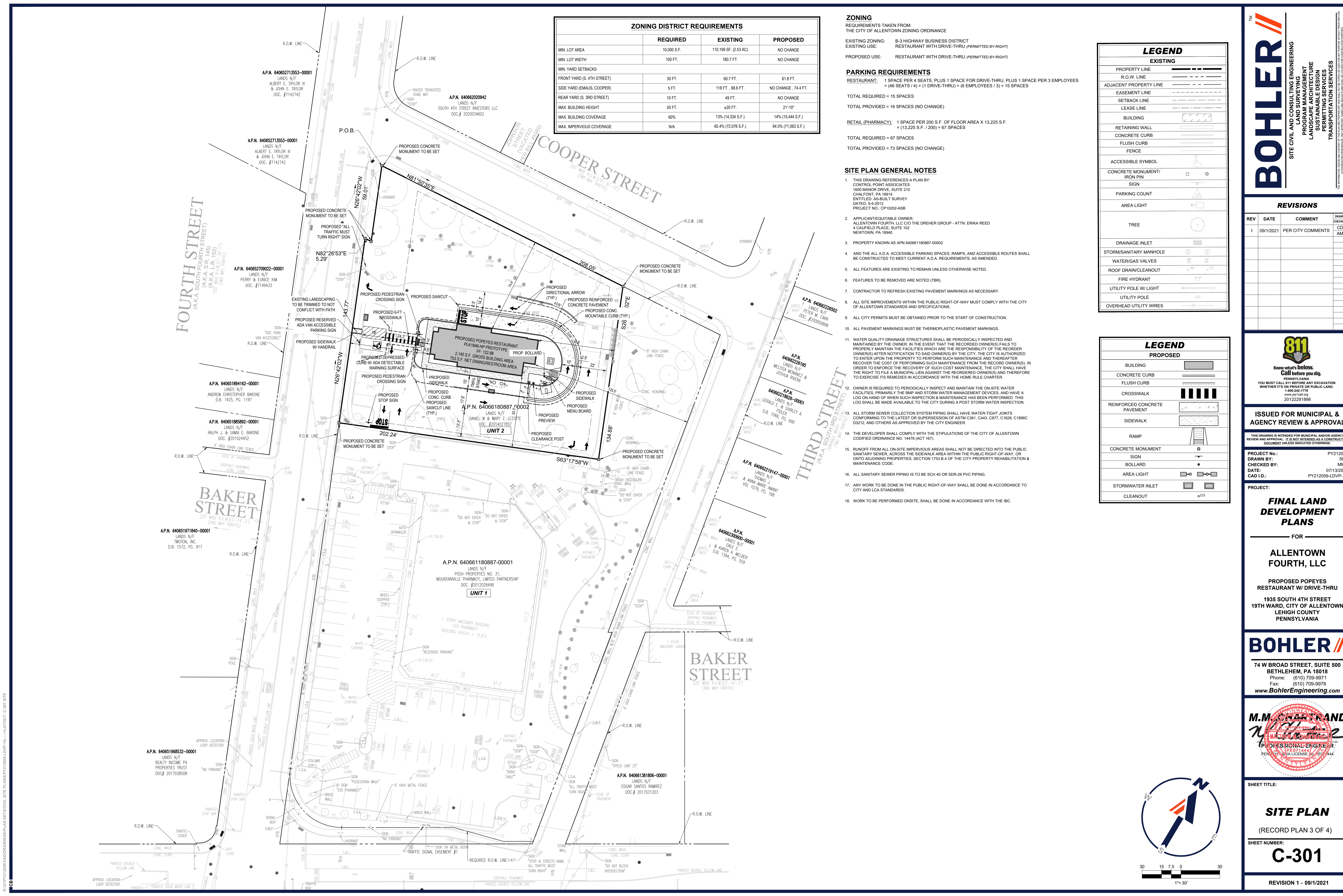
ALLENTOWN FOURTH, LLC

PROPOSED POPEYES RESTAURANT W/ DRIVE-THRU
 1935 SOUTH 4TH STREET
 19TH WARD, CITY OF ALLENTOWN
 LEHIGH COUNTY
 PENNSYLVANIA

BOHLER
 74 W BROAD STREET, SUITE 500
 BETHELEHM, PA 18018
 Phone: (610) 709-9971
 Fax: (610) 709-9976
 www.BohlerEngineering.com

M.M. AND N. J.
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE # 000000000

SHEET TITLE:
EXISTING CONDITIONS/ DEMOLITION PLAN
 SHEET NUMBER:
C-201
 REVISION 1 - 09/12/2021



ZONING DISTRICT REQUIREMENTS			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 S.F.	110,199 SF. (2.53 AC)	NO CHANGE
MIN. LOT WIDTH	100 FT.	180.7 FT.	NO CHANGE
MIN. YARD SETBACKS			
FRONT YARD (S. 4TH STREET)	30 FT.	60.7 FT.	61.8 FT.
SIDE YARD (EMAU, COOPER)	5 FT.	118 FT., 68.6 FT.	NO CHANGE, 74.4 FT.
REAR YARD (S. 3RD STREET)	10 FT.	49 FT.	NO CHANGE
MAX. BUILDING HEIGHT	50 FT.	±20 FT.	21'-10"
MAX. BUILDING COVERAGE	60%	13% (14,334 S.F.)	14% (15,444 S.F.)
MAX. IMPERVIOUS COVERAGE	N/A	65.4% (72,076 S.F.)	64.5% (71,063 S.F.)

ZONING
 REQUIREMENTS TAKEN FROM:
 THE CITY OF ALLENTOWN ZONING ORDINANCE

EXISTING ZONING: B-3 HIGHWAY BUSINESS DISTRICT
 EXISTING USE: RESTAURANT WITH DRIVE-THRU (PERMITTED BY-RIGHT)

PROPOSED USE: RESTAURANT WITH DRIVE-THRU (PERMITTED BY-RIGHT)

PARKING REQUIREMENTS

RESTAURANT: 1 SPACE PER 4 SEATS, PLUS 1 SPACE FOR DRIVE-THRU, PLUS 1 SPACE PER 3 EMPLOYEES = (46 SEATS / 4) + (1 DRIVE-THRU) + (6 EMPLOYEES / 3) = 15 SPACES

TOTAL REQUIRED = 15 SPACES
 TOTAL PROVIDED = 16 SPACES (NO CHANGE)

RETAIL (PHARMACY): 1 SPACE PER 200 S.F. OF FLOOR AREA X 13,225 S.F. = (13,225 S.F. / 200) = 67 SPACES

TOTAL REQUIRED = 67 SPACES
 TOTAL PROVIDED = 73 SPACES (NO CHANGE)

- SITE PLAN GENERAL NOTES**
- THIS DRAWING REFERENCES A PLAN BY: CONTROL POINT ASSOCIATES 1600 MANOR DRIVE, SUITE 210 CHALFONT, PA 18014 ENTITLED: AS-BUILT SURVEY DATED: 9-5-2013 PROJECT NO.: CP10202-ASB
 - APPLICANT/EQUITABLE OWNER: ALLENTOWN FOURTH, LLC C/O THE DREHER GROUP - ATTN: ERIKA REED 4 CALFIELD PLACE, SUITE 102 NEWTOWN, PA 18940
 - PROPERTY KNOWN AS APN 640661180887-0002
 - AND THE ALL A.D.A. ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT A.D.A. REQUIREMENTS, AS AMENDED.
 - ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
 - FEATURES TO BE REMOVED ARE NOTED (TBR).
 - CONTRACTOR TO REFRESH EXISTING PAVEMENT MARKINGS AS NECESSARY.
 - ALL SITE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE CITY OF ALLENTOWN STANDARDS AND SPECIFICATIONS.
 - ALL CITY PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 - ALL PAVEMENT MARKINGS MUST BE THERMOPLASTIC PAVEMENT MARKINGS.
 - WATER QUALITY DRAINAGE STRUCTURES SHALL BE PERIODICALLY INSPECTED AND MAINTAINED BY THE OWNER IN THE EVENT THAT THE REORDERED OWNER(S) FAILS TO PROPERLY MAINTAIN THE FACILITIES WHICH ARE THE RESPONSIBILITY OF THE REORDERED OWNER(S) AFTER NOTIFICATION TO SAID OWNER(S) BY THE CITY. THE CITY IS AUTHORIZED TO ENTER UPON THE PROPERTY TO PERFORM SUCH MAINTENANCE AND THEREAFTER RECOVER THE COST OF PERFORMING SUCH MAINTENANCE FROM THE REORDERED OWNER(S) IN ORDER TO ENFORCE THE RECOVERY OF SUCH COST MAINTENANCE. THE CITY SHALL HAVE THE RIGHT TO FILE A MUNICIPAL LIEN AGAINST THE REORDERED OWNER(S) AND THEREFORE TO EXERCISE ITS REMEDIES IN ACCORDANCE WITH THE HOME RULE CHARTER.
 - OWNER IS REQUIRED TO PERIODICALLY INSPECT AND MAINTAIN THE ON-SITE WATER FACILITIES, PRIMARILY THE BMP AND STORM WATER MANAGEMENT DEVICES, AND HAVE A LOG ON HAND OF WHEN SUCH INSPECTION & MAINTENANCE HAS BEEN PERFORMED. THIS LOG SHALL BE MADE AVAILABLE TO THE CITY DURING A POST STORM WATER INSPECTION.
 - ALL STORM SEWER COLLECTION SYSTEM PIPING SHALL HAVE WATER-TIGHT JOINTS CONFORMING TO THE LATEST OR SUPERSESSOR OF ASTM C901, C943, C977, C1028, C1896C D3212, AND OTHERS AS APPROVED BY THE CITY ENGINEER.
 - THE DEVELOPER SHALL COMPLY WITH THE STIPULATIONS OF THE CITY OF ALLENTOWN CODIFIED ORDINANCE NO. 14476 (ACT 167).
 - RUNOFF FROM ALL ON-SITE IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE PUBLIC SANITARY SEWER, ACROSS THE SIDEWALK AREA WITHIN THE PUBLIC RIGHT-OF-WAY, OR ONTO ADJOINING PROPERTIES, SECTION 1753.B.4 OF THE CITY PROPERTY REHABILITATION & MAINTENANCE CODE.
 - ALL SANITARY SEWER PIPING IS TO BE SCH 40 OR SDR-26 PVC PIPING.
 - ANY WORK TO BE DONE IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE TO CITY AND LCA STANDARDS.
 - WORK TO BE PERFORMED ONSITE, SHALL BE DONE IN ACCORDANCE WITH THE IBC.

LEGEND

EXISTING

- PROPERTY LINE
- R.O.W. LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- LEASE LINE
- BUILDING
- RETAINING WALL
- CONCRETE CURB
- FLUSH CURB
- FENCE
- ACCESSIBLE SYMBOL
- CONCRETE MONUMENT/ IRON PIN
- SIGN
- PARKING COUNT
- AREA LIGHT
- TREE
- DRAINAGE INLET
- STORM/SANITARY MANHOLE
- WATER/GAS VALVES
- ROOF DRAIN/CLEANOUT
- FIRE HYDRANT
- UTILITY POLE W/ LIGHT
- UTILITY POLE
- OVERHEAD UTILITY WIRES

LEGEND

PROPOSED

- BUILDING
- CONCRETE CURB
- FLUSH CURB
- CROSSWALK
- REINFORCED CONCRETE PAVEMENT
- SIDEWALK
- RAMP
- CONCRETE MONUMENT
- SIGN
- BOLLARD
- AREA LIGHT
- STORMWATER INLET
- CLEANOUT

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PROJECT No.: PY212059
 DRAWN BY: SKS
 CHECKED BY: MMC
 DATE: 07/13/2021
 CAD ID.: PY212059-LDVP-1A

FINAL LAND DEVELOPMENT PLANS

FOR

ALLENTOWN FOURTH, LLC

PROPOSED POPEYES RESTAURANT W/ DRIVE-THRU

1935 SOUTH 4TH STREET
 19TH WARD, CITY OF ALLENTOWN
 LEHIGH COUNTY
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M.M. AND

PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE # 0001444

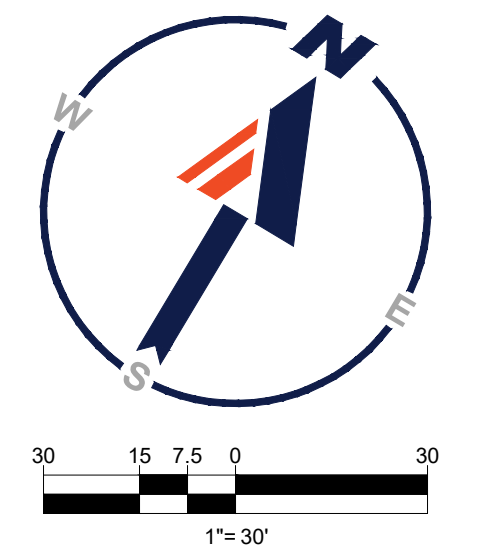
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SITE PLAN
 (RECORD PLAN 3 OF 4)

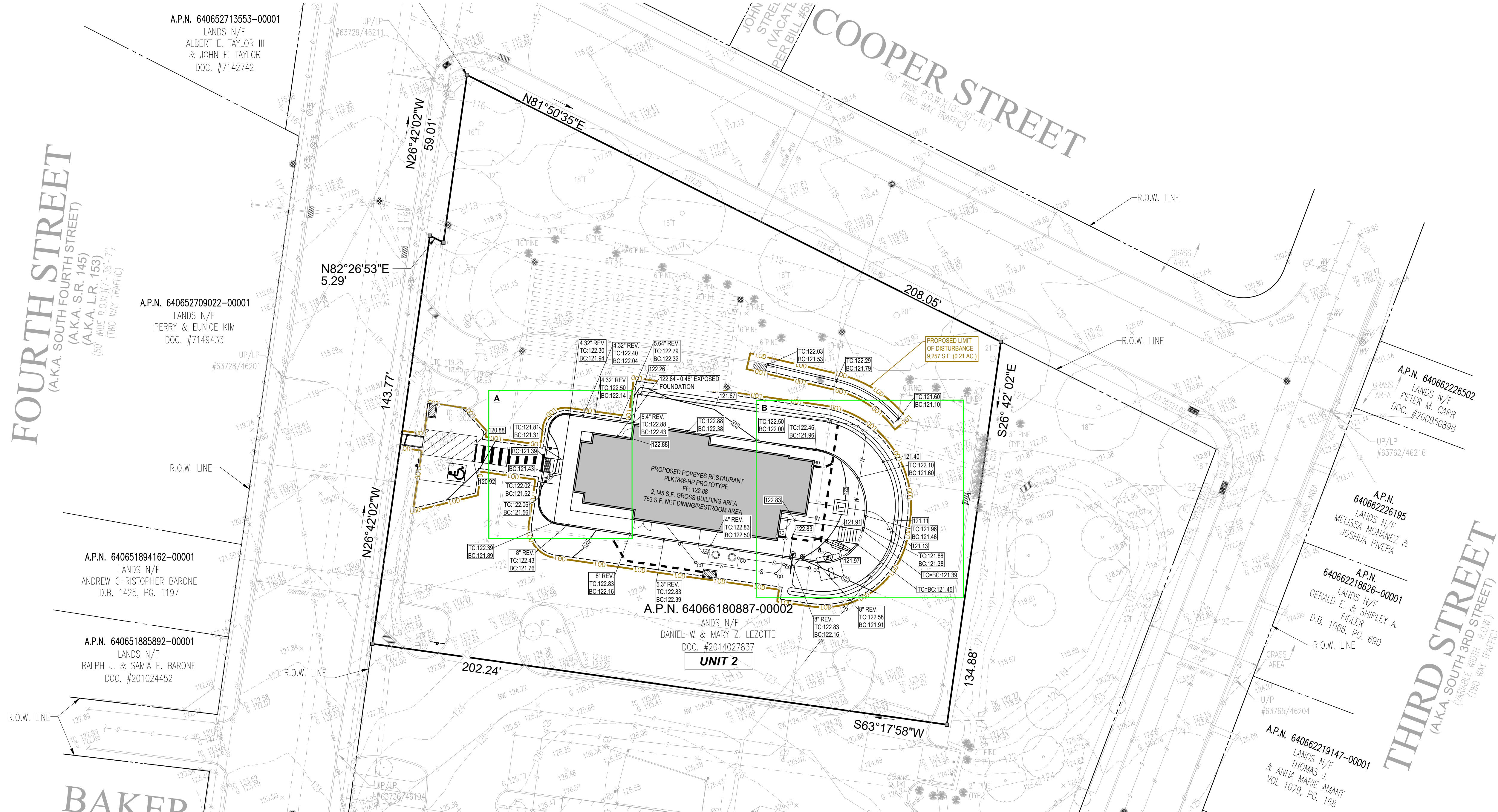
SHEET NUMBER:

C-301

REVISION 1 - 09/12/2021



R:\21\1921\2021\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\19212021-LDVP-1A-3-LAYOUT-1-C301 SITE



LEGEND

EXISTING

PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Symbol]
RETAINING WALL	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
FENCE	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
TREE	[Symbol]

DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]
ELECTRIC LINE	[Symbol]
TELEPHONE LINE	[Symbol]
GAS LINE	[Symbol]
WATER LINE	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]

LEGEND

PROPOSED

BUILDING	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
CROSSWALK	[Symbol]
REINFORCED CONCRETE PAVEMENT	[Symbol]
SIDEWALK	[Symbol]
RAMP	[Symbol]
SIGN	[Symbol]
BOLLARD	[Symbol]
AREA LIGHT	[Symbol]
CLEANOUT	[Symbol]
STORMWATER INLET	[Symbol]
ELECTRIC LINE	[Symbol]
GAS LINE	[Symbol]
WATER LINE	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]
SPOT ELEVATION	[Symbol]

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PROJECT No.: PY212059
 DRAWN BY: SKS
 CHECKED BY: MMC
 DATE: 07/19/2021
 CAD ID: PY212059-LDVP-1A

FINAL LAND DEVELOPMENT PLANS

FOR

ALLENTOWN FOURTH, LLC

PROPOSED POPEYES RESTAURANT W/ DRIVE-THRU

1935 SOUTH 4TH STREET
 19TH WARD, CITY OF ALLENTOWN
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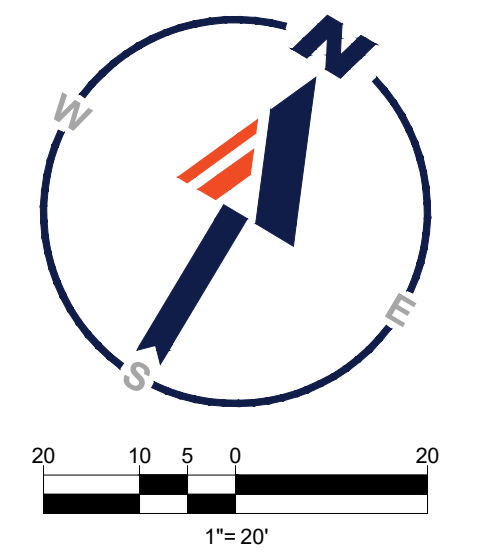
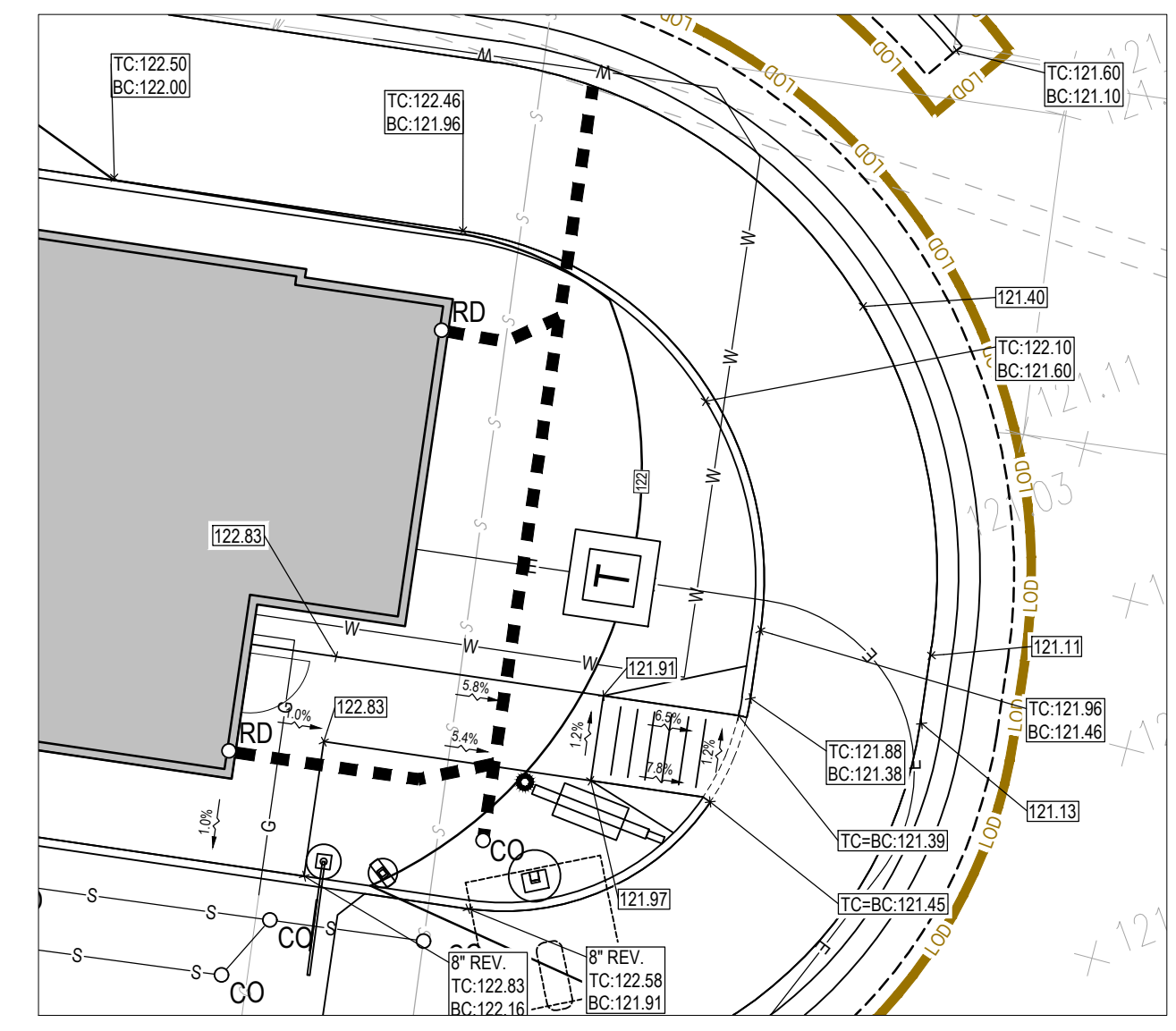
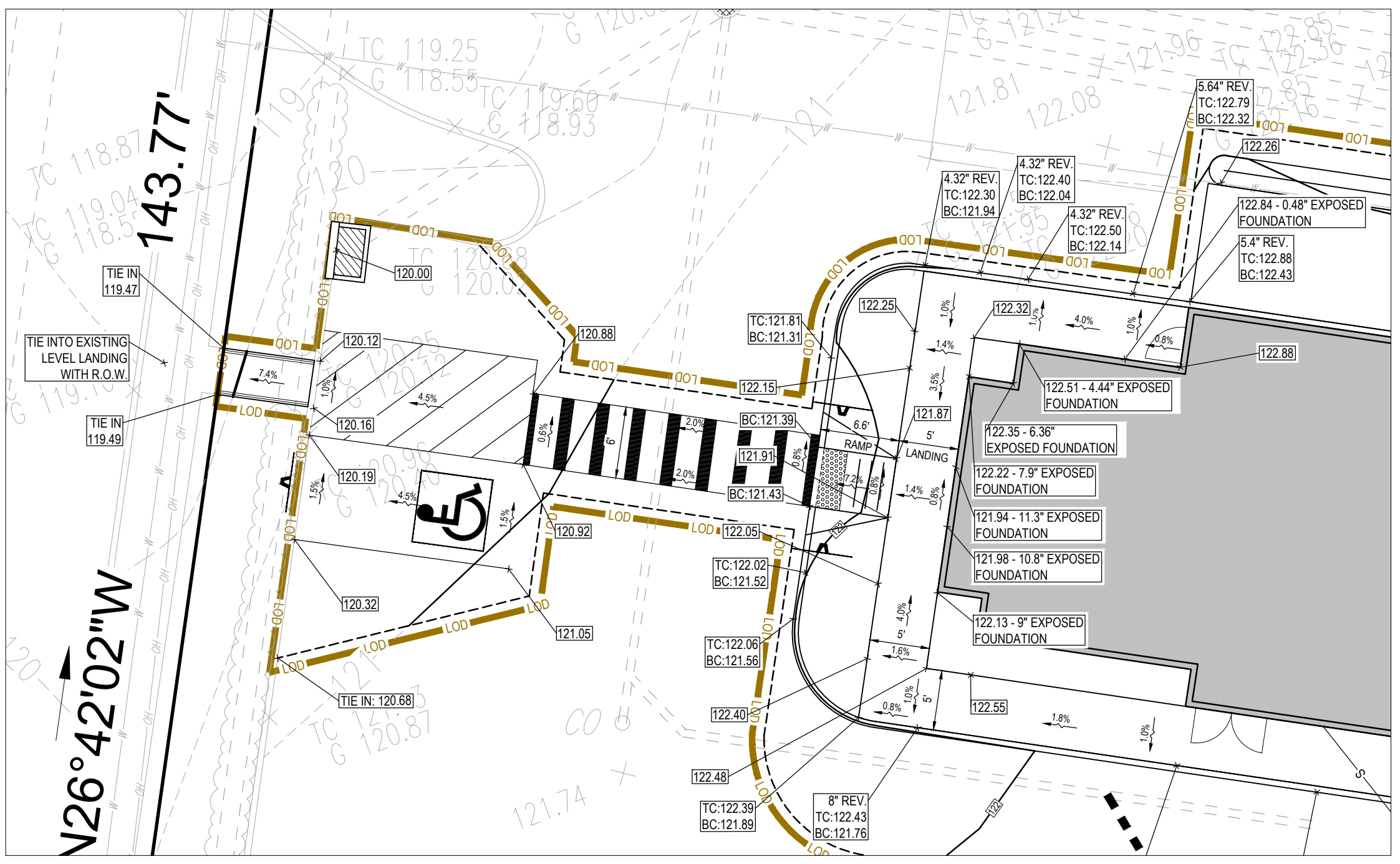
N. Chittick

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 PENNSYLVANIA LICENSE # 00000444

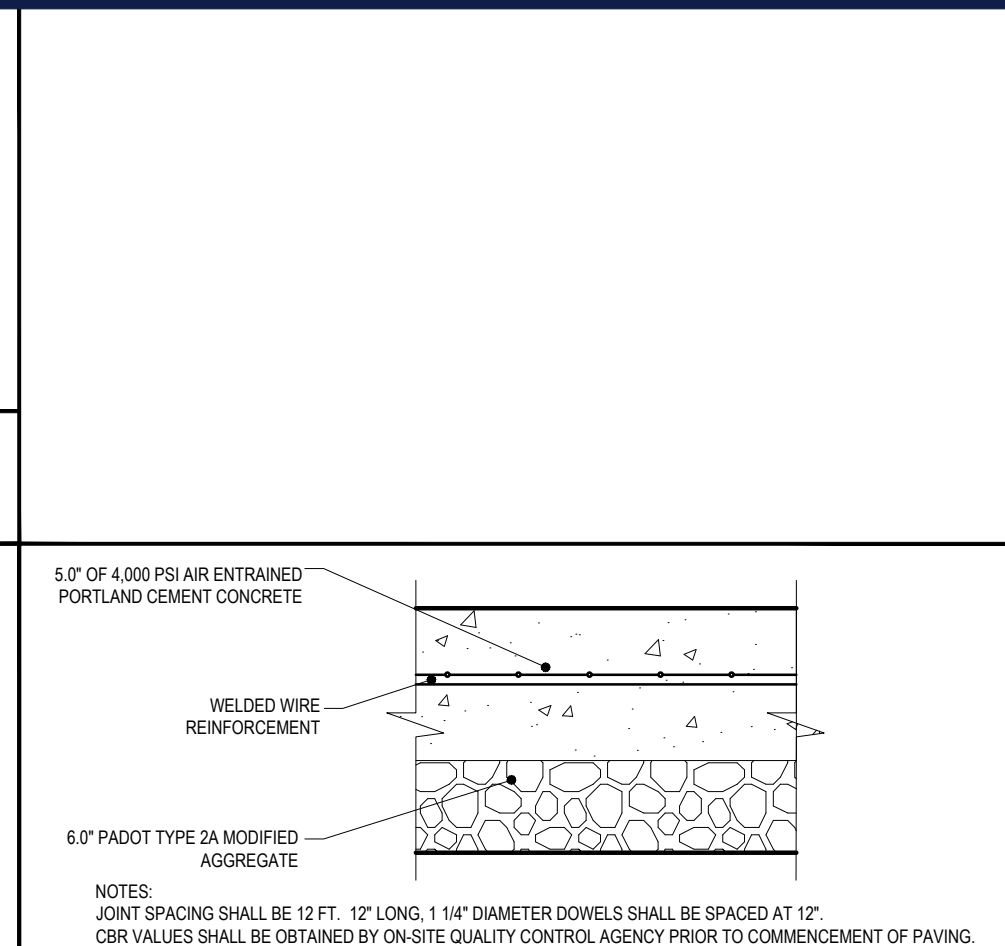
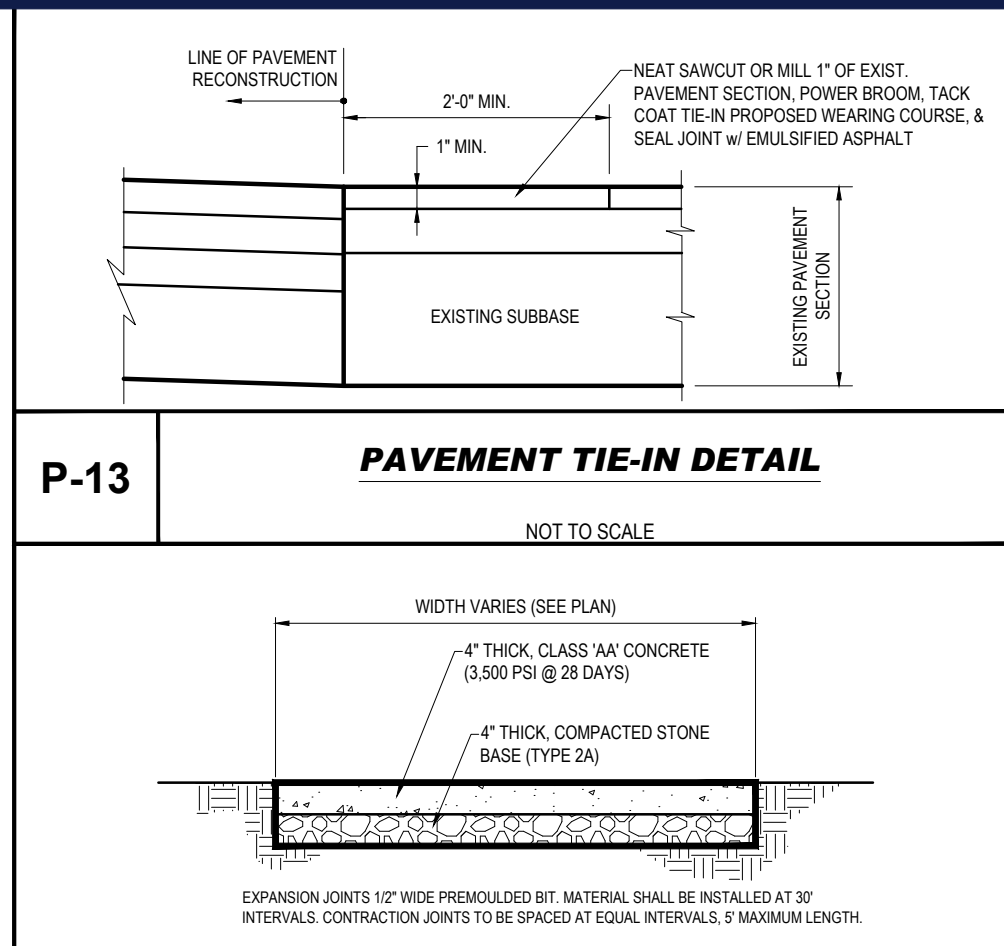
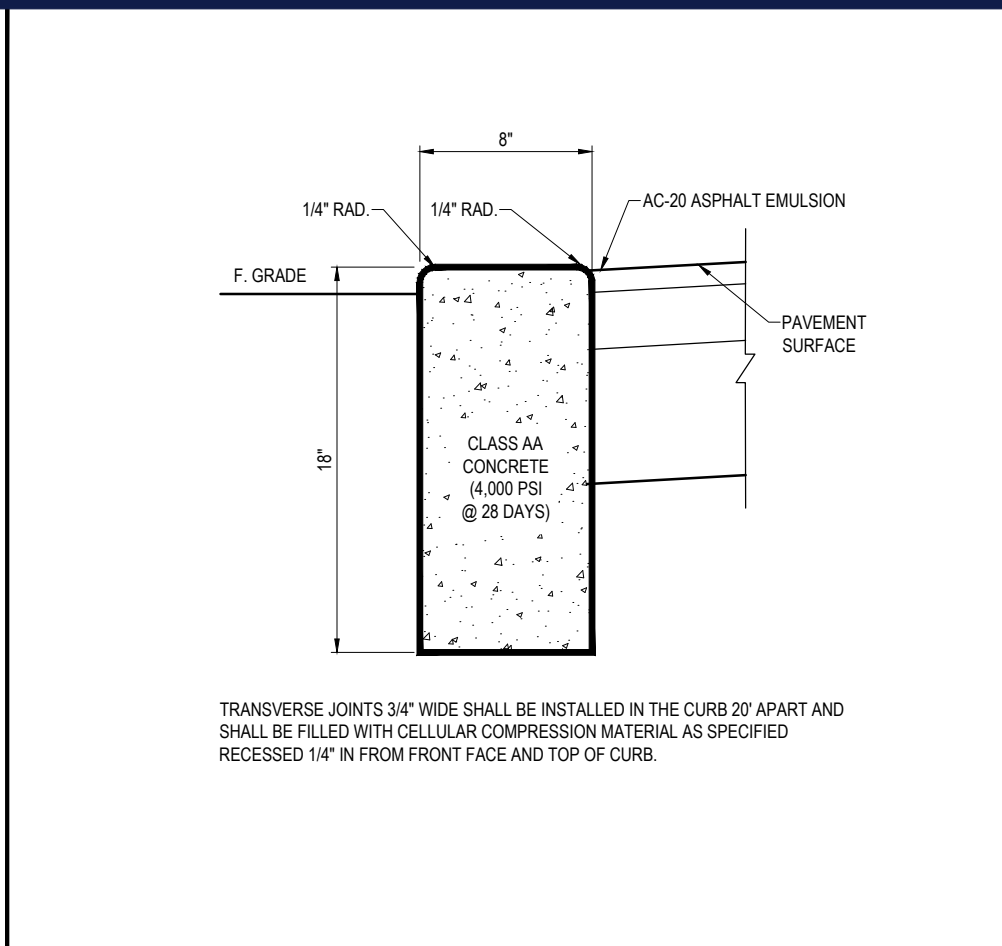
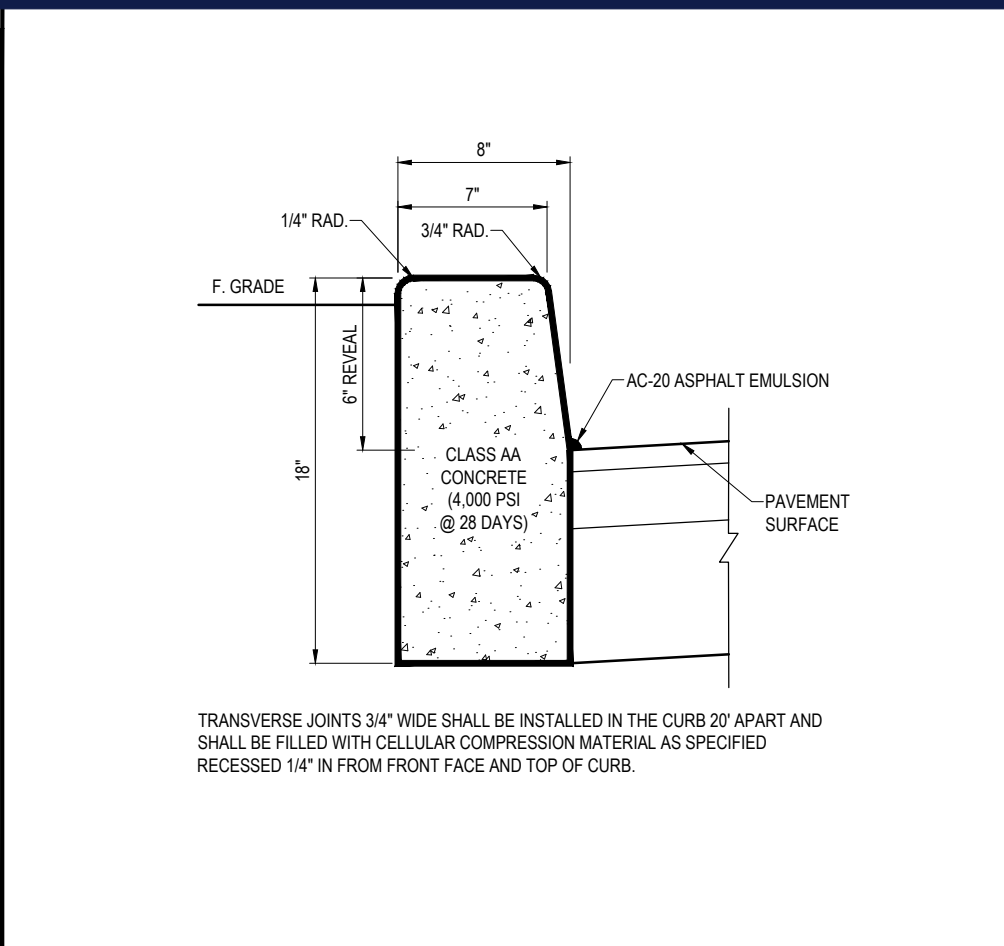
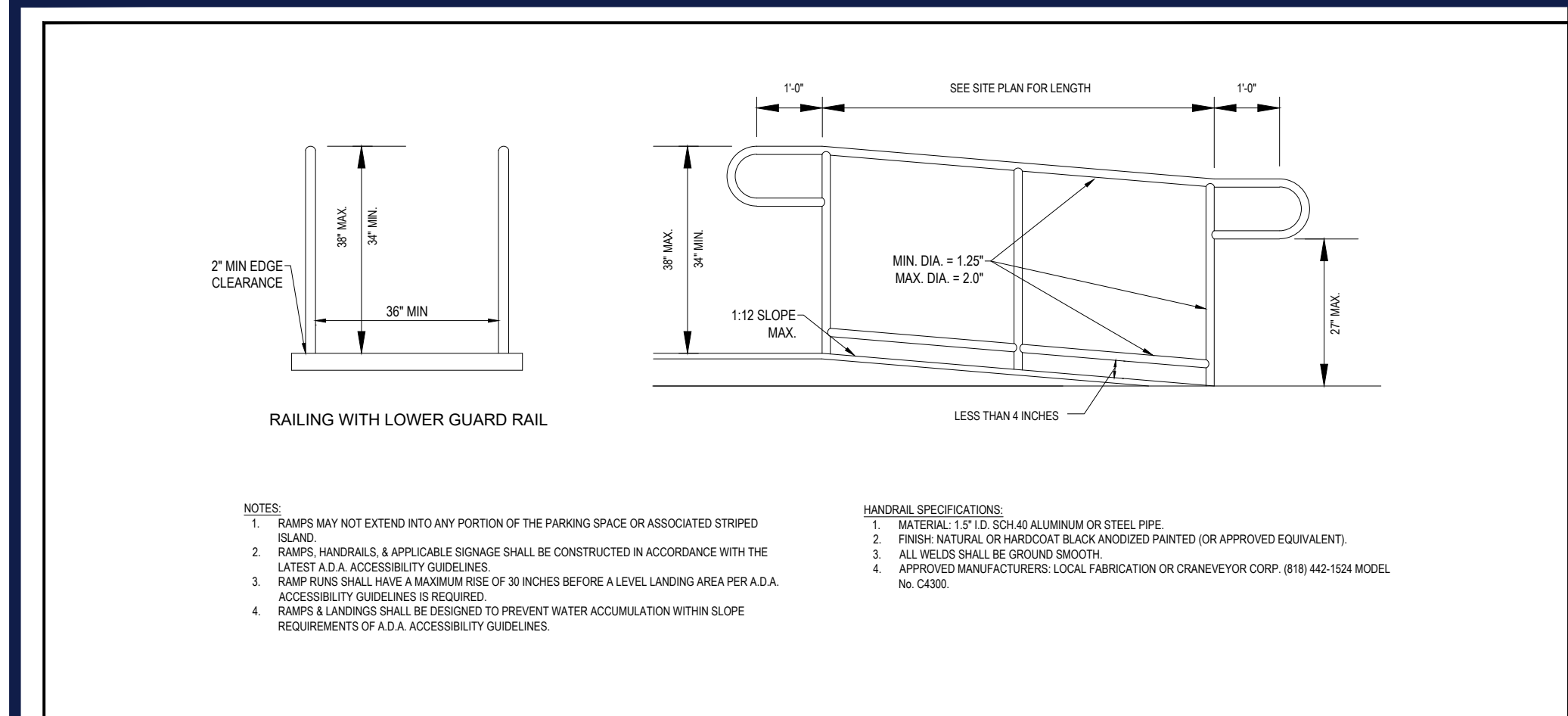
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GRADING PLAN

SHEET NUMBER:
C-401

REVISION 1 - 09/12/2021



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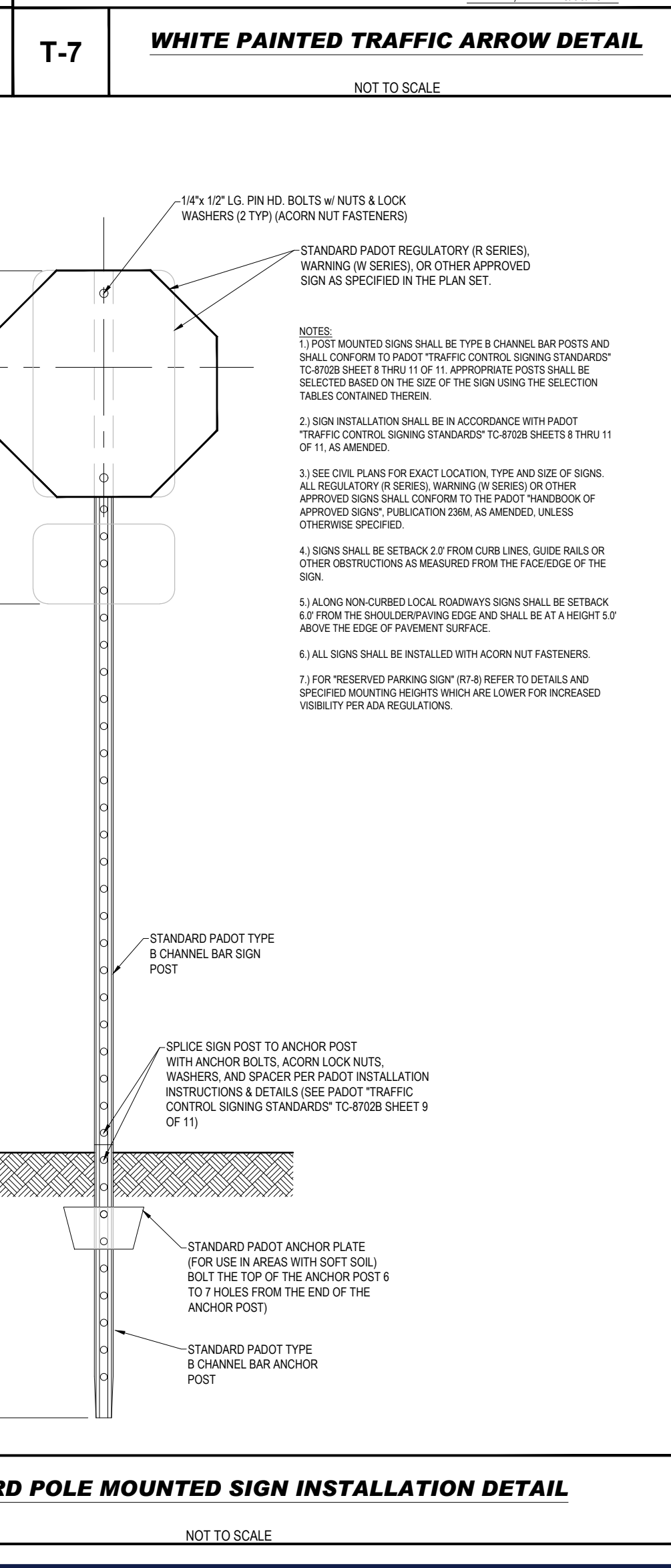
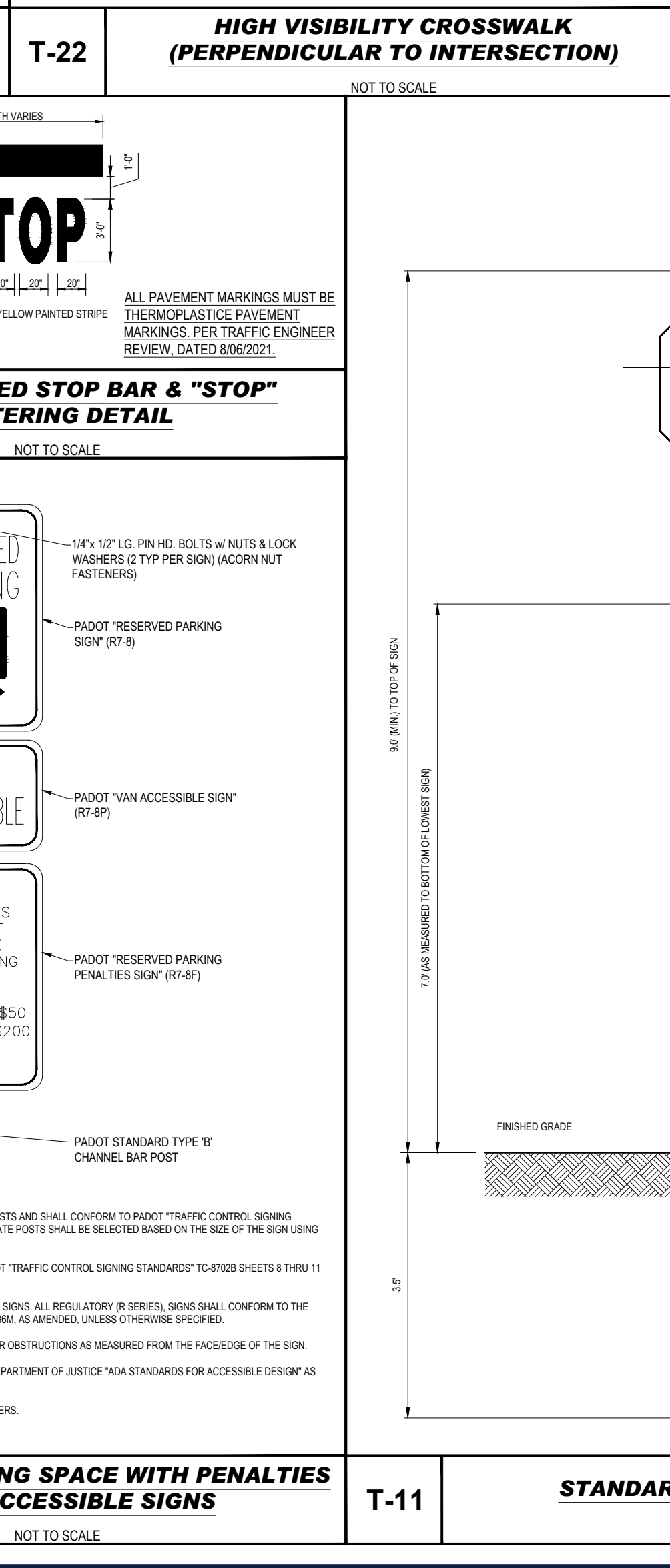
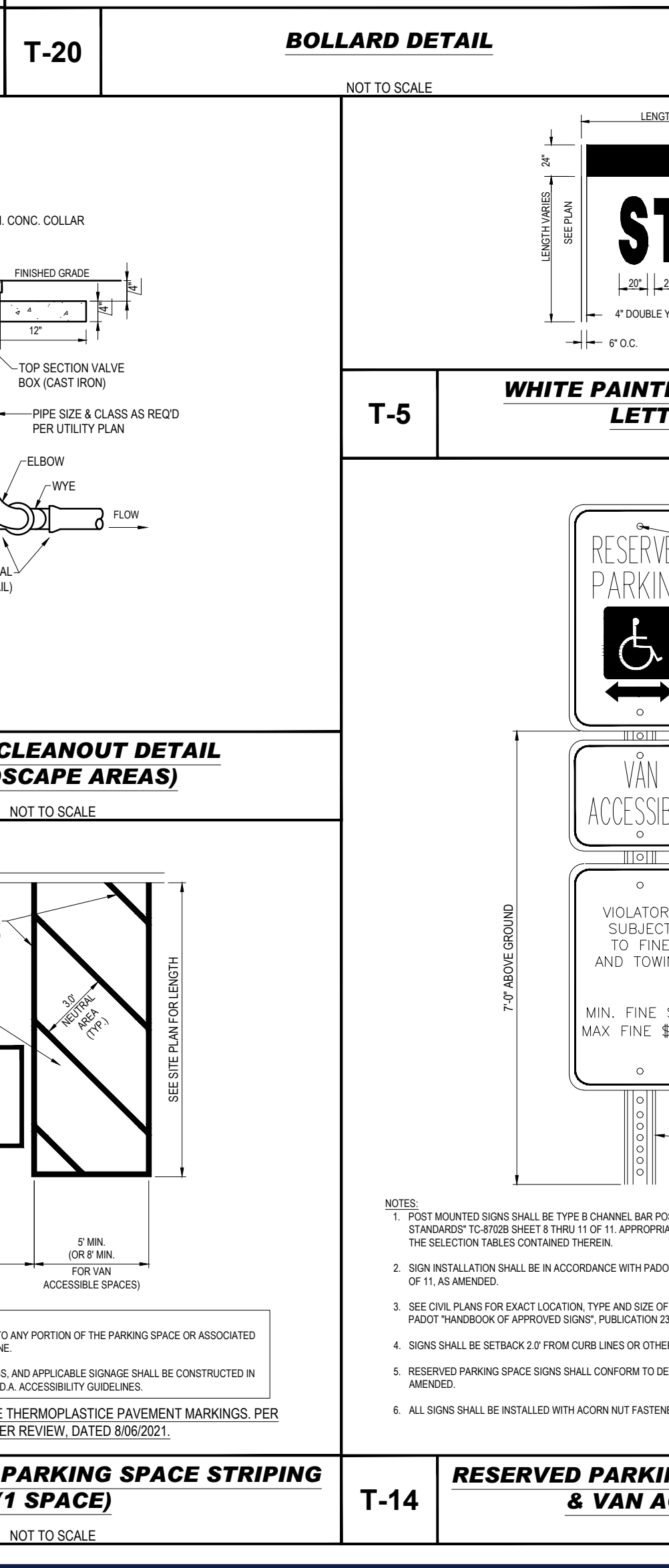
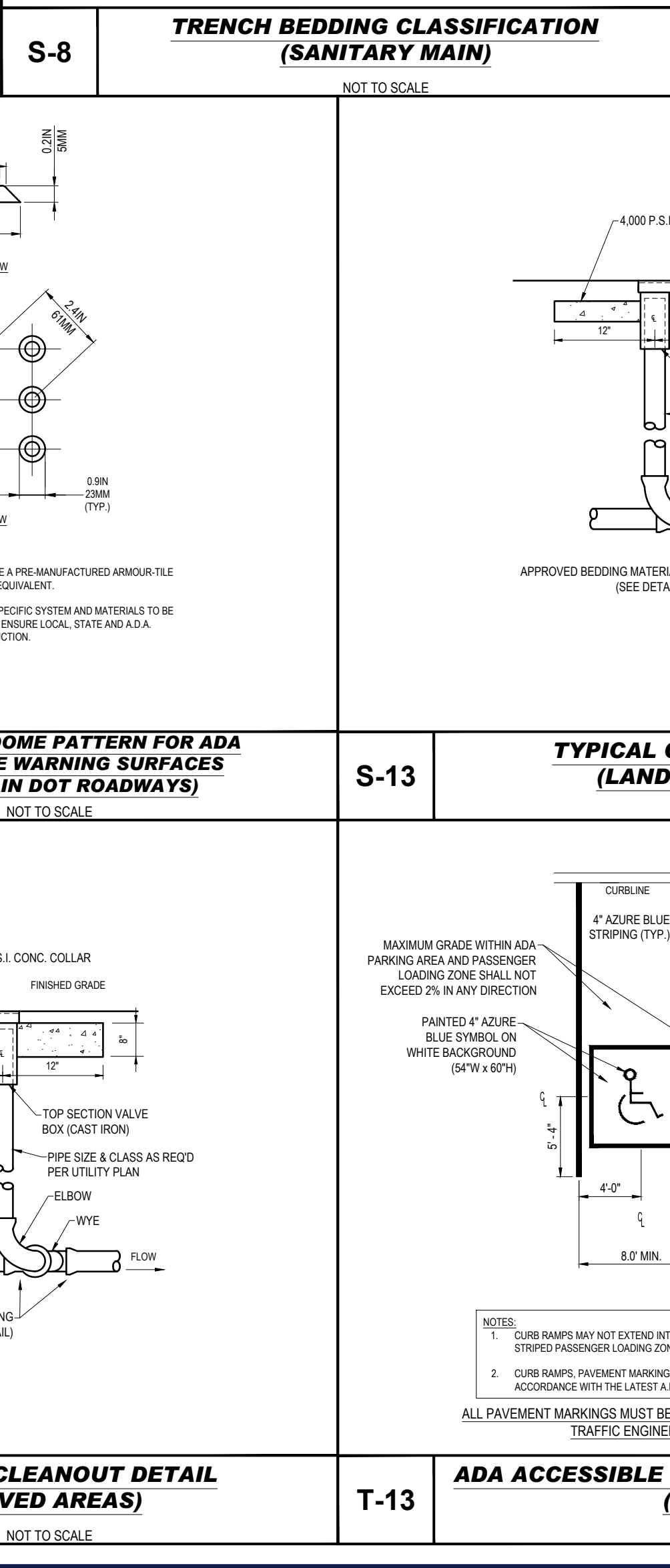
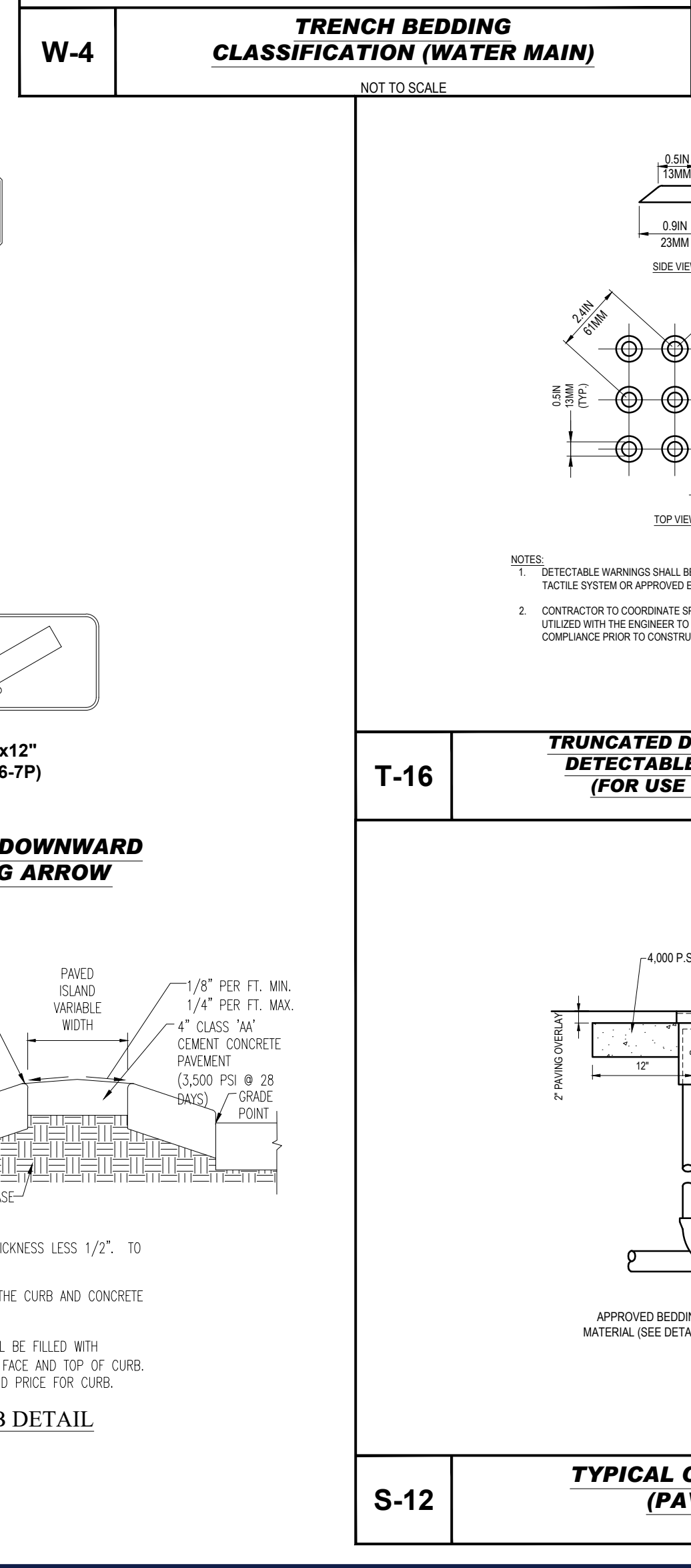
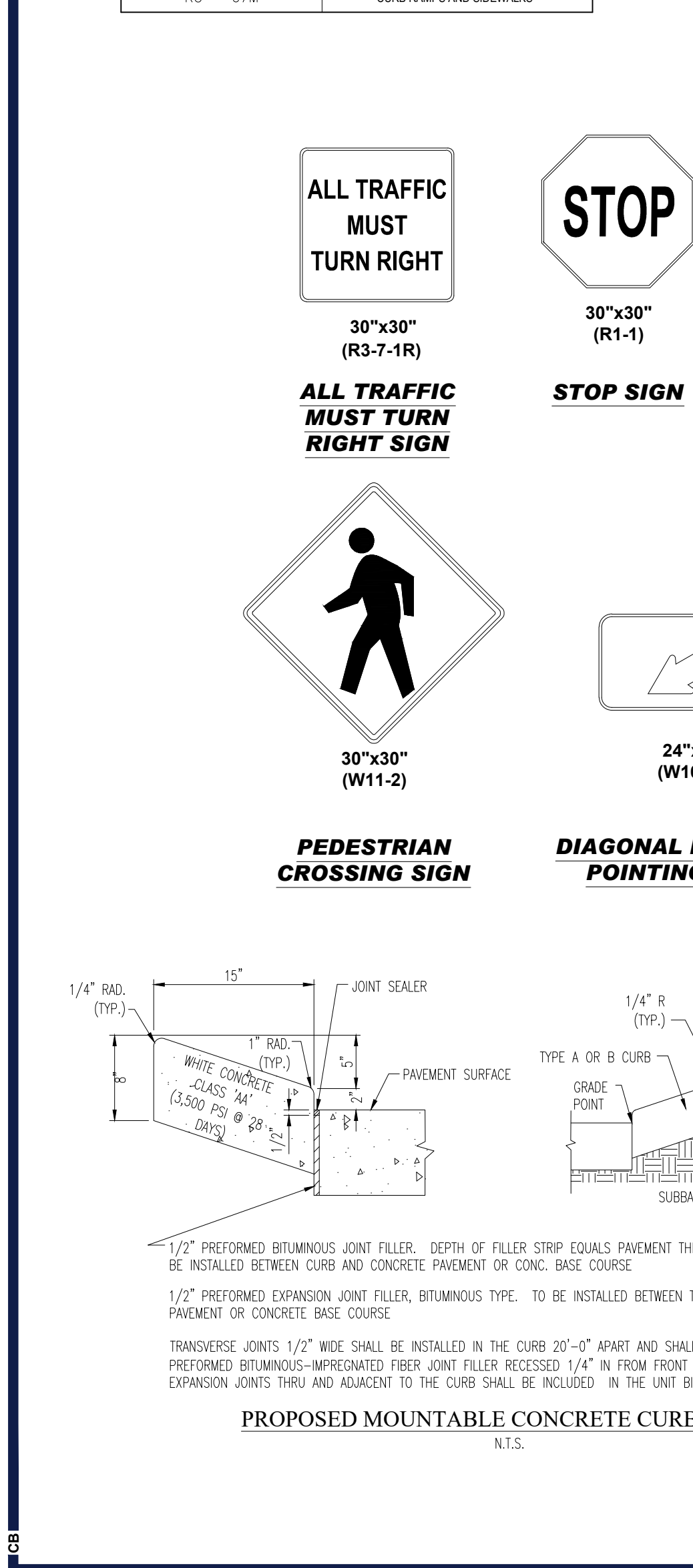
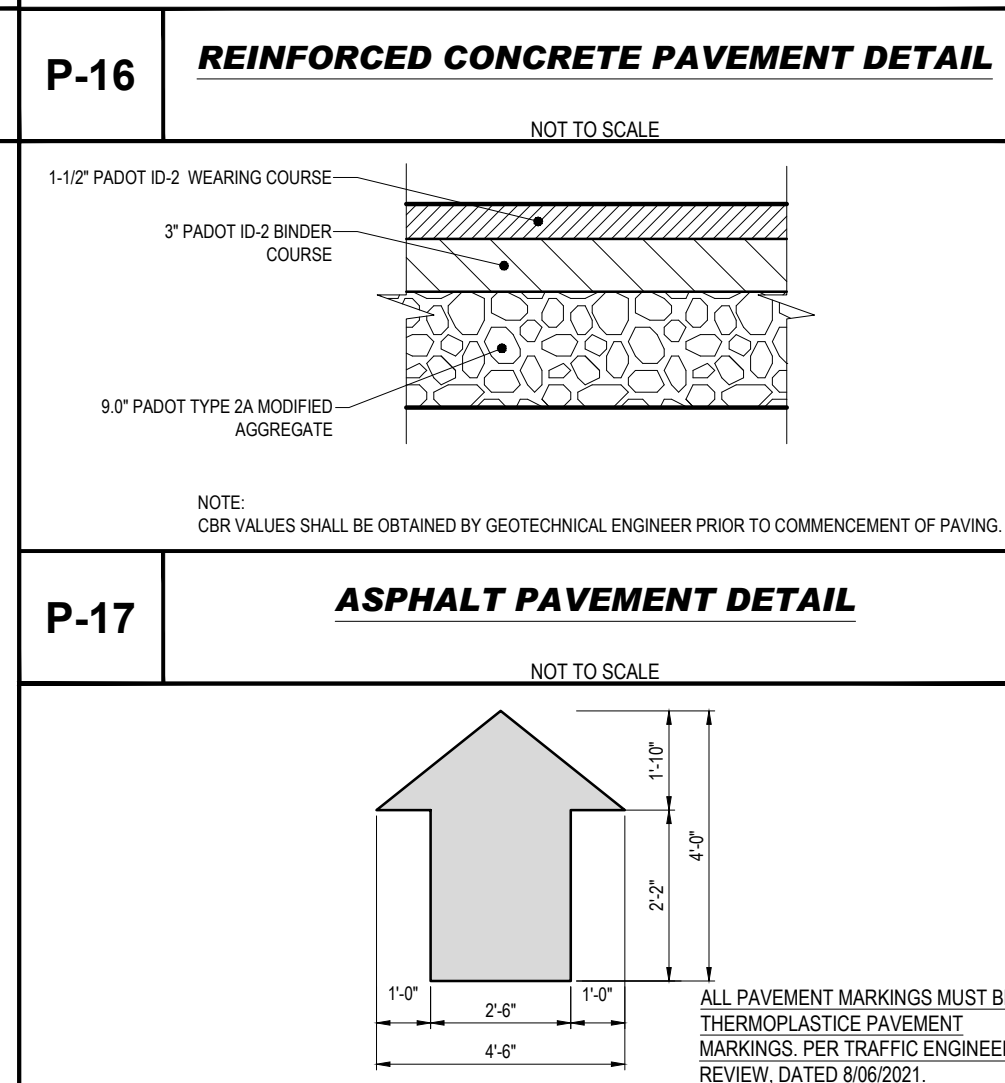
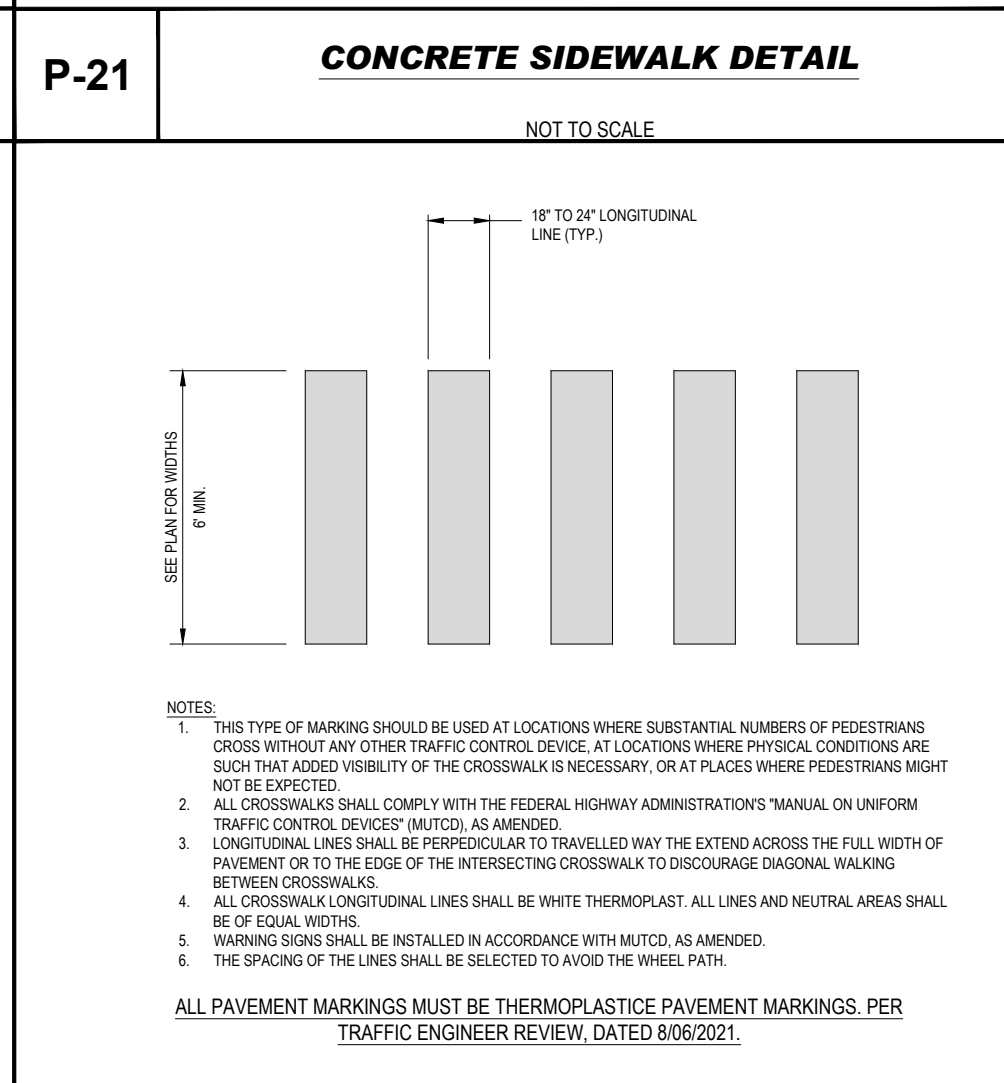
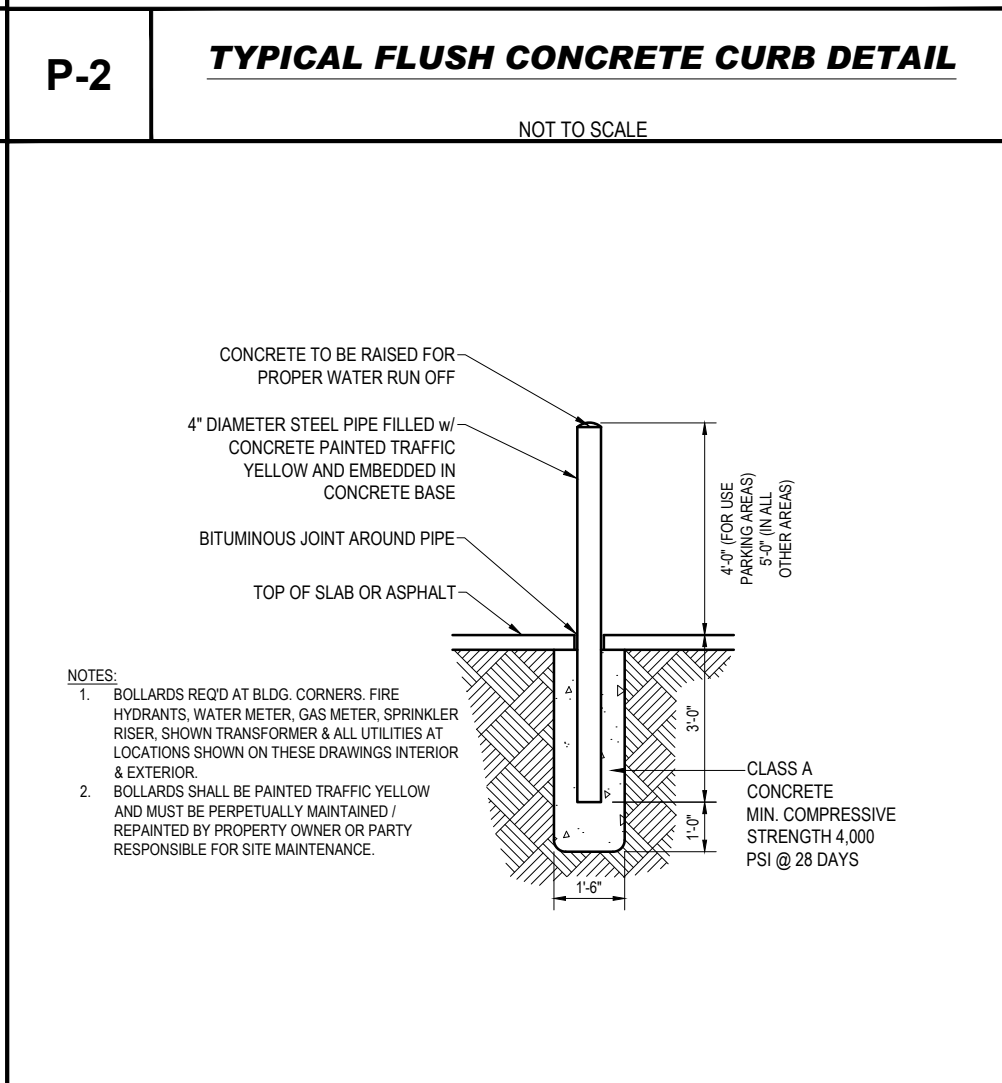
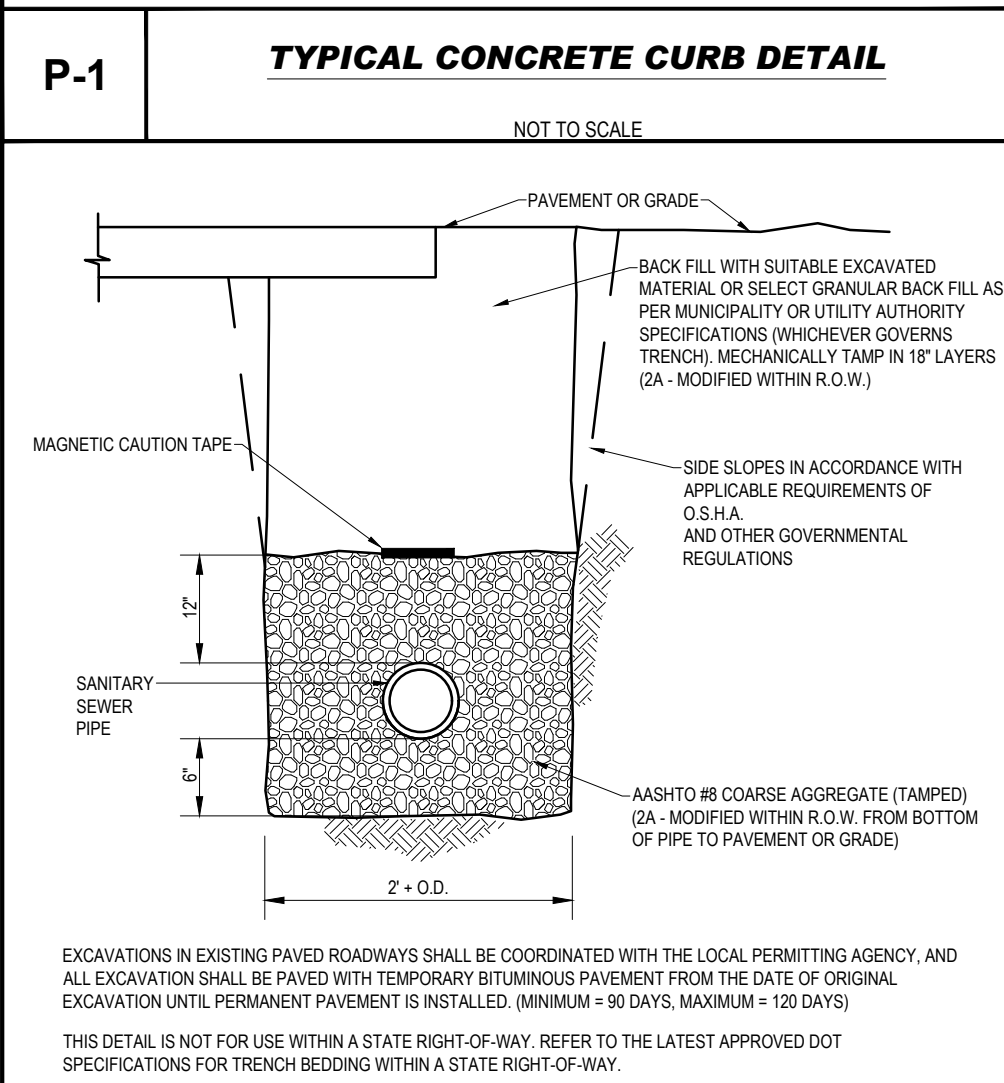
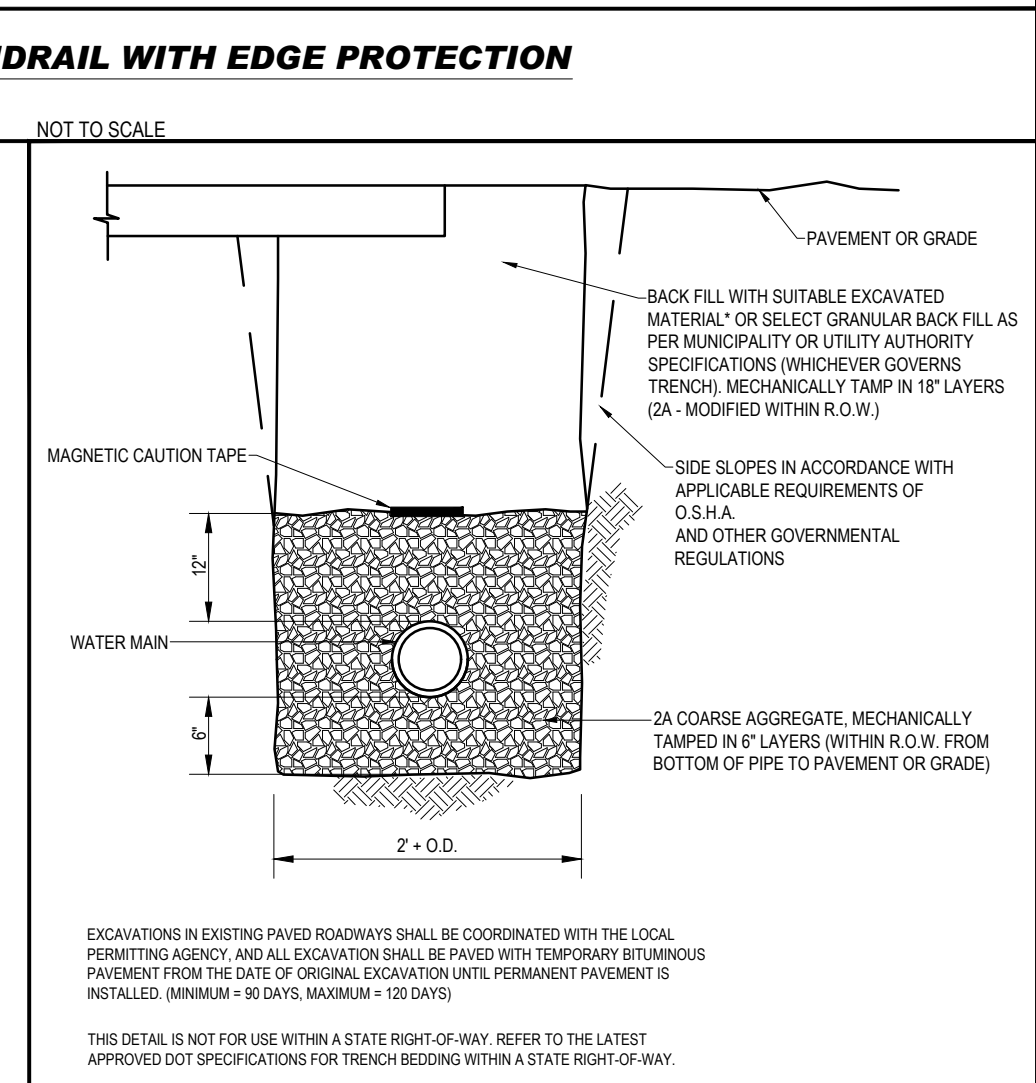


T-25 **FREESTANDING HANDRAIL WITH EDGE PROTECTION**

LIST OF APPLICABLE PADOT DETAILS & STANDARDS

ALL PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

STANDARD DRAWING NUMBER	DRAWING NAME
RC - 26M	CONCRETE PAVEMENT REHABILITATION
RC - 28M	OVERLAY TRANSITIONS AND PAVING NOTCHES
RC - 30M	SUBSURFACE DRAINS
RC - 38M	SANITARY SEWER MANHOLES
RC - 45M	INLET TOPS, GRATES AND FRAMES
RC - 46M	INLET BOXES
RC - 64M	CURBS AND CUTTERS
RC - 67M	CURB RAMPS AND SIDEWALKS



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PROJECT No.: PY212059
 DRAWN BY: SKS
 CHECKED BY: MMC
 DATE: 07/13/2021
 CAD ID: PY212059-CNDS-1A

FINAL LAND DEVELOPMENT PLANS

FOR

ALLENTOWN FOURTH, LLC

PROPOSED POPEYES RESTAURANT W/ DRIVE-THRU

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M.M. HANCOCK & COMPANY

PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE # 1444

SHEET TITLE:

DETAILS

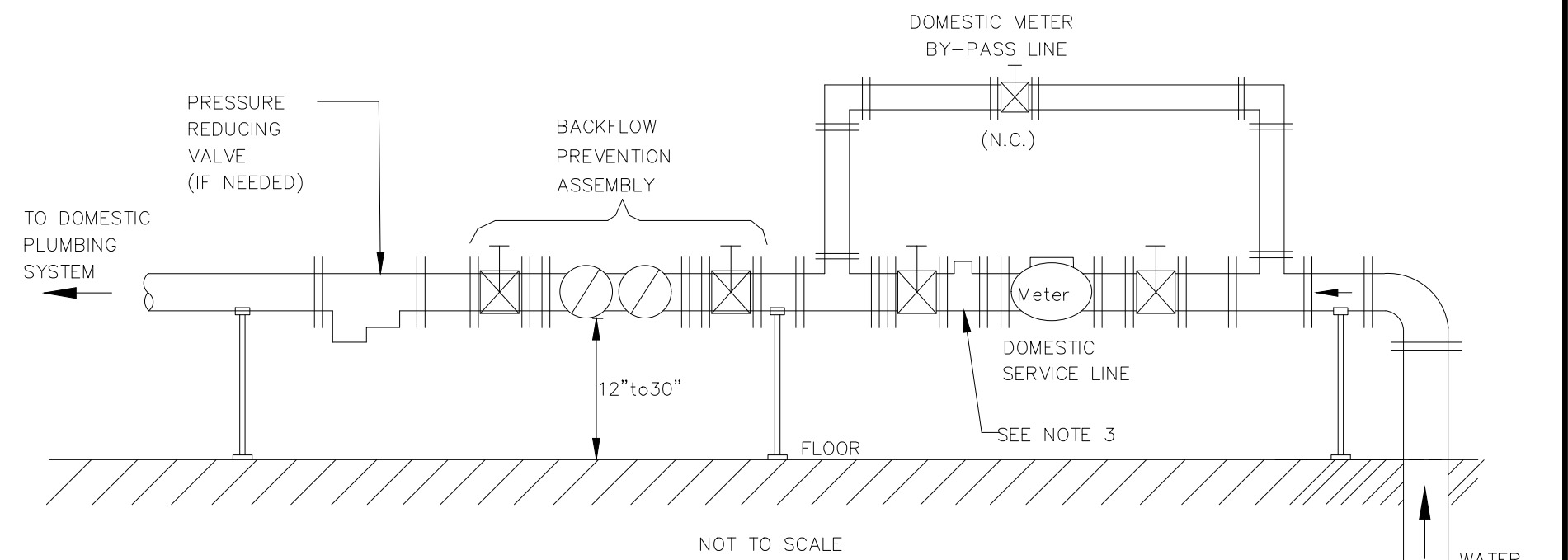
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C-902

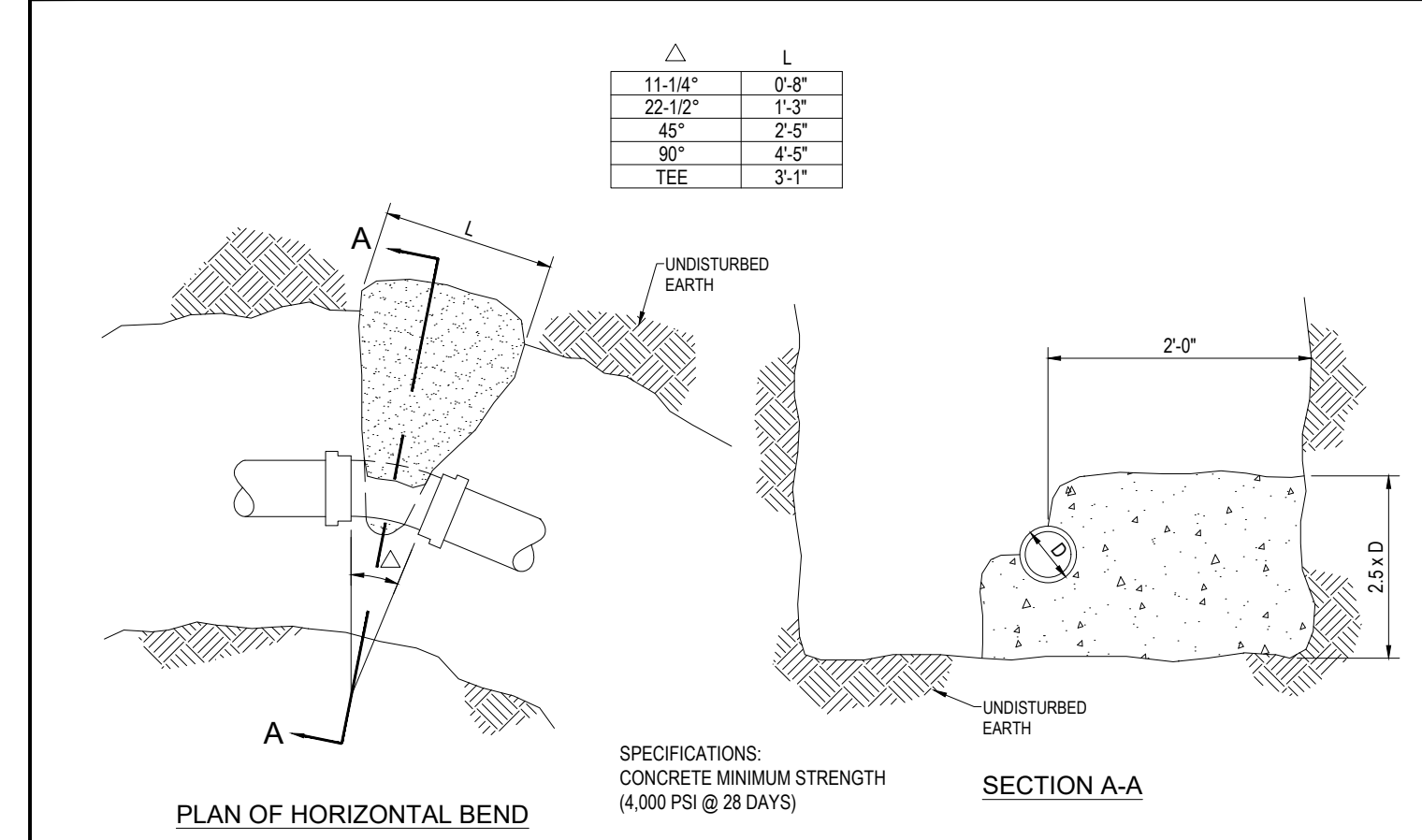
REVISION 1 - 09/12/2021

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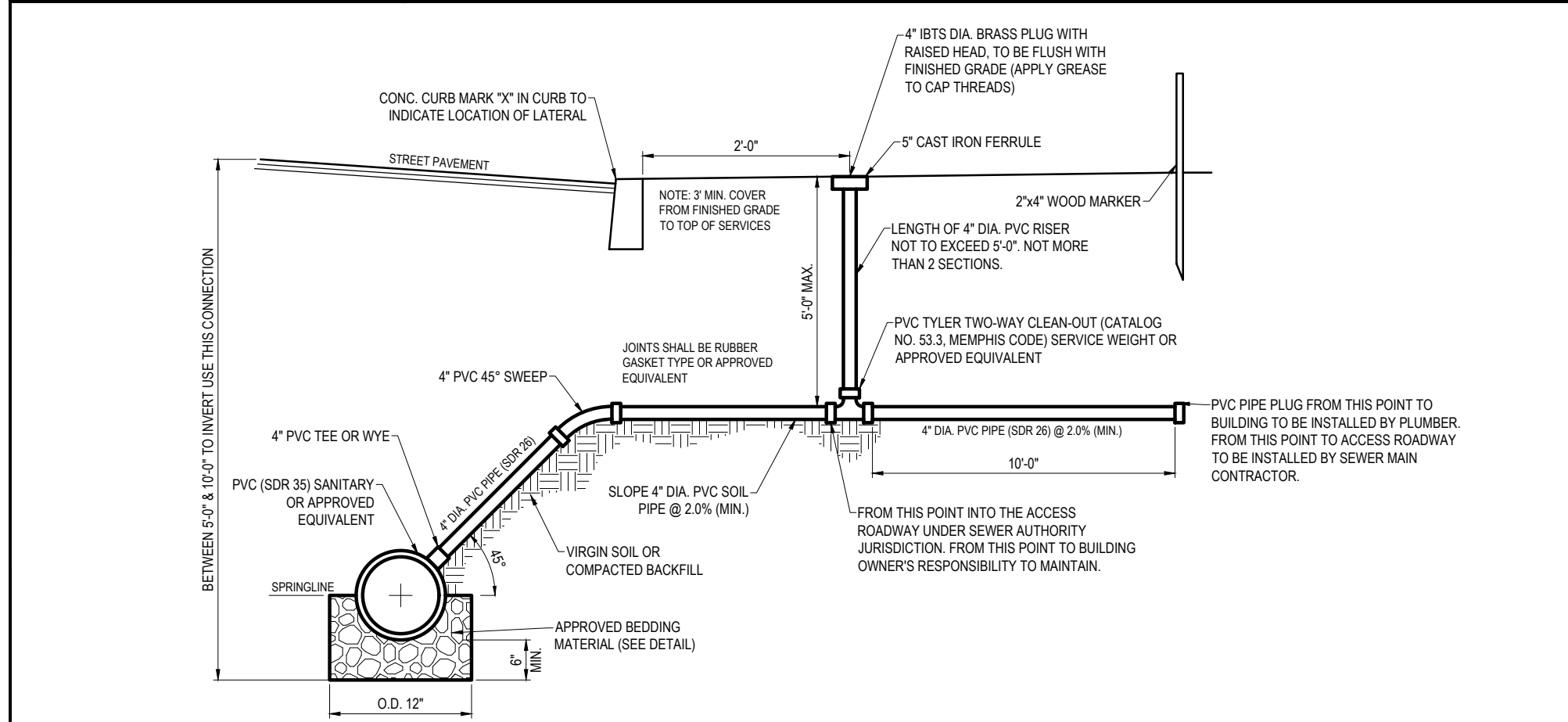
- NOTES:**
- ALL SHUT-OFF VALVES MUST BE FULL-PORT BALL VALVES OR RESILIENT-SEAT GATE VALVES.
 - THE BOTTOM OF ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE LOCATED BETWEEN 12" - 30" FROM THE FLOOR, AND A MINIMUM OF 18" FROM ANY WALL.
 - 1-1/2" AND 2" METERS SHALL HAVE A BRASS TEE AND 1-1/2" PLUG INSTALLED AS INDICATED ON THE SKETCH.
 - ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE APPROVED BY L.C.A. PRIOR TO INSTALLATION.
 - METER BY-PASS LINE IS REQUIRED FOR METERS 1-1/2" AND LARGER.
 - NO CONNECTION UPSTREAM (SYSTEM SIDE) OF THE BACKFLOW PREVENTION ASSEMBLIES.
 - EACH BACKFLOW PREVENTION ASSEMBLY SHALL HAVE A TEST COCK ON THE SUPPLY SIDE OF THE SUPPLY SHUTOFF VALVE.
 - ALL METERS 2" AND SMALLER SHALL BE PURCHASED FROM L.C.A. LARGER METERS SHALL BE APPROVED BY L.C.A.



W-27	WATER SYSTEM STANDARD DETAIL	LEHIGH COUNTY AUTHORITY	REV. DATE: 2/15/19
	SAMPLE INSTALLATION SKETCH DOMESTIC SERVICE LINE COMMERCIAL/INDUSTRIAL FACILITY 1-1/2" & LARGER	P. O. BOX 3348 1053 SPRUCE ROAD ALLENTOWN, PA. 18106	
	DWN. BY: C. R. D. CKD. BY: F. J. L. APR. BY: M. A. B. DATE DWN: 4/10/07		
	DWG. NO. W-27		REV. DATE: 12/13/07

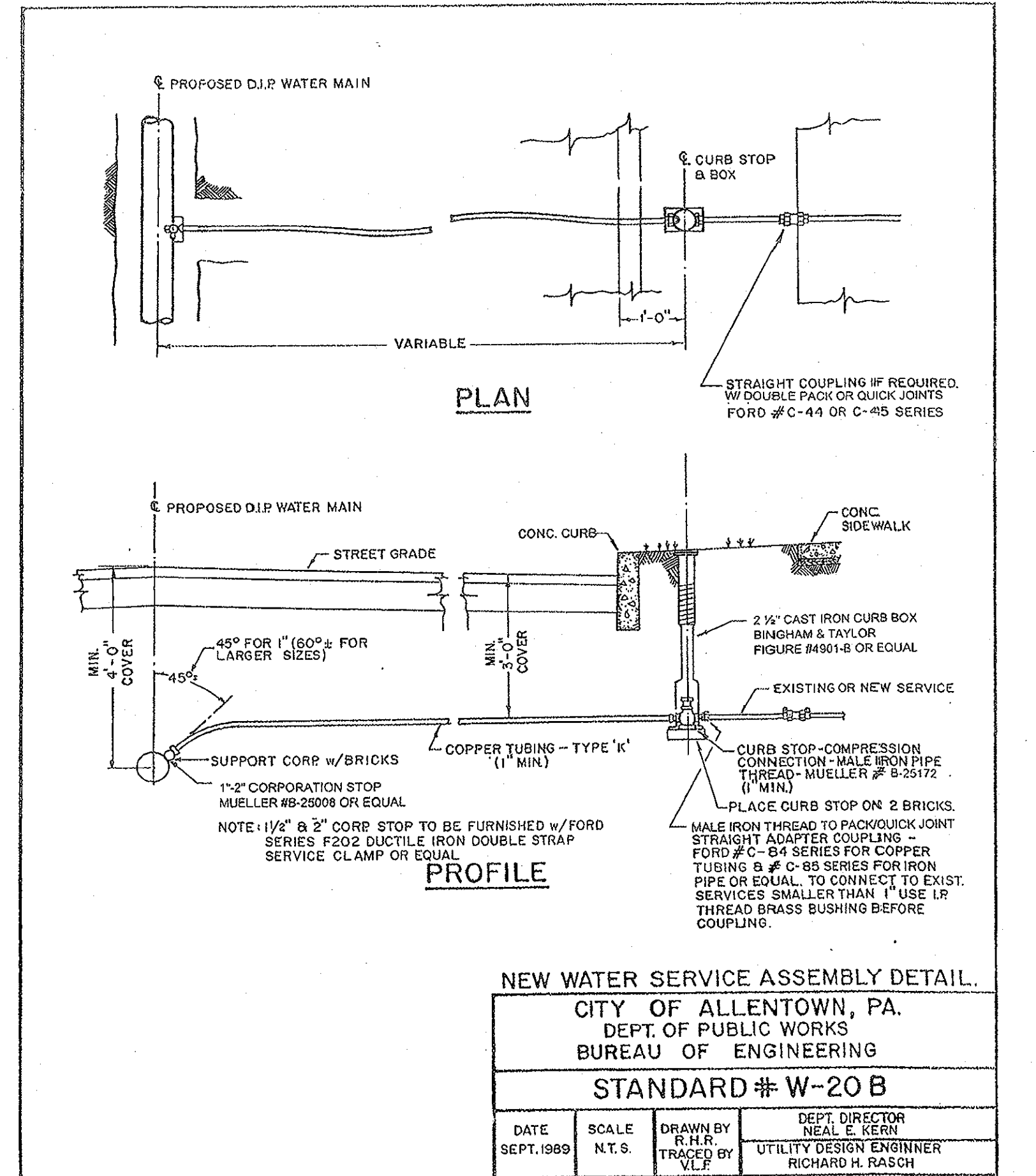


W-1 THRUST BLOCK DETAILS



S-1 TYPICAL SANITARY SEWER LATERAL DETAIL

07/15/2011 PRI 13:17 FAX 215 646 9823 Summit Realty 020/023
07/15/2011 PRI 11:09 FAX 020/023

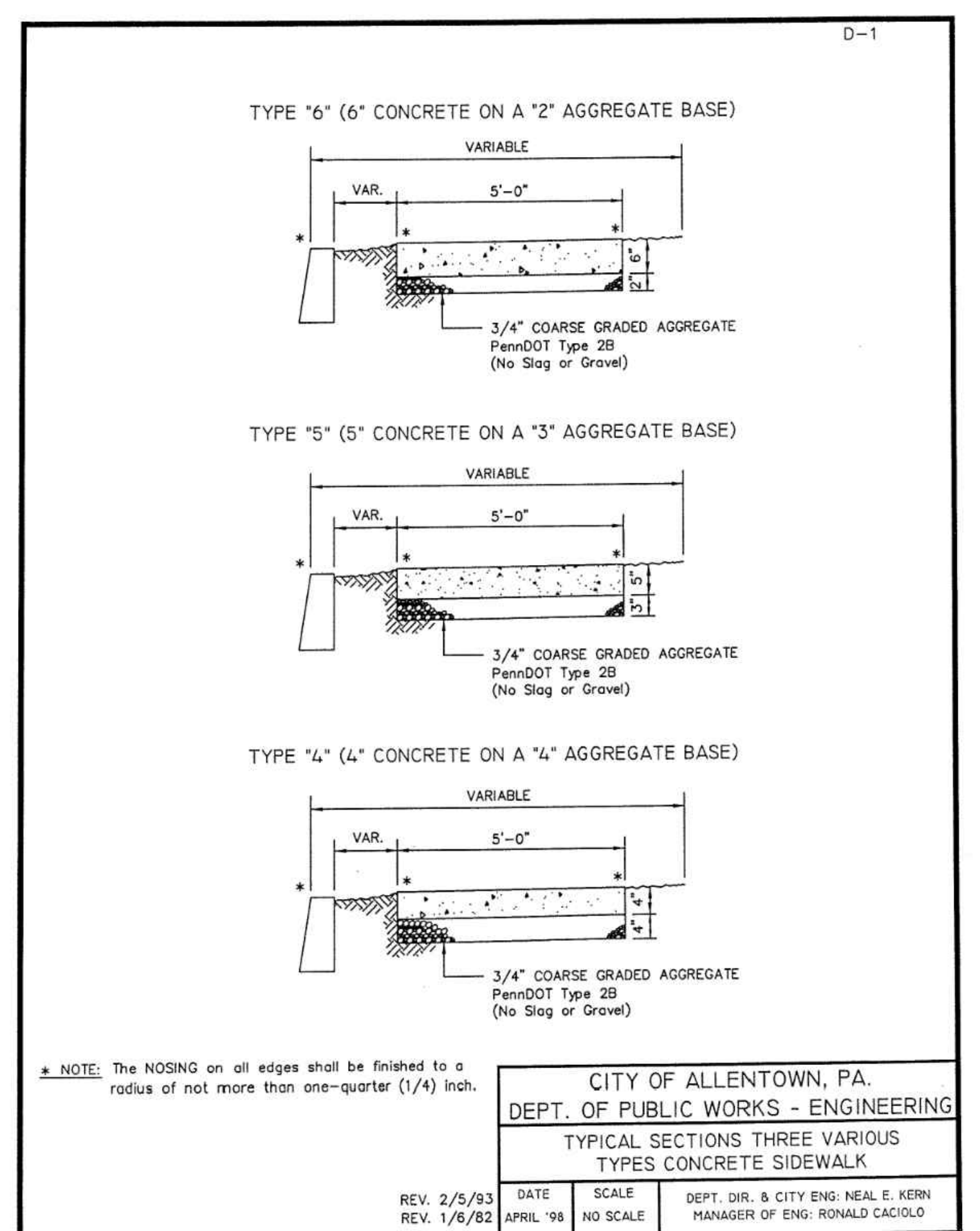


NEW WATER SERVICE ASSEMBLY DETAIL.

CITY OF ALLENTOWN, PA.
DEPT. OF PUBLIC WORKS
BUREAU OF ENGINEERING

STANDARD # W-20 B

DATE	SCALE	DRAWN BY	DEPT. DIRECTOR
SEPT. 1989	N.T.S.	R.H.R. TRUCKED BY V.L.P.	NEAL E. KERIN
			UTILITY DESIGN ENGINEER
			RICHARD H. RASCH

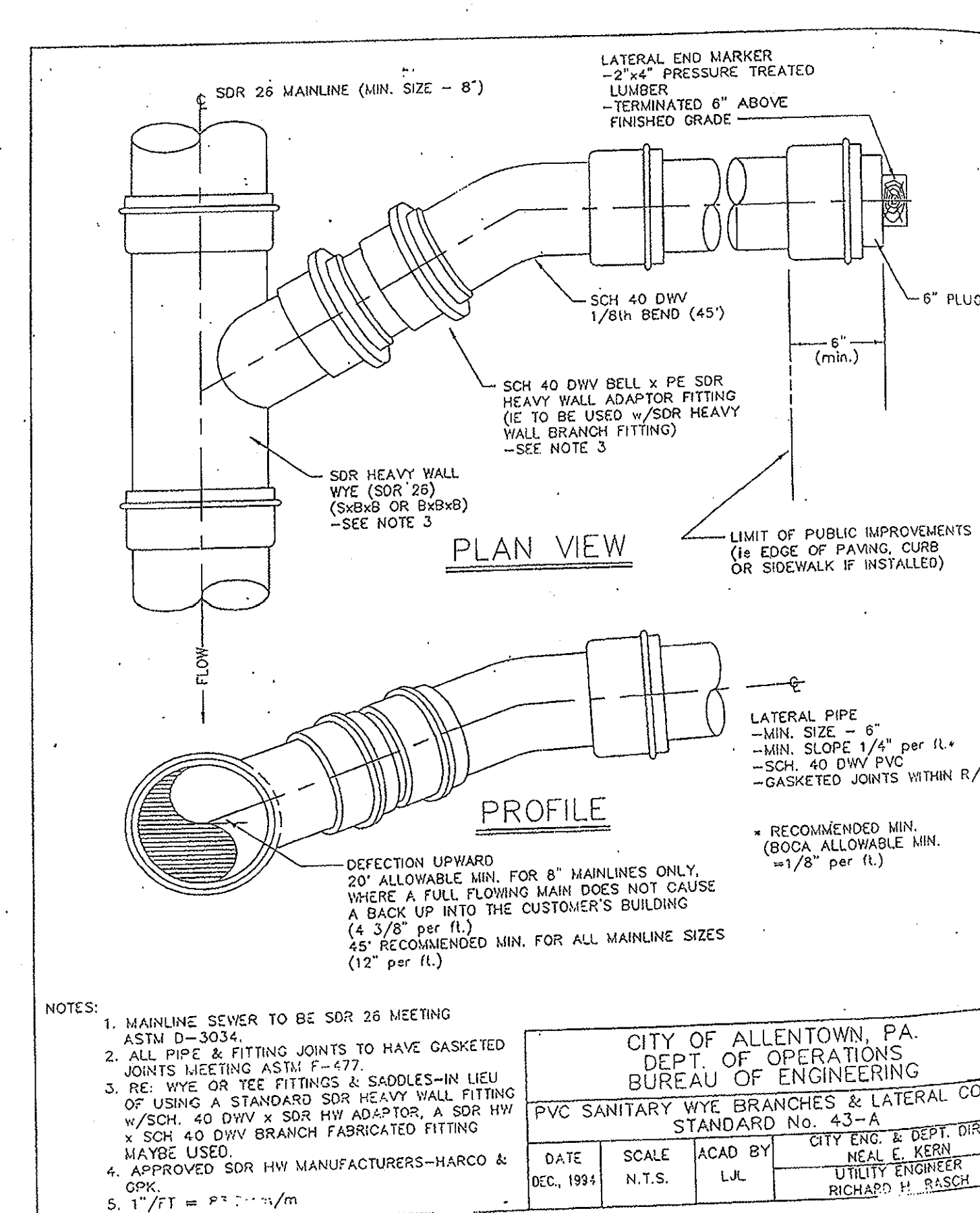


CITY OF ALLENTOWN, PA.
DEPT. OF PUBLIC WORKS - ENGINEERING

TYPICAL SECTIONS THREE VARIOUS TYPES CONCRETE SIDEWALK

REV. DATE	SCALE	DEPT. DIR. & CITY ENG. NEAL E. KERIN
2/5/93	NO SCALE	MANAGER OF ENG. RONALD CACIOLA
1/6/82		

07/15/2011 PRI 13:18 FAX 215 646 9823 Summit Realty 022/023
07/15/2011 PRI 11:11 FAX 022/023



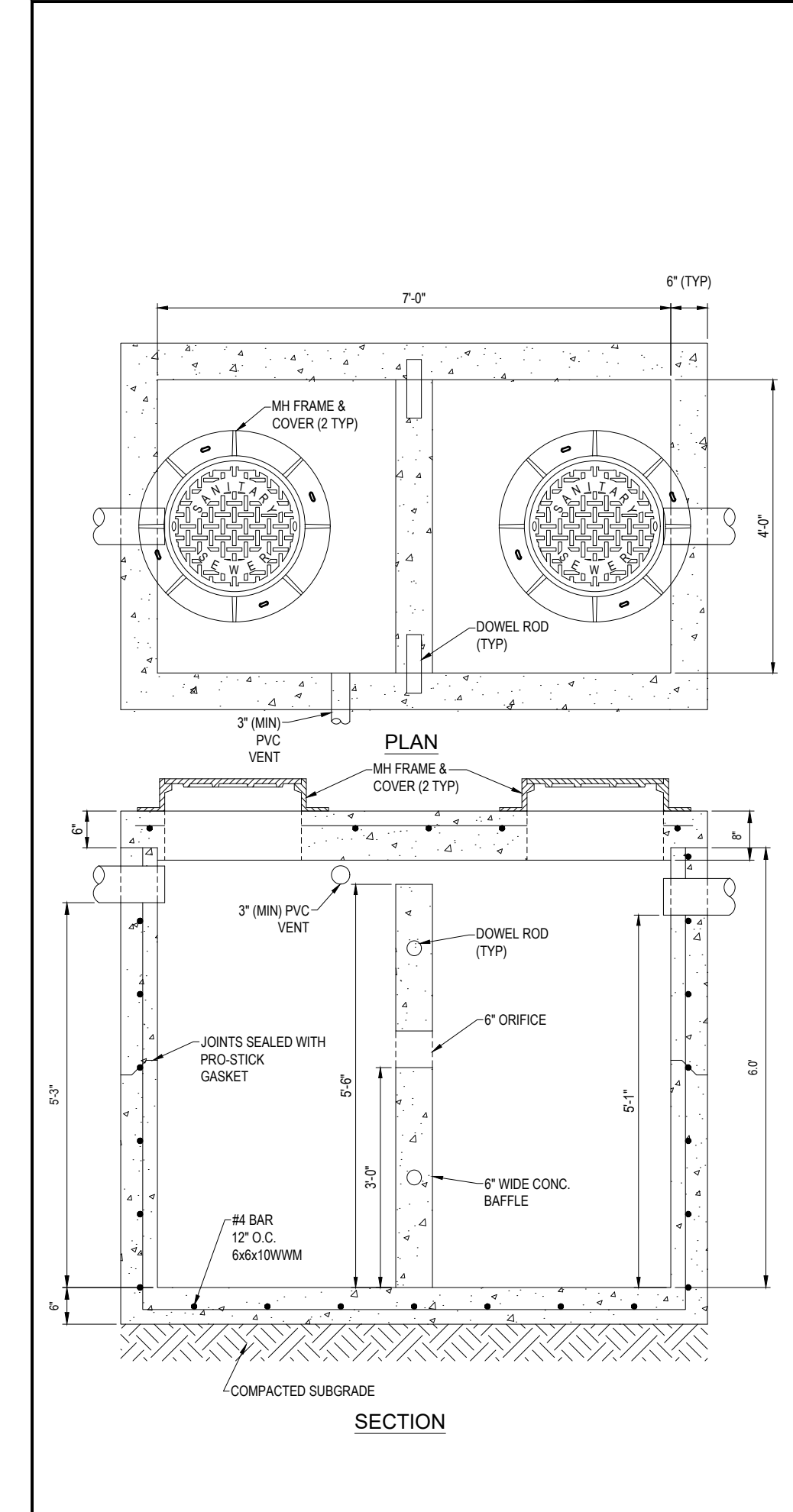
NOTES:

- MAINLINE SEWER TO BE SDR 26 MEETING A.S.T.M. D-3034.
- ALL PIPE & FITTING JOINTS TO HAVE GASKETED JOINTS MEETING A.S.T.M. F-1077.
- RE: WYE OR YEE FITTINGS & SADDLES-IN LIEU OF USING A STANDARD SDR HEAVY WALL FITTING WHERE A FULL FLOWING MAIN DOES NOT CAUSE A BACK UP INTO THE CUSTOMER'S BUILDING (4 3/8" PER FT.) 45° RECOMMENDED MIN. FOR ALL MAINLINE SIZES (12" PER FT.)
- APPROVED SDR HW MANUFACTURERS-HARCO & OPR.
- 1 1/2" = 31.75 mm

CITY OF ALLENTOWN, PA.
DEPT. OF OPERATIONS
BUREAU OF ENGINEERING

PVC SANITARY WYE BRANCHES & LATERAL COV. STANDARD NO. 43-A

DATE	SCALE	ACAD BY	CITY ENG. & DEPT. DIR.
OCT. 1994	N.T.S.	L.J.L.	NEAL E. KERIN
			UTILITY ENGINEER
			RICHARD H. RASCH



S-10 GREASE TRAP DETAIL

NOT TO SCALE

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	09/12/2021	PER CITY COMMENTS	CDB	AMC

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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT NO.: PY212059
DRAWN BY: SKS
CHECKED BY: MMC
DATE: 07/13/2021
CAD ID.: PY212059-CNDS-1A

FINAL LAND DEVELOPMENT PLANS

FOR

ALLENTOWN FOURTH, LLC

PROPOSED POPEYES RESTAURANT W/ DRIVE-THRU

1935 SOUTH 4TH STREET
19TH WARD, CITY OF ALLENTOWN
LEHIGH COUNTY
PENNSYLVANIA

BOHLER
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

M.M. AND R. RASCH
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA
EXPIRES 12/31/2024
PE074464
REC050518

SHEET TITLE:

DETAILS

SHEET NUMBER:

C-903

REVISION 1 - 09/12/2021