

PLANNING MODULE APPLICATION

FOR

**207 NORTH FRONT STREET
URBAN TRANSITION MULTI-FAMILY DEVELOPMENT
207 N. FRONT STREET
ALLENTOWN, PA 18101**

**CITY OF ALLENTOWN
LEHIGH COUNTY
PENNSYLVANIA**

JUNE 2021

Prepared For:

Lehigh River Development Corp. I, LLC
114 W. Allen Street
Allentown, PA 18102

Prepared By:



532 W. Hamilton Street
Suite 8
Allentown, PA 18101

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SECTION 1.0

AGENCY COORDINATION CHECKLIST

Date 11/30/2020

Name CIVITAS REGIO

Address 532 W. HAMILTON ST., SUITE 8
ALLENTOWN, PA 18101
C/O MIMAL AMIN

RE: Planning Module for New Land Development

Subdivision 207 N. FRONT ST.

MULTI-RESIDENTIAL & COMMERCIAL ~~5302 GPD~~ 5,552 GPD

CITY OF ALLENTOWN, LEHIGH County

DEP Code No: 2-39001242-3

Dear:

In response to your postcard application, enclosed are the applicable planning modules required for the proposed development. Please submit the completed planning module and supporting information to the municipality(ies) in which the project is located. The Department must receive 3 copies. Please answer all questions. Do Not answer "N/A" or "Not Applicable". If you find a question does not apply, explain all reasons to support that answer.

A copy of the letter MUST be attached to the planning module when resubmitted through the municipality to the Department. This letter is to be used as a completion checklist and guide to completing the planning modules and does not supersede the rules and regulations found in Chapter 71. The municipality must submit the complete module package to the Department, (see end of letter for certification statement).

Effective December 15, 1995 Act 149 required the Department to assess planning module review fees. This fee is based on the type of development and total equivalent dwelling units proposed. The applicant will be billed upon Department approval or denial of the project.

If you are applying for a planning module exemption for this project, the exemption was not granted for the following reason(s):

<u>Materials required</u>	<u>Municipal Checklist</u>	<u>DEP Completeness Review</u>
X		Department cover/Checklist letter
X		Transmittal letter, completed and signed by the Municipal Secretary.
X		Resolution of Adoption completed and signed by the Municipal Secretary and containing the municipal seal.
		Component 2-Follow attached guidance.
X		Component 3-Follow attached guidance.
		Component 3s-Follow attached guidance.
X		Component 4a-Municipal Planning Agency Review
X		Component 4b-County Planning Agency Review
		Potential Impact(s) has occurred based on your search of the PA Natural Diversity Inventory. These issues must be resolved with each agency before the Department's review of Planning Modules can occur.
		Sewage management program as per 25 Pa. Code Subsection 71.72
		Hydrogeologic Study -- Analysis of interbasin transfer of water between a Special Protection watershed into a Non-Special Protection watershed.
		Delaware River Basin Commission Notice of Applications Received (NAR) for projects with sewage flows exceeding 10,000 GPD.
		Preliminary hydrogeology
		Permeability testing, to be determined at site testing
		Detailed hydrogeologic study

required Checklist

Completeness
Review

_____ _____ Socio-economic justification _____

_____ _____ If the project is located in a Special
Protection Watershed, please submit an
Antidegradation Analysis meeting the
Requirement of Chapter 93.4(b), 93.4(a)
and 93.4c(b)(2) _____

In all cases, address the immediate and long range sewage disposal needs of the proposal and comply with 25 Pa. Code, Chapter 71, Subchapter C relating to New Land Development Plan Revisions.

Please note that the Department will return the planning module package if an incomplete revision is submitted.

Sincerely,



Robert T. Corby, Jr.
Sewage Planning Specialist
Clean Water Program

CERTIFICATION STATEMENT

I certify that this submittal is complete and includes all requested items. Failure to submit a complete module package will result in return of package.

Municipal Address _____

Municipal Telephone Number _____

Signed: _____, Municipal Secretary

List below any individuals and address that should be copied if the planning module is returned to the municipality (if address is not provided, no copy will be sent):

SECTION 2.0

TRANSMITTAL LETTER & RESOLUTION



**TRANSMITTAL LETTER
 FOR SEWAGE FACILITIES PLANNING MODULE**

DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency)

Date _____

PA DEP Bethlehem District Office (Bob Corby)
4530 Bath Pike
Bethlehem, PA 18017

Dear Sir/Madam:

Attached please find a completed sewage facilities planning module prepared by Minal Amin
207 N. Front Street Urban Transition (Name)
Project Engineer for Multi-Family Development (Name)
 (Title) for a subdivision, commercial ,or industrial facility located in City of Allentown
Lehigh County County.
 (City, Borough, Township)

Check one

(i) The planning module, as prepared and submitted by the applicant, is approved by the municipality as a proposed revision supplement for new land development to its Official Sewage Facilities Plan (Official Plan), and is adopted for submission to DEP transmitted to the delegated LA for approval in accordance with the requirements of 25 Pa. Code Chapter 71 and the *Pennsylvania Sewage Facilities Act* (35 P.S. §750),

OR

(ii) The planning module will not be approved by the municipality as a proposed revision or supplement for new land development to its Official Plan because the project described therein is unacceptable for the reason(s) checked below:

Check Boxes

- Additional studies are being performed by or on behalf of this municipality which may have an effect on the planning module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- The planning module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, 25 Pa. Code Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- Other (attach additional sheet giving specifics).

Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the approving agency.

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Resolution of Adoption | <input checked="" type="checkbox"/> 3 Sewage Collection/Treatment Facilities | <input checked="" type="checkbox"/> 4A Municipal Planning Agency Review |
| <input checked="" type="checkbox"/> Module Completeness Checklist | <input type="checkbox"/> 3s Small Flow Treatment Facilities | <input checked="" type="checkbox"/> 4B County Planning Agency Review |
| <input type="checkbox"/> 2 Individual and Community Onlot Disposal of Sewage | | <input type="checkbox"/> 4C County or Joint Health Department Review |

Municipal Secretary (print)

Signature

Date



RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE (SUPERVISORS) (COMMISSIONERS) (COUNCILMEN) of Allentown
(TOWNSHIP) (BOROUGH) (CITY), Lehigh COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

Lehigh River Development

WHEREAS Corp. I, LLC land developer has proposed the development of a parcel of land identified as

207 N. Front Street Urban Residential

Multi-Family Development name of subdivision, and described in the attached Sewage Facilities Planning Module, and

proposes that such subdivision be served by: (check all that apply), sewer tap-ins, sewer extension, new treatment facility, individual onlot systems, community onlot systems, spray irrigation, retaining tanks, other, (please specify) _____

WHEREAS, City of Allentown municipality finds that the subdivision described in the attached

Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the (Supervisors) (Commissioners) (Councilmen) of the (Township) (Borough) (City) of Allentown hereby adopt and submit to DEP for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, _____
(Signature)

Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # _____, adopted, _____, 20____.

Municipal Address:

*Seal of
Governing Body*

Telephone _____

SECTION 3.0

SEWAGE FACILITIES PLANNING MODULE COMPONENT 3



1053 SPRUCE ROAD * P.O. BOX 3348 * ALLENTOWN, PA 18106-0348
 610-398-2503 * FAX 610-398-8413 * www.lehighcountyauthority.org
 email: service@lehighcountyauthority.org

January 20, 2021

Irene Woodward
 Director of Planning
 City of Allentown
 435 Hamilton Street
 Allentown, PA 18101

RE: 207 N Front Street Adaptive Reuse Development, 207 N. Front Street, City of Allentown
 Sewer Module - Chapter 94 Consistency Determination – Appendix A

Dear Mrs. Woodward:

This letter and approval for the attached Sewage Facilities Planning Module is based on the current estimate of available wastewater capacity. This letter does not promise, guarantee or assure any future conveyance or treatment allocation without compliance with all applicable rules and regulations, payment of all necessary fees and availability of the respective allocation at that time.

In accordance with the Interim Act 537 Plan submitted to the Pa. Department of Environmental Protection by the Kline’s Island Sewer System (KISS) municipalities on September 4, 2020, an amount equal to the property or development’s wastewater flow will be allocated from the Connection Management Plan at the time of approval of the Sewage Facilities Planning Module. This property or development’s wastewater flow need, as represented in the attached Sewage Planning Module, is 5,552 gallons per day. Therefore, the Connection Management Plan balance will be adjusted as follows:

2020 Connection Management Plan Allocation (all numbers in gallons per day)	1,500,000
2021-2025 Connection Management Plan Allocation	2,919,426
Previously allocated from prior planning module submissions (since 1/17/20)	-792,431
This submission	-5,552
Remaining Allocation in KISS Connection Management Plan (as of 1/20/2021)	3,621,443

Please contact me if you have any questions about this information.

Sincerely,

Liesel M. Gross
 Chief Executive Officer

cc: Scott Novatnak, DEP
 Robert Corby, DEP
 Craig Messinger, COA



LEHIGH COUNTY AUTHORITY

1053 SPRUCE ROAD * P.O. BOX 3348 * ALLENTOWN, PA 18106-0348
610-398-2503 * FAX 610-398-8413 * www.lehighcountyauthority.org
email: service@lehighcountyauthority.org

Phil DePoe, LCA
Minal Amin, Civitas Regio



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

Code No.

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

- Project Name 207 N. Front Street Adaptive Reuse Development
- Brief Project Description Renovate and enhance the existing structure located at 207 N. Front Street, creating approximately 10,570 SF of office space, 6,064 SF of warehouse/wholesale sales, and 25 apartment units.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Allentown	Lehigh	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Woodward	Irene			
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
435 Hamilton Street	4 th Floor			
Address Last Line -- City	State	ZIP+4		
Allentown	PA	18101+1603		
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
610-437-7611		irene.woodward@allentown.gov		

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

207 N. Front Street Adaptive Reuse Development

Site Location Line 1

207-247 N. Front Street

Site Location Line 2

Site Location Last Line -- City

Allentown

State

PA

ZIP+4

18102+5307

Latitude

40° 36'

36.6" N

Longitude

75° 27'

27.6" W

Detailed Written Directions to Site From US-22 take the Fullerton Avenue exit and turn right onto Fullerton Avenue. Continue on Fullerton Avenue (which becomes N. Front Street at the American Parkway intersection) for 1.6 miles. Site will be located on the left.

Description of Site The site currently consists of a vacant furniture warehouse.

Site Contact (Developer/Owner)

Last Name

Palumbo

First Name

John

MI Suffix

Phone

484-525-3717

Ext.

Site Contact Title

Site Contact Firm (if none, leave blank)

Lehigh River Development Corp. I, LLC

FAX

Email

jpalumbo@manhattanbuildingcompany.com

Mailing Address Line 1

300 Coles Street

Mailing Address Line 2

Suite 2

Mailing Address Last Line -- City

Jersey City

State

NJ

ZIP+4

07310-1045

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name

Amin

First Name

Minal

MI Suffix

H

Title

Project Engineer

Consulting Firm Name

Civitas Regio, LLC

Mailing Address Line 1

532 W. Hamilton Street

Mailing Address Line 2

Suite 8

Address Last Line -- City

Allentown

State

PA

ZIP+4

18101-1529

Country

United States

Email

minal.amin@civitasregio.com

Area Code + Phone

717-512-1978

Ext.

Area Code + FAX

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: Lehigh County Authority

F. PROJECT NARRATIVE (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
 Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number N/A

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 23.33 (Per City 238 GPD/EDU ; 13.88 DEP EDUs at 1 EDU = 400 GPD)

Connections 1

Name of:

existing collection or conveyance system City of Allentown

owner City of Allentown - LCA, Lessee

existing interceptor Jordan Creek Interceptor

owner City of Allentown - LCA, Lessee

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility City of Allentown Wastewater Treatment Plant (Kline's Island WWTP)

NPDES Permit Number for existing facility PA-26000

Clean Streams Law Permit Number N/A

Location of discharge point for a new facility. Latitude _____ Longitude _____

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the City of Allentown - Kline's Island WWTP (Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality City of Allentown, Lehigh County Authority, Authority Agent

Name of Responsible Agent Liesel M Gross

Agent Signature [Signature] Date 1/20/2021

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice (CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 5552 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd) MGD		b. Present Flows (gpd) MGD		c. Projected Flows in 5 years (gpd) MGD (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	0.70	2.81	0.23	2.20	0.30	2.27
Conveyance	58	81	30	78 ⁽¹⁾	31	80 ⁽¹⁾
Treatment	40	40	32.3	40	33.4	42

3. Collection and Conveyance Facilities (1) Peak Hourly Flow - Estimated

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. YES NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

- b. Collection System

Name of Agency, Authority, Municipality City of Allentown, Lehigh County Authority, Authority Agent

Name of Responsible Agent Liesel M. Gross

Agent Signature  Date 1/20/2021

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality City of Allentown, Lehigh County Authority, Authority Agent

Name of Responsible Agent Liesel M Gross

Agent Signature *Liesel M Gross*

Date 1/20/2021

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a.]] This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality City of Allentown, Lehigh County Authority, Authority Agent

Name of Responsible Agent Liesel M. Gross

Agent Signature *Liesel M Gross*

Date 1/20/2021

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions)

- The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)

- The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows _____ gpd

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. Does the project propose the construction of a sewage treatment facility ?
2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. Does the project involve a major change in established growth projections?
8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
- the public notice,
 - all comments received as a result of the notice,
 - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Minal H Amin

Name (Print)

Minal H Amin
Signature

Project Engineer

Title

1/5/2021

Date

532 W. Hamilton Street

Address

717-512-1978

Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$694 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#13.88 \quad \text{Lots (or EDUs)} \times \$50.00 = \$ 694$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.

2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

$$\begin{aligned} & \$ 1,500 \text{ per submittal (non-municipal)} \\ & \$ 500 \text{ per submittal (municipal)} \end{aligned}$$

- B. An increase in an existing surface discharge will use:

$$\# \quad \text{Lots (or EDUs)} \times \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

$$\begin{aligned} & \$ 1,500 \text{ per submittal (non-municipal)} \\ & \$ 500 \text{ per submittal (municipal)} \end{aligned}$$

SECTION 3.1

LEHIGH COUNTY AUTHORITY – WATER CAPACITY LETTER



LEHIGH COUNTY AUTHORITY 1053 SPRUCE ROAD * P.O. BOX 3348 * ALLENTOWN, PA 18106-0348
610-398-2503 * FAX 610-398-8413 * www.lehighcountyauthority.org
email: service@lehighcountyauthority.org

December 4, 2020

Mrs. Irene Woodward
Planning Director
City of Allentown
435 Hamilton Street
Allentown, PA 18101

SUBJECT: Minor Land Development – 207 North Front Street
Will Serve - Sewer Service

Dear Mrs. Woodward:

Lehigh County Authority (LCA) is willing to provide public water service in the requested amount of 3,721 GPD to the proposed apartment/warehouse building located at 207 North Front Street.

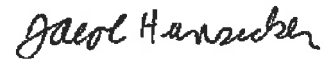
LCA has ample capacity to provide water service to this development and the service is presently available in the adjacent streets.

Tapping fees, connection fees, and meter fees are based upon the City of Allentown's ordinances and LCA's schedule of rate fees. Any abandoned lines must be properly capped.

Water service is conditioned upon the following:

1. LCA approval of the site, plumbing and fire protection system plans.
2. Developer obtaining any road opening permits from the municipality and/or PA-DOT to construct the water mains and/or services.
3. Developer executing a Developer's Water System Agreement or a Construction Permit with LCA for construction of the water mains and/or services.
4. Developer installation of water mains and/or services in accordance with the approved plans and applicable LCA policies and regulations, including the current General Specifications for Water System Construction.
5. Developer compliance with the terms and conditions of LCA's Rules and Regulations for Water Service, including completion of an Application for Water Service and payment of all applicable fees. Tapping fees shall be paid to LCA prior to building permits being provided by the City.

Sincerely,

A handwritten signature in black ink that reads "Jacob Hunsicker". The signature is written in a cursive style with a large initial 'J' and 'H'.

Jacob Hunsicker
Capital Works Project Specialist

Cc: Minal Amin, Civitas Regio

SECTION 3.2

LEHIGH COUNTY AUTHORITY – SEWER CAPACITY LETTER



LEHIGH COUNTY AUTHORITY 1053 SPRUCE ROAD * P.O. BOX 3348 * ALLENTOWN, PA 18106-0348
610-398-2503 * FAX 610-398-8413 * www.lehighcountyauthority.org
email: service@lehighcountyauthority.org

December 4, 2020

Mrs. Irene Woodward
Planning Director
City of Allentown
435 Hamilton Street
Allentown, PA 18101

SUBJECT: Minor Land Development – 207 North Front Street
Will Serve - Sewer Service

Dear Mrs. Woodward:

Lehigh County Authority (LCA) is willing to provide public sewer service in the requested amount of 5,552 GPD to the proposed apartment/warehouse building located at 207 North Front Street. The final GPD total will be reflected on the approved DEP sewer planning module.

LCA has capacity at this time to provide sewer service in our collection system and at the city wastewater treatment plant for this development.

Tapping fees will be based upon the City of Allentown's ordinances and LCA's schedule of rate fees.

Sewer service is conditioned upon the following:

1. The developer obtaining approval of a PA-DEP Sewage Facilities Planning Module.
2. LCA approval of the site and plumbing plans.
3. Developer obtaining any road opening permits from the municipality and/or PA-DOT to construct the sewer mains and/or services.
4. Developer executing a Developer's Sewer System Agreement or a Construction Permit with LCA for construction of the sewer mains and/or services.
5. Developer installation of the sewer system in accordance with the approved plans and applicable LCA policies and regulations, including the current General Specifications for Sewer System Construction.
6. Developer compliance with the terms and conditions of LCA's Rules and Regulations for Sewer Service, including completion of an Application for Sewer Service and payment of applicable fees and charges in its Schedule of Wastewater Rates & Charges. Tapping fees shall be paid to LCA prior to building permits being provided by the City.

Sincerely,

A handwritten signature in black ink that reads "Jacob Hunsicker". The signature is written in a cursive, slightly slanted style.

Jacob Hunsicker
Capital Works Project Specialist

Cc: Minal Amin, Civitas Regio

SECTION 3.3

PROJECT NARRATIVE



Project Narrative

Lehigh River Development Corp. I, LLC proposes to redevelop and enhance the existing site of the vacant furniture warehouse building located at 207 N. Front Street, Allentown, PA. The total property is 0.76 acres. The proposed project includes repurposing the existing warehouse building into apartments, office space, and warehouse/wholesale sales space, including the addition of a third story to the existing structure. The proposed redevelopment will also include all necessary site improvements on the property.

The project area is bound by N. Front St. to the West, an existing structure to the North, a wooded area and Boyle Park to the East, and N. Front St. to the South.

The proposed redevelopment will include approximately 25 apartment units, 10,570 SF of office space, and 6,064 SF of warehouse space. The planned sanitary sewer flows generated from the project, calculated pursuant to City of Allentown guidelines are:

City of Allentown: 1 EDU = 238 GPD

Residential - Apartments (Article 947.04): 0.8 EDU / Apartment Unit

Offices (Article 947.04): 0.0002 EDU / SF Gross Floor Area

Warehouse (Article 947.04): 0.0002 EDU / SF Gross Floor Area

$(0.8 \text{ EDU/Apartment Unit}) \times (238 \text{ GPD/1 EDU}) = 190.4 \text{ GPD/Apartment Unit}$

$25 \text{ Apartment Units} \times 190.4 \text{ GPD/Apartment Unit} = 4,760 \text{ GPD}$

$4,569.6 \text{ GPD} \times (1 \text{ EDU} / 238 \text{ GPD}) = 19.2 \text{ EDUs}$

$(0.0002 \text{ EDU/ SF Office Space}) \times (238 \text{ GPD/1 EDU}) = 0.0476 \text{ GPD/SF Office Space}$

$10,570 \text{ SF Office Space} \times 0.0476 \text{ GPD/SF Office Space} = 503.13 \text{ GPD}$

$503.13 \text{ GPD} \times (1 \text{ EDU} / 238 \text{ GPD}) = 2.11 \text{ EDUs}$

$(0.0002 \text{ EDU/ SF Warehouse Space}) \times (238 \text{ GPD/1 EDU}) = 0.0476 \text{ GPD/SF Warehouse Space}$

$6,064 \text{ SF Warehouse Space} \times 0.0476 \text{ GPD/SF Warehouse Space} = 288.65 \text{ GPD}$

$288.65 \text{ GPD} \times (1 \text{ EDU} / 238 \text{ GPD}) = 1.21 \text{ EDUs}$

The total additional sewage flow for the mixed-use building is 5,552 GPD, or 23.33 EDUs (13.88 DEP EDUs at 1 EDU = 400 GPD per DEP requirements).

Anticipated wastewater will be conveyed to the Lehigh County Authority's sewer line located along North Front Street, with final wastewater treatment taking place at the City of Allentown's Wastewater Treatment Plant, also known as the Kline's Island Wastewater Treatment Plant. Water will also be provided by the Lehigh County Authority.

SECTION 3.4

USGS LOCATION MAP

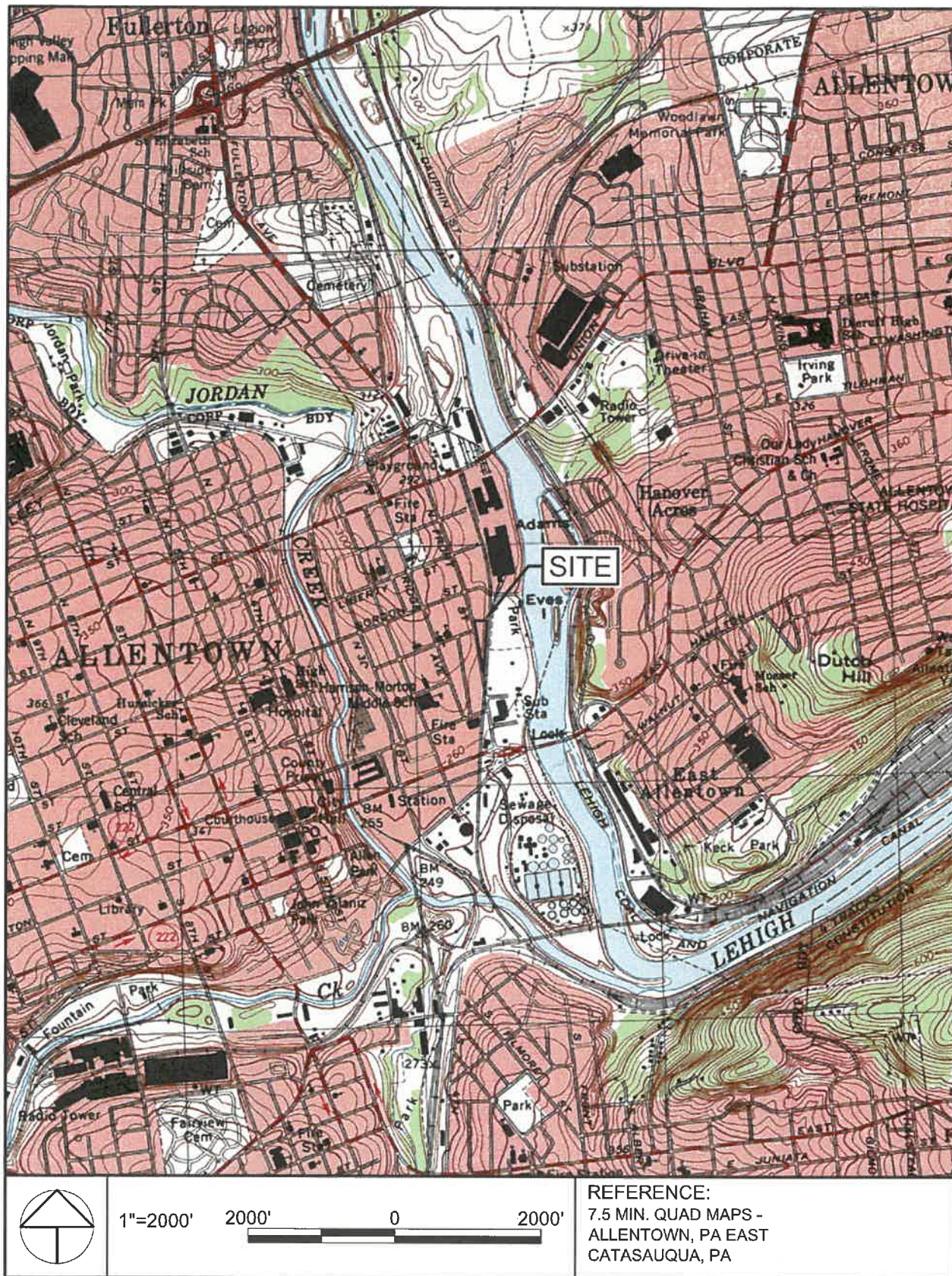


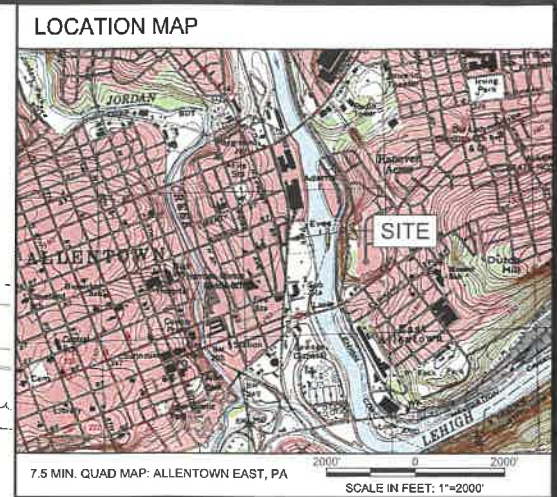
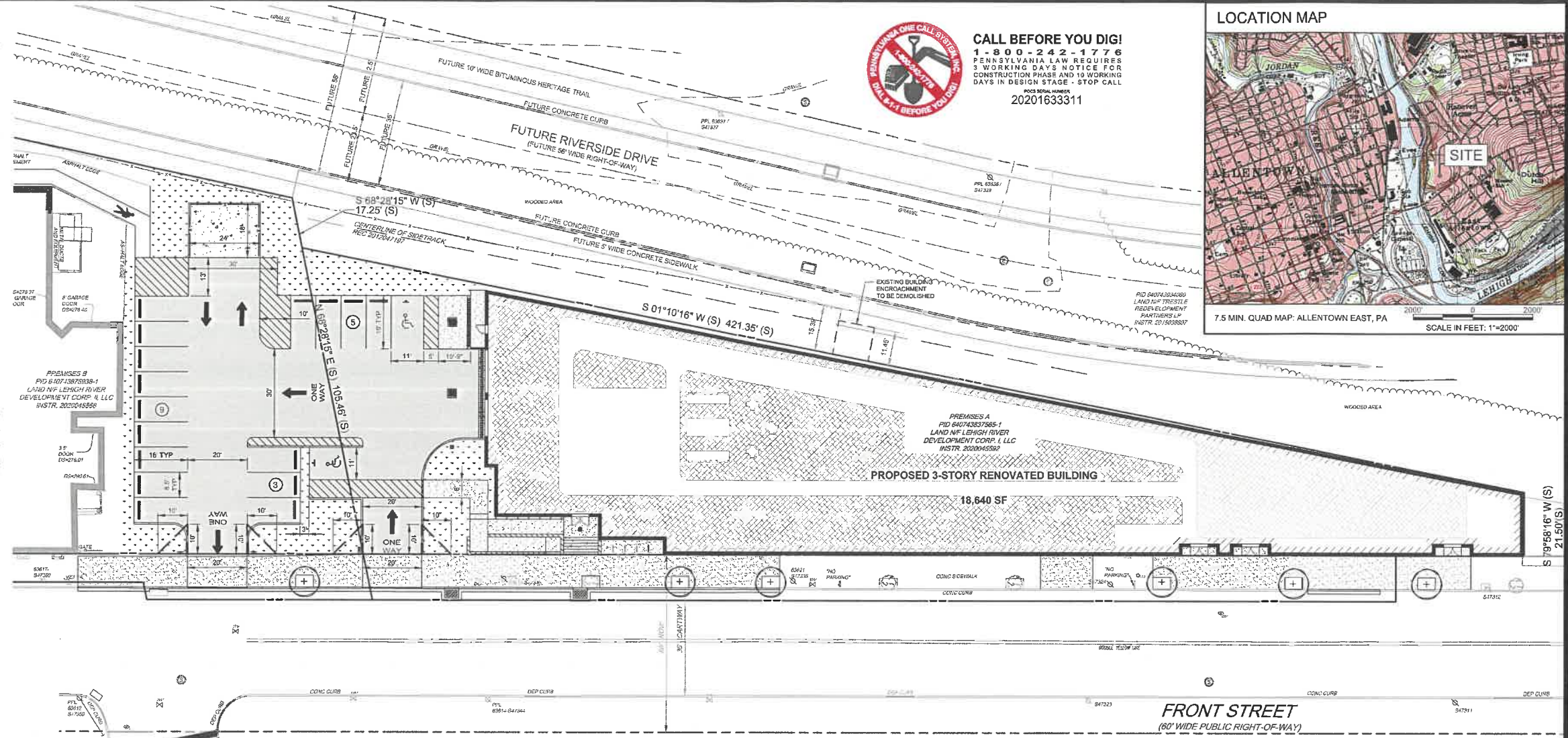
FIGURE 1 - PROJECT LOCATION MAP

SECTION 3.5

PLOT PLAN

LEGEND

EXISTING BOUNDARY LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING ADJOINING PROPERTY LINE	---
EXISTING EASEMENT LINE	---
EXISTING PAVEMENT	---
EXISTING CONCRETE	---
EXISTING CONCRETE CURB	---
EXISTING BUILDING	---
EXISTING BUILDING AND DOOR	---
EXISTING VEGETATION	---
EXISTING BUSH/TREELINE	---
EXISTING FENCE	---
EXISTING UTILITY POLE	---
EXISTING LIGHT POLE	---
EXISTING UNDERGROUND TELEPHONE LINE	---
EXISTING UNDERGROUND ELECTRIC LINE	---
EXISTING OVERHEAD ELECTRIC LINE	---
EXISTING ELECTRIC MANHOLE	---
EXISTING FIRE HYDRANT	---
EXISTING WATER SHUT-OFF VALVE	---
EXISTING WATER LINE	---
EXISTING SANITARY SEWER MANHOLE	---
EXISTING SANITARY SEWER CLEANOUT	---
EXISTING SANITARY SEWER LINE	---
EXISTING GAS LINE	---
EXISTING GAS VALVE	---
EXISTING STORM DOWNSPOUT	---
EXISTING STORM INLET	---
EXISTING STORM PIPE	---
EXISTING BENCHMARK	---
PROPOSED BITUMINOUS PAVING	---
PROPOSED CONCRETE SIDEWALK	---
PROPOSED LANDSCAPING	---
PROPOSED HEAVY DUTY CONCRETE PAD	---
PROPOSED CONCRETE CURB	---
PROPOSED DEPRESSED CONCRETE CURB	---
PROPOSED FLUSH CONCRETE CURB	---
PROPOSED BUILDING	---
PROPOSED BUILDING AND DOOR	---
PROPOSED SIGN	---
PROPOSED BOLLARD SIGN	---
PROPOSED CONCRETE WHEELSTOP	---
PROPOSED WATER SHUT OFF VALVE	---
PROPOSED SANITARY SEWER CLEANOUT	---
PROPOSED GAS VALVE	---
PROPOSED STORM DRAINAGE STRUCTURE	---
PROPOSED STREET TREE	---
PROPOSED GREEN ROOF AREA	---



CIVITAS REGIO
 532 W. HAMILTON STREET
 SUITE 8
 ALLENTOWN, PA 18101
 www.civitasregio.com

SCALE IN FEET: 1"=20'

- LAND DEVELOPMENT NOTES**
- STATEMENT OF INTENT: THE APPLICANT INTENDS TO REHABILITATE THE EXISTING VACANT AND DILAPIDATED FORMER AMERICAN ATELIER FURNITURE FACTORY INTO AN URBAN TRANSITION MULTIFAMILY DEVELOPMENT. A THIRD STORY WILL BE ADDED TO THE EXISTING TWO-STORY BUILDING. USES WITHIN THE BUILDING MAY INCLUDE OFFICE SPACE, WHOLESALE SALES SPACE, AND 25 DWELLING UNITS. THE EXISTING PARKING LOT WILL BE REPAVED AND REVITALIZED WITH LANDSCAPING.
 - PROPOSED DISTURBED AREA = 29,829 SF / 0.48 ACRES
 - CIVITAS REGIO, LLC HAS PREPARED THESE PLANS FOR THE OWNER/APPLICANT FOR THE PURPOSE OF OBTAINING LAND EXEMPTION APPROVALS. THESE PLANS ARE A GRAPHICAL REPRESENTATION OF THE PROFESSIONAL ENGINEER'S INTENT TO SATISFY CODE AND REGULATORY REQUIREMENTS. THESE PLANS ARE NOT NECESSARILY COMPLETE CONSTRUCTION OR TAKEOUT DOCUMENTS. IN ORDER TO CLEARLY DEPICT DESIGN INTENT, FOR REVIEW APPROVAL, IT IS OFTEN NECESSARY TO DIMENSIONALLY DISTORT AND/OR EXAGGERATE CERTAIN PLANIMETRIC FEATURES (I.E. UTILITY STRUCTURE SYMBOLS). THESE PLANS SHALL NOT BE SCALED MANUALLY OR ELECTRONICALLY. SYMBOLS, LEGENDS, AND OTHER GRAPHICS HAVE BEEN UTILIZED TO CLEARLY DEPICT DESIGN INTENT AND MAY NOT BE DIMENSIONALLY CORRECT.
 - THE RECEIVING WATERSHED IS THE LEHIGH RIVER. THE CHAPTER 93 DESIGNATION FOR THE LEHIGH RIVER IS WARM WATER FISHES (WVF) AND TROUT STOCKING FISH (TSF).
 - THE SOILS CLASSIFICATION FOR THE PROJECT AREA IS (M6A) MADE LAND, LIMESTONE MATERIAL, 0 TO 3 PERCENT SLOPES.
 - THE PROPERTY IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, PER FEMA FLOOD INSURANCE RATE MAP (FIRM) PANEL 42077C0252 F, DATED JULY 16, 2004.
 - BASED ON THE PROPERTY BEING COMPLETELY DEVELOPED, WETLANDS DO NOT EXIST ON THIS PROPERTY.
 - NO PORTION OF THIS SITE IS OFFERED FOR DEDICATION TO THE MUNICIPALITY.
 - ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE CITY OF ALLENTOWN STANDARDS AND SPECIFICATIONS.
 - ALL CITY PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 - ALL STORM SEWER COLLECTION SYSTEM PIPING SHALL HAVE WATER-TIGHT JOINTS.
 - THE DEVELOPER SHALL COMPLY WITH THE STIPULATIONS OF THE CITY OF ALLENTOWN CODIFIED ORDINANCE NO. 14476 (ACT 167).
 - RUNOFF FROM ALL ON-SITE IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE PUBLIC SANITARY SEWER, ACROSS THE SIDEWALK AREA WITHIN THE PUBLIC RIGHT-OF-WAY, OR ONTO ADJOINING PROPERTIES. SECTION 1733.08 B.4 OF CITY PROPERTY REHABILITATION AND MAINTENANCE CODE.
 - ALL LATERAL SANITARY SEWER PIPING IS TO BE SCHEDULE 40 OR SDR-26 PVC PIPING.
 - THE PLUMBER SHALL UTILIZE ONE OF THE EXISTING WYES TO CONNECT THE SANITARY SEWER LATERAL TO THE EXISTING SANITARY SEWER MAIN.
 - ANY WORK TO BE DONE IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE TO CITY AND LCA STANDARDS.
 - WORK TO BE PERFORMED ON-SITE, SHALL BE DONE IN ACCORDANCE WITH THE IRC.
 - SHADE TREES (4 EXISTING AND 6 PROPOSED ALONG FRONT STREET) ARE SUBJECT TO SHADE TREE ORDINANCE CONCERNING PRUNING, PROTECTION, MAINTENANCE, REPLACEMENT AND PRESERVATION.
 - GREEN ROOF SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - THE RECORD OWNERS OF 207 N. FRONT STREET AND 249 N. FRONT STREET SHARE A COMMON OWNERSHIP STRUCTURE AND INTEND TO ENTER INTO AN AGREEMENT FOR SHARED PARKING.
 - FUTURE RIVERSIDE DRIVE AND ASSOCIATED CURB, SIDEWALK, AND HERITAGE TRAIL ARE SHOWN FOR REFERENCE ONLY. REFER TO PLANS TITLED "RIVERSIDE DRIVE CONSTRUCTION PLANS FOR THE WATERFRONT LEHIGH VALLEY", DATED 10/31/17, LAST REVISED 03/19/21, AND PREPARED BY LEHIGH ENGINEERING ASSOCIATES, INC.
 - THE 15 REQUIRED PARKING SPACES FOR RESIDENTIAL USES SHALL REMAIN RESERVED FOR RESIDENTIAL TENANTS WITHIN THE PARKING LOT ADJACENT TO THE 207 N. FRONT STREET BUILDING.

PARKING AREA LANDSCAPE CALCULATION

OFF STREET PARKING AREAS SHALL INCLUDE A LANDSCAPED AREA EQUAL TO 10 PERCENT OF THE TOTAL AREA OF PAVED OR STONE SURFACES ON THE LOT.

PAVED PARKING AREA = 9,034 SF
 10 PERCENT = 903 SF
 LANDSCAPED AREA = 3,833 SF (WITHIN DEVELOPMENT AREA)

PARKING CALCULATIONS

ZONING SECTION 1321.01.5.1 DOWNTOWN

OFF-STREET PARKING IS NOT REQUIRED TO BE PROVIDED FOR USES WITHIN THE B-2 DISTRICT EXCEPT FOR RESIDENTIAL USES CONSISTING OF 5 OR MORE DWELLING UNITS. IN SUCH CASES, AND IN THE CASE OF URBAN TRANSITION MULTIFAMILY DEVELOPMENT WITHIN THE B-2 DISTRICT, THE REQUIRED NUMBER OF SPACES SHALL BE ONE-HALF OF THE REQUIREMENT FOR DWELLING UNITS SHOWN IN THE TABLE OF OFF-STREET PARKING REQUIREMENTS FOUND IN SECTION 1321.02. THE REQUIRED PARKING SHALL ONLY APPLY TO THE NUMBER OF UNITS IN EXCESS OF FOUR, AND ALL SUCH SPACES MAY BE PROVIDED OFF-SITE, SUBJECT TO THE SAME REQUIREMENTS AS FOR NONRESIDENTIAL USES FOUND IN SECTION 1321.01.1.

ZONING SECTION 1321.02 TABLE A
 RESIDENTIAL USES: 1.5 PER MULTI-FAMILY DWELLING UNIT
 OFFICE: 1 PER 800 SF OF FLOOR AREA
 WHOLESALES: 1 SPACE PER 2 EMPLOYEES WORKING ON SITE DURING LARGEST SHIFT PLUS 1 OFF-STREET VISITOR

PROPOSED DWELLING UNITS AND FLOOR AREAS:
 • 25 DWELLING UNITS
 • 10,596 SF OFFICE FLOOR AREA
 • 6,057 SF WHOLESALES FLOOR AREA (2 EMPLOYEES AT LARGEST SHIFT)

PARKING CALCULATIONS:
 • (25 DWELLING UNITS - 4) x 1.5 / 2 = 15.75 = 16 SPACES REQUIRED
 • (10,596 SF OF OFFICE SPACE X 1 SPACE / 300 SF) = 35.32 = 36 SPACES REQUIRED
 • 6,057 SF WHOLESALES SPACE = 2 SPACES REQUIRED
 (MAX. 2 EMPLOYEES AT LARGEST SHIFT)
 • 16 + 36 + 2 = 54 SPACES REQUIRED
 TOTAL PARKING REQUIRED = 16 + 36 + 2 = 54 SPACES REQUIRED
 = 28 SPACES SUBTRACTED
 = 26 SPACES REQUIRED

PROPOSED PARKING SPACES PROVIDED:
 • 24 PARKING SPACES (8 OFF-SITE ON 249 N. FRONT STREET PROPERTY)
 • 2 ADA PARKING SPACES
 = 26 TOTAL PARKING SPACES

BUILDING USE CALCULATION

ZONING SECTION 1313.01A - NOTE (NN): AN URBAN TRANSITION MULTIFAMILY DEVELOPMENT MAY INCLUDE COMMERCIAL USES THAT ARE PERMITTED IN THE UNDERLYING ZONING DISTRICT, PROVIDED THAT SUCH USES ARE INTEGRATED INTO THE BUILDING AND CONSIST OF NO MORE THAN 20% OF THE TOTAL BUILDING AREA.

OFFICE SPACE (COMMERCIAL PER ZONING SECTION 1313.01):	10,596 SF / 56,893 SF = 18.62%
WHOLESALES (INDUSTRIAL PER ZONING SECTION 1313.01):	6,057 SF / 56,893 SF = 10.65%
RESIDENTIAL (25 DWELLING UNITS)	30,808 SF / 56,893 SF = 54.15%

WAIVER GRANTED

A WAIVER FROM SALDO SECTION 1358.11.B HAS BEEN GRANTED AT THE MAY 11, 2021 CITY OF ALLENTOWN PLANNING COMMISSION MEETING.

SECTION 1385.11.B: THE HORIZONTAL DISTANCE FROM EITHER THE TOE OR TOP OF AN EXCAVATION OR FILL SLOPE LINE SHALL BE FIVE (5) FEET OR ONE-HALF THE HEIGHT OF THE FILL OR EXCAVATION FROM ANY ADJOINING PROPERTY OR EASEMENT LINE, WHICHEVER IS GREATER.

SITE DATA

NUMBER OF LOTS:	1
EXISTING ADDRESS:	207-247 N. FRONT ST., ALLENTOWN, PA 18102
PROPOSED ADDRESS:	207-247 N. FRONT ST., ALLENTOWN, PA 18102
CITY WARD:	WARD 1
LOT AREA:	24,714 SF (0.57 ACRES)

ZONING DATA

EXISTING USE:	INDUSTRIAL (VACANT) - FURNITURE MANUFACTURING
PROPOSED USE:	URBAN TRANSITION MULTI-FAMILY DEVELOPMENT
ZONING DISTRICT:	URBAN COMMERCIAL (B-2)

REQUIRED	PROPOSED
MINIMUM TRACT SIZE	24,000 SF (SEE NOTE 1)
MINIMUM LOT WIDTH	40 FT
MINIMUM FRONT YARD SETBACK	5 FT (SEE NOTE 1)
MINIMUM SIDE BUILDING SETBACK	5 FT
MINIMUM REAR BUILDING SETBACK	5 FT
MAXIMUM BUILDING HEIGHT	65 FEET (SEE NOTE 1)
MAXIMUM PERCENT IMPERVIOUS	93% (22,887 / 24,714 SF)
MAXIMUM BUILDING COVERAGE	90% (SEE NOTE 1)

NOTES

- FOR URBAN TRANSITION MULTI-FAMILY DEVELOPMENT.
- EXISTING NON-CONFORMITY.

OWNER/APPLICANT

LEHIGH RIVER DEVELOPMENT CORP. I, LLC
 300 COLES STREET, SUITE 2
 JERSEY CITY, NJ 07310
 CONTACT: JOHN PALUMBO
 PHONE: 201-675-0866

PROPERTY TITLE INFORMATION

LEHIGH COUNTY
 PARCEL ID NUMBER: 640745837565-1
 DEED REFERENCE: 2020045592

PLANNING COMMISSION APPROVAL

THE WITHIN PLOT OR PLAN LOCATED IN THE CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA, WAS APPROVED BY THE ALLENTOWN CITY PLANNING COMMISSION.

CHAIRMAN	DATE
PLANNING DIRECTOR	DATE
SECRETARY	DATE
APPROVED:	DATE
CITY ENGINEER	DATE

LEHIGH VALLEY PLANNING COMMISSION

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION.

PLANNER	DATE
---------	------

PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA.

IN DOCKET ID # _____ ON THE _____ DAY OF _____, 20____.

WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

RECORDER OF DEEDS

CERTIFICATION OF OWNER OF RECORD

I (WE), THE UNDERSIGNED, BEING THE OWNER(S) IN PEACEFUL POSSESSION OF THE LAND HEREIN PLATTED AND BEING THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF THE SAME, DO HEREBY ADOPT THIS PLAN OF PROPERTY SITUATED IN THE CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA.

THE FOREGOING ADOPTION IS MADE BY ME (US) WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL BY THE ALLENTOWN PLANNING COMMISSION, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF LEHIGH COUNTY, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF THE DATE OF SAID APPROVAL.

SIGNATURE OF OWNER: _____
 NOTARIZATION: _____
 SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____, 20____.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE, ON THE GROUND, THAT IT IS CORRECT AND AT THE TIME THE SURVEY WAS MADE, THERE WERE NO EASEMENTS OR ENCROACHMENTS ACROSS PROPERTY LINES, OTHER THAN THOSE SHOWN.

DATE: _____
 SIGNATURE: _____
 REGISTRATION NO. _____

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE INFORMATION CONTAINED ON THE ACCOMPANYING PLANS HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES AND IS TRUE AND CORRECT IN ALL DETAILS.

DAVID F. WILSON, P.E.
 CIVITAS REGIO, LLC
 532 W. HAMILTON ST., SUITE 2
 ALLENTOWN, PA 18101

SEALS

D.F. Wilson
6/2/2021

FOR CONSTRUCTION

FINAL PLAN

NO.	DATE	DESCRIPTION	BY
2	6/02/2021	REVISED FOR PERMITTING	D.F.W.
1	4/05/2021	ISSUED FOR PERMITTING	D.F.W.

ISSUE BLOCK

PROJECT NO.: MBC-20-06
 CAD FILE: LD-101.dwg
 DESIGNED BY: MMS, CHM
 DRAWN BY: MMS, CHM
 CHECKED BY: DFW
 APPROVED BY: DFW
 COPYRIGHT: CIVITAS REGIO LLC

CLIENT

LEHIGH RIVER DEVELOPMENT CORP. I, LLC
 300 COLES STREET, SUITE 2
 JERSEY CITY, NJ 07310
 CONTACT: JOHN PALUMBO
 PHONE: 201-675-0866

PROJECT IDENTIFICATION

URBAN TRANSITION MULTI-FAMILY DEVELOPMENT
 207 NORTH FRONT STREET
 CITY OF ALLENTOWN, WARD 1
 LEHIGH COUNTY, PA

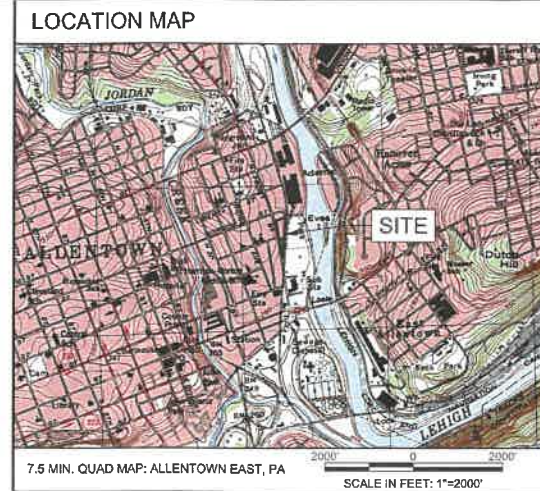
SHEET TITLE

LAND DEVELOPMENT PLAN

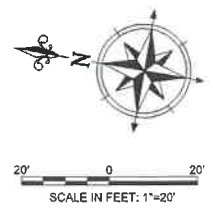
LD-101
 SHEET 3 OF 22



CALL BEFORE YOU DIG!
 1 - 800-242-1776
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL
 POC: BRUCE WARD
 20201633311



CIVITAS REGIO
 532 W. HAMILTON STREET
 SUITE 8
 ALLENTOWN, PA 18101
 www.civitasregio.com



SEALS



D.F. Wilson
 6/2/2021

FOR CONSTRUCTION

FINAL PLAN

NO.	DATE	DESCRIPTION	BY
2	6/02/2021	REVISED FOR PERMITTING	DAW
1	4/05/2021	ISSUED FOR PERMITTING	DAW

ISSUE BLOCK

PROJECT NO.: MBC-20-06
 CAD FILE: LD-102.dwg
 DRAWN BY: MMS, CHM
 DESIGN BY: MMS, CHM
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CLIENT

LEHIGH RIVER
 DEVELOPMENT CORP. I, LLC
 300 COLES STREET, SUITE 2
 JERSEY CITY, NJ 07310
 CONTACT: JOHN PALUMBO
 PHONE: 201-675-0866

PROJECT IDENTIFICATION

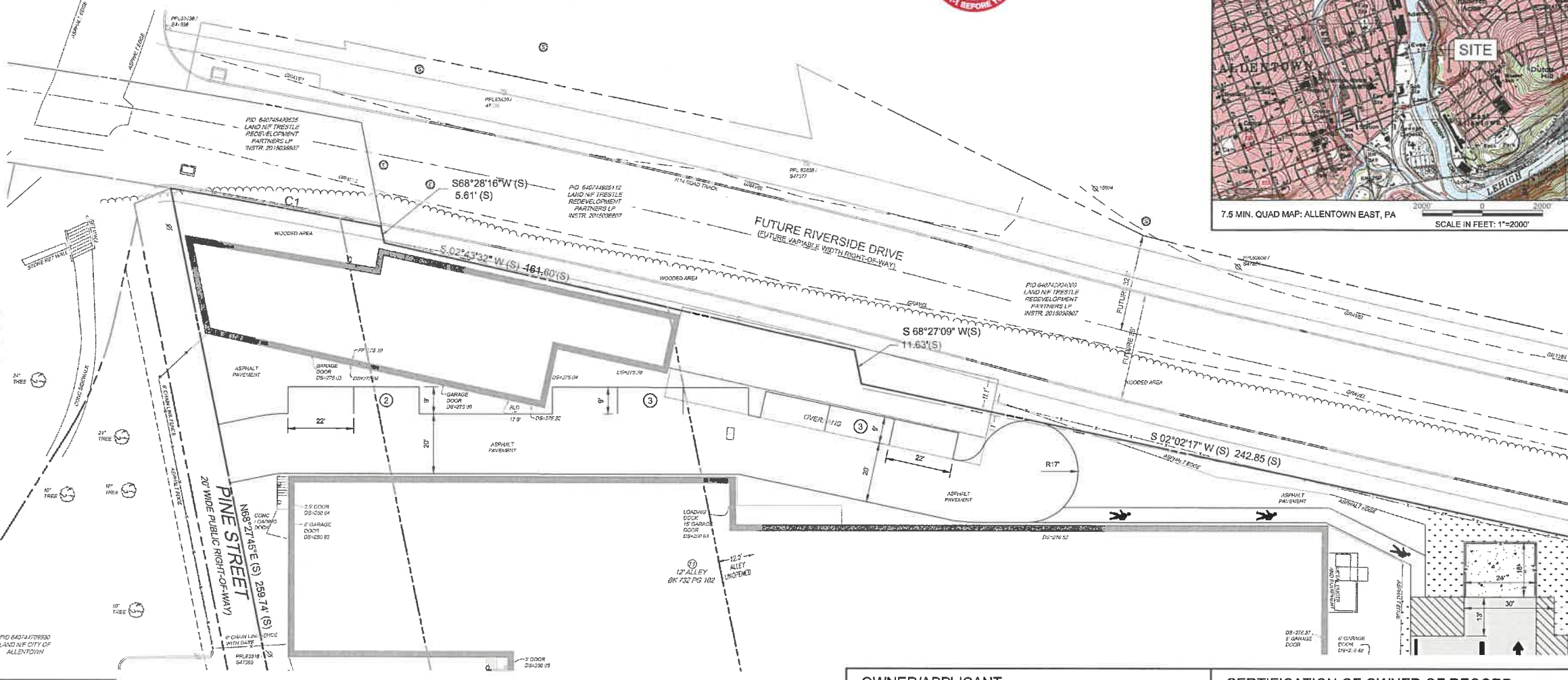
URBAN TRANSITION
 MULTI-FAMILY DEVELOPMENT
 207 NORTH FRONT STREET
 CITY OF ALLENTOWN, WARD 1
 LEHIGH COUNTY, PA

SHEET TITLE

LAND DEVELOPMENT PLAN

LD-102
 SHEET 4 OF 22

- LEGEND**
- EXISTING BOUNDARY LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING ADJOINING PROPERTY LINE
 - EXISTING EASEMENT LINE
 - EXISTING PAVEMENT
 - EXISTING CONCRETE
 - EXISTING CONCRETE CURB
 - EXISTING BUILDING
 - EXISTING BUILDING AND DOOR
 - EXISTING VEGETATION
 - EXISTING BUSH/TREELINE
 - EXISTING FENCE
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING UNDERGROUND TELEPHONE LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING ELECTRIC MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER SHUT-OFF VALVE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING SANITARY SEWER CLEANOUT
 - EXISTING SANITARY SEWER LINE
 - EXISTING GAS LINE
 - EXISTING GAS VALVE
 - EXISTING STORM DOWNSPOUT
 - EXISTING STORM MANHOLE
 - EXISTING STORM INLET
 - EXISTING STORM PIPE
 - EXISTING BENCHMARK
 - PROPOSED BITUMINOUS PAVING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED LANDSCAPING
 - PROPOSED HEAVY DUTY CONCRETE PAD
 - PROPOSED CONCRETE CURB
 - PROPOSED DEPRESSED CONCRETE CURB
 - PROPOSED FLUSH CONCRETE CURB
 - PROPOSED BUILDING
 - PROPOSED BUILDING AND DOOR
 - PROPOSED SIGN
 - PROPOSED BOLLARD SIGN
 - PROPOSED CONCRETE WHEELSTOP
 - PROPOSED WATER SHUT OFF VALVE
 - PROPOSED SANITARY SEWER CLEANOUT
 - PROPOSED GAS VALVE
 - PROPOSED STORM DRAINAGE STRUCTURE
 - PROPOSED STREET TREE



LAND DEVELOPMENT NOTES

- STATEMENT OF INTENT: THE APPLICANT INTENDS TO REHABILITATE THE EXISTING VACANT AND DILAPIDATED FORMER AMERICAN ATELIER FURNITURE FACTORY INTO AN URBAN TRANSITION MULTI-FAMILY DEVELOPMENT. A THIRD STORY WILL BE ADDED TO THE EXISTING TWO-STORY BUILDING. USES WITHIN THE BUILDING MAY INCLUDE OFFICE SPACE, WHOLESALE SALES SPACE, AND 26 DWELLING UNITS. THE EXISTING PARKING LOT WILL BE REPAVED AND REVITALIZED WITH LANDSCAPING.
- PROPOSED DISTURBED AREA = 20,829 SF / 0.48 ACRES
- CIVITAS REGIO, LLC HAS PREPARED THESE PLANS FOR THE OWNER/APPLICANT FOR THE PURPOSE OF OBTAINING LAND ENTITLEMENT APPROVALS. THESE PLANS ARE A GRAPHICAL REPRESENTATION OF THE PROFESSIONAL ENGINEER'S INTENT TO SATISFY CODE AND REGULATORY REQUIREMENTS. THESE PLANS ARE NOT NECESSARILY COMPLETE CONSTRUCTION OR STAKEOUT DOCUMENTS. IN ORDER TO CLEARLY DEPICT DESIGN INTENT, FOR REVIEW APPROVAL, IT IS OFTEN NECESSARY TO DIMENSIONALLY DISTORT AND/OR EXAGGERATE CERTAIN PLANIMETRIC FEATURES (I.E. UTILITY STRUCTURE SYMBOLS). THESE PLANS SHALL NOT BE SCALED MANUALLY OR ELECTRONICALLY. SYMBOLS, LEGENDS, AND OTHER GRAPHICS HAVE BEEN UTILIZED TO CLEARLY DEPICT DESIGN INTENT AND MAY NOT BE DIMENSIONALLY CORRECT.
- THE RECEIVING WATERSHED IS THE LEHIGH RIVER. THE CHAPTER 83 DESIGNATION FOR THE LEHIGH RIVER IS WARM WATER FISHES (WWF) AND TROUT STOCKING FISH (TSF).
- THE SOILS CLASSIFICATION FOR THE PROJECT AREA IS (MMA) MADE LAND, LIMESTONE MATERIAL, 0 TO 3 PERCENT SLOPES.
- THE PROPERTY IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, PER FEMA FLOOD INSURANCE RATE MAP (FIRM) PANEL 42077C022 F, DATED JULY 16, 2004.
- BASED ON THE PROPERTY BEING COMPLETELY DEVELOPED, WETLANDS DO NOT EXIST ON THIS PROPERTY.
- NO PORTION OF THIS SITE IS OFFERED FOR DEDICATION TO THE MUNICIPALITY.
- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY MUST COMPLY WITH THE CITY OF ALLENTOWN STANDARDS AND SPECIFICATIONS.
- ALL CITY PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL STORM SEWER COLLECTION SYSTEM PIPING SHALL HAVE WATER-TIGHT JOINTS.
- THE DEVELOPER SHALL COMPLY WITH THE STIPULATIONS OF THE CITY OF ALLENTOWN CODIFIED ORDINANCE NO. 14476 (ACT 167).
- RUNOFF FROM ALL ON-SITE IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE PUBLIC SANITARY SEWER ACROSS THE SIDEWALK AREA WITHIN THE PUBLIC RIGHT-OF-WAY, OR ONTO ADJOINING PROPERTIES. SECTION 1753.08 B.4 OF CITY PROPERTY REHABILITATION AND MAINTENANCE CODE.
- ALL LATERAL SANITARY SEWER PIPING IS TO BE SCHEDULE 40 OR SDR-26 PVC PIPING.
- THE PLUMBER SHALL UTILIZE ONE OF THE EXISTING WYES TO CONNECT THE SANITARY SEWER LATERAL TO THE EXISTING SANITARY SEWER MAIN.
- ANY WORK TO BE DONE IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE TO CITY AND LCA STANDARDS.
- WORK TO BE PERFORMED ON-SITE, SHALL BE DONE IN ACCORDANCE WITH THE IBC.
- SHADE TREES (4 EXISTING AND 8 PROPOSED ALONG FRONT STREET) ARE SUBJECT TO SHADE TREE ORDINANCE CONCERNING PRUNING, PROTECTION, MAINTENANCE, REPLACEMENT AND PRESERVATION.
- GREEN ROOF SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- THE RECORD OWNERS OF 207 N. FRONT STREET AND 249 N. FRONT STREET SHARE A COMMON OWNERSHIP STRUCTURE AND INTEND TO ENTER INTO AN AGREEMENT FOR SHARED PARKING.
- FUTURE RIVERSIDE DRIVE AND ASSOCIATED CURB, SIDEWALK, AND HERITAGE TRAIL ARE SHOWN FOR REFERENCE ONLY. THESE PLANS TITLED "RIVERSIDE DRIVE CONSTRUCTION PLANS FOR THE WATERFRONT LEHIGH VALLEY", DATED 10/31/17, LAST REVISED 03/19/21, AND PREPARED BY LEHIGH ENGINEERING ASSOCIATES, INC.
- THE 18 REQUIRED PARKING SPACES FOR RESIDENTIAL USES SHALL REMAIN RESERVED FOR RESIDENTIAL TENANTS WITHIN THE PARKING LOT ADJACENT TO THE 207 N. FRONT STREET BUILDING.

PARKING AREA LANDSCAPE CALCULATION

OFF STREET PARKING AREAS SHALL INCLUDE A LANDSCAPED AREA EQUAL TO 10 PERCENT OF THE TOTAL AREA OF PAVED OR STONE SURFACES ON THE LOT.
 PAVED PARKING AREA = 8,034 SF
 10 PERCENT = 803 SF
 LANDSCAPED AREA = 3,863 SF (WITHIN DEVELOPMENT AREA)

PARKING CALCULATIONS

ZONING SECTION 1321.01.S.1 DOWNTOWN

OFF-STREET PARKING IS NOT REQUIRED TO BE PROVIDED FOR USES WITHIN THE B-2 DISTRICT EXCEPT FOR RESIDENTIAL USES CONSISTING OF 5 OR MORE DWELLING UNITS. IN SUCH CASES, AND IN THE CASE OF URBAN TRANSITION MULTI-FAMILY DEVELOPMENT WITHIN THE B4 DISTRICT, THE REQUIRED NUMBER OF SPACES SHALL BE ONE-HALF OF THE REQUIREMENT FOR DWELLING UNITS SHOWN IN THE TABLE OF OFF-STREET PARKING REQUIREMENTS FOUND IN SECTION 1321.02. THE REQUIRED PARKING SHALL ONLY APPLY TO THE NUMBER OF UNITS IN EXCESS OF FOUR, AND ALL SUCH SPACES MAY BE PROVIDED OFF-SITE, SUBJECT TO THE SAME REQUIREMENTS AS FOR NONRESIDENTIAL USES FOUND IN SECTION 1321.01 I.1.

ZONING SECTION 1321.02 TABLE A

RESIDENTIAL USES: 1.5 PER MULTI-FAMILY DWELLING UNIT
 OFFICE: 1 PER 300 SF OF FLOOR AREA
 WHOLESALES: 1 SPACE PER 2 EMPLOYEES WORKING ON SITE DURING LARGEST SHIFT PLUS 1 OFF STREET VISITOR

PROPOSED DWELLING UNITS AND FLOOR AREAS:

- 25 DWELLING UNITS
- 10,566 SF OFFICE FLOOR AREA
- 6,037 SF WHOLESALES FLOOR AREA (2 EMPLOYEES AT LARGEST SHIFT)

PARKING CALCULATIONS:

- [25 DWELLING UNITS - 4] x 1.5 / 2 = 15.75 = 16 SPACES REQUIRED
- 10,566 SF OF OFFICE SPACE X 1 SPACE / 300 SF = 35.22 = 36 SPACES REQUIRED
- 6,037 SF WHOLESALES SPACE = 2 SPACES REQUIRED
- MAX. 2 EMPLOYEES AT LARGEST SHIFT
- EXISTING PARKING DEFICIT = 28 SPACES SUBTRACTED
- TOTAL PARKING REQUIRED = 16 + 36 + 2 = 28
- TOTAL PARKING REQUIRED = 28 SPACES SUBTRACTED
- TOTAL PARKING REQUIRED = 28 SPACES REQUIRED

PROPOSED PARKING SPACES PROVIDED:

- 24 PARKING SPACES (8 OFF-SITE ON 246 N. FRONT STREET PROPERTY)
- 2 ADA PARKING SPACES
- 28 TOTAL PARKING SPACES

BUILDING USE CALCULATION

ZONING SECTION 1313.01A - NOTE (M): AN URBAN TRANSITION MULTI-FAMILY DEVELOPMENT MAY INCLUDE COMMERCIAL USES THAT ARE PERMITTED IN THE UNDERLYING ZONING DISTRICT, PROVIDED THAT SUCH USES ARE INTEGRATED INTO THE BUILDING AND CONSIST OF NO MORE THAN 20% OF THE TOTAL BUILDING AREA.

OFFICE SPACE (COMMERCIAL PER ZONING SECTION 1313.01): 10,596 SF / 68,893 SF = 18.62%
 WHOLESALES (INDUSTRIAL PER ZONING SECTION 1313.01): 6,037 SF / 68,893 SF = 10.85%
 RESIDENTIAL (25 DWELLING UNITS): 30,808 SF / 68,893 SF = 54.15%

WAIVER GRANTED

A WAIVER FROM SALDO SECTION 1358.11.B HAS BEEN GRANTED AT THE MAY 11, 2021 CITY OF ALLENTOWN PLANNING COMMISSION MEETING.

SECTION 1358.11.B - THE HORIZONTAL DISTANCE FROM EITHER THE TOE OR TOP OF AN EXCAVATION OR FILL SLOPE LINE SHALL BE FIVE (5) FEET OR ONE-HALF THE HEIGHT OF THE FILL OR EXCAVATION FROM ANY ADJOINING PROPERTY OR EASEMENT LINE, WHICHEVER IS GREATER.

SITE DATA

NUMBER OF LOTS: 1
 EXISTING ADDRESS: 207-247 N. FRONT ST., ALLENTOWN, PA 18102
 PROPOSED ADDRESS: 207-247 N. FRONT ST., ALLENTOWN, PA 18102
 CITY WARD: WARD 1
 LOT AREA: 24,714 SF (0.57 ACRES)

ZONING DATA

EXISTING USE: INDUSTRIAL (VACANT) - FURNITURE MANUFACTURING
 PROPOSED USE: URBAN TRANSITION MULTI-FAMILY DEVELOPMENT

ZONING DISTRICT: URBAN COMMERCIAL (B-5)

	REQUIRED	PROPOSED
MINIMUM TRACT SIZE	24,000 SF (SEE NOTE 1)	24,714 SF
MINIMUM LOT WIDTH	40 FT	388 FT
MINIMUM FRONT YARD SETBACK	5 FT (SEE NOTE 1)	0 FT (SEE NOTE 2)
MINIMUM SIDE BUILDING SETBACK	5 FT	0 FT (SEE NOTE 2)
MINIMUM REAR BUILDING SETBACK	5 FT	0 FT (SEE NOTE 2)
MAXIMUM BUILDING HEIGHT	65 FEET (SEE NOTE 1)	42 FT
MAXIMUM PERCENT IMPERVIOUS	---	93% (22,897 / 24,714 SF)
MAXIMUM BUILDING COVERAGE	90% (SEE NOTE 1)	75% (18,840 / 24,714 SF)

NOTES

- FOR URBAN TRANSITION MULTI-FAMILY DEVELOPMENT.
- EXISTING NON-CONFORMITY.

OWNER/APPLICANT

LEHIGH RIVER DEVELOPMENT CORP. I, LLC
 300 COLES STREET, SUITE 2
 JERSEY CITY, NJ 07310
 CONTACT: JOHN PALUMBO
 PHONE: 201-675-0866

PROPERTY TITLE INFORMATION

LEHIGH COUNTY
 PARCEL ID NUMBER: 846743837555-1
 DEED REFERENCE: 2020046592

PLANNING COMMISSION APPROVAL

THE WITHIN PLOT OR PLAN LOCATED IN THE CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA, WAS APPROVED BY THE ALLENTOWN CITY PLANNING COMMISSION.

CHAIRMAN	DATE
PLANNING DIRECTOR	DATE
SECRETARY	DATE
APPROVED:	DATE
CITY ENGINEER	DATE

LEHIGH VALLEY PLANNING COMMISSION

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION.

PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF LEHIGH COUNTY, PENNSYLVANIA.

IN DOCKET ID # _____ ON THE _____ DAY OF _____ 20__

WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____ 20__

RECORDER OF DEEDS

CERTIFICATION OF OWNER OF RECORD

I (WE), THE UNDERSIGNED, BEING THE OWNER(S) IN PEACEFUL POSSESSION OF THE LAND HEREIN PLATTED AND BEING THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF THE SAME, DO HEREBY ADOPT THIS PLAN OF PROPERTY SITUATED IN THE CITY OF ALLENTOWN, LEHIGH COUNTY, PENNSYLVANIA.

THE FOREGOING ADOPTION IS MADE BY ME (US) WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL BY THE ALLENTOWN PLANNING COMMISSION, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF LEHIGH COUNTY, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF THE DATE OF SAID APPROVAL.

SIGNATURE OF OWNER _____
 NOTARIZATION _____
 SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____ 20__

MY COMMISSION EXPIRES _____ NOTARY PUBLIC _____

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE, ON THE GROUND, THAT IT IS CORRECT AND AT THE TIME THE SURVEY WAS MADE, THERE WERE NO EASEMENTS OR ENCROACHMENTS ACROSS PROPERTY LINES, OTHER THAN THOSE SHOWN.

DATE: _____
 SIGNATURE _____
 REGISTRATION NO. _____

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE INFORMATION CONTAINED ON THE ACCOMPANYING PLANS HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES AND IS TRUE AND CORRECT IN ALL DETAILS.

D.F. Wilson 4/5/2021
 DAVID F. WILSON, P.E. PE079632 DATE
 CIVITAS REGIO, LLC
 532 W. HAMILTON ST., SUITE 2
 ALLENTOWN, PA 18101



DEMOLITION LEGEND

- SAWCUT EXISTING BITUMINOUS PAVING
- EXISTING BITUMINOUS PAVING TO BE REMOVED
- EXISTING CONCRETE SIDEWALK / APRON TO BE REMOVED
- EXISTING DEPRESSED CURB TO BE REMOVED

GENERAL DEMOLITION NOTES

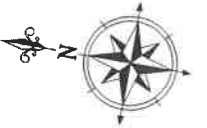
- A. FOR GENERAL CIVIL NOTES, LEGEND AND ABBREVIATIONS REFER TO SHEET C-002.
- B. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONING PRIOR TO DEMOLITION AND EARTH DISTURBANCE ACTIVITY. SEE EROSION AND SEDIMENT CONTROL PLAN AND DETAILS.
- C. THE INTENT OF THIS PLAN IS TO IDENTIFY MAJOR ITEMS FOR REMOVAL, AND MINOR ITEMS MAY OR MAY NOT BE IDENTIFIED. THE CONTRACTOR SHALL REMOVE ANY CONFLICTING ITEMS IN ORDER TO CONSTRUCT THE NEW WORK IN A WORKMANLIKE MANNER.
- D. SAWCUT ALL EDGES WHERE NEW WORK ABUTS EXISTING TO PROVIDE A CLEAN JOINT.
- E. UNDERGROUND ELECTRIC LINES, UTILITY POLES AND OVERHEAD WIRES TO REMAIN, BE RELOCATED, OR BE REMOVED AS DIRECTED BY ELECTRIC COMPANY.

SHEET KEYNOTES

- D1. REFER TO ARCHITECTURAL PLANS FOR MODIFICATIONS TO EXISTING BUILDING.
- D2. SAWCUT EXISTING BITUMINOUS PAVING.
- D3. REMOVE EXISTING BITUMINOUS PAVING.
- D4. SAWCUT EXISTING CONCRETE SIDEWALK TO NEAREST JOINT.
- D5. REMOVE EXISTING CONCRETE SIDEWALK.
- D6. SAWCUT EXISTING CONCRETE CURB.
- D7. REMOVE EXISTING CONCRETE CURB.
- D8. REMOVE EXISTING DEPRESSED CONCRETE CURB.
- D9. REMOVE EXISTING TREES IN THEIR ENTIRETY.
- D10. REMOVE EXISTING FENCE.
- D11. EXISTING TREE SHALL BE PROTECTED AND NOT REMOVED.
- D12. REMOVE EXISTING STORM DRAINAGE INLET.
- D13. REMOVE EXISTING STORM DRAINAGE PIPING.

CIVITAS REGIO

532 W. HAMILTON STREET
SUITE 8
ALLENTOWN, PA 18101
www.civitasregio.com



SCALE IN FEET: 1"=20'

SEALS



D.F. Wilson
6/2/2021

FOR CONSTRUCTION

FINAL PLAN

NO.	DATE	DESCRIPTION	BY
2	6/02/2021	REVISED FOR PERMITTING	DAW
1	4/05/2021	ISSUED FOR PERMITTING	DAW

ISSUE BLOCK

PROJECT NO.: MBC-20-06
CAD FILE: C-102.dwg
DESIGNED BY: MMS, CHM
DRAWN BY: MMS, CHM
CHECKED BY: DFW
APPROVED BY: DFW
COPYRIGHT: CIVITAS REGIO LLC

CLIENT

LEHIGH RIVER DEVELOPMENT CORP. I, LLC
300 COLES STREET, SUITE 2
JERSEY CITY, NJ 07310
CONTACT: JOHN PALUMBO
PHONE: 201-675-0866

PROJECT IDENTIFICATION

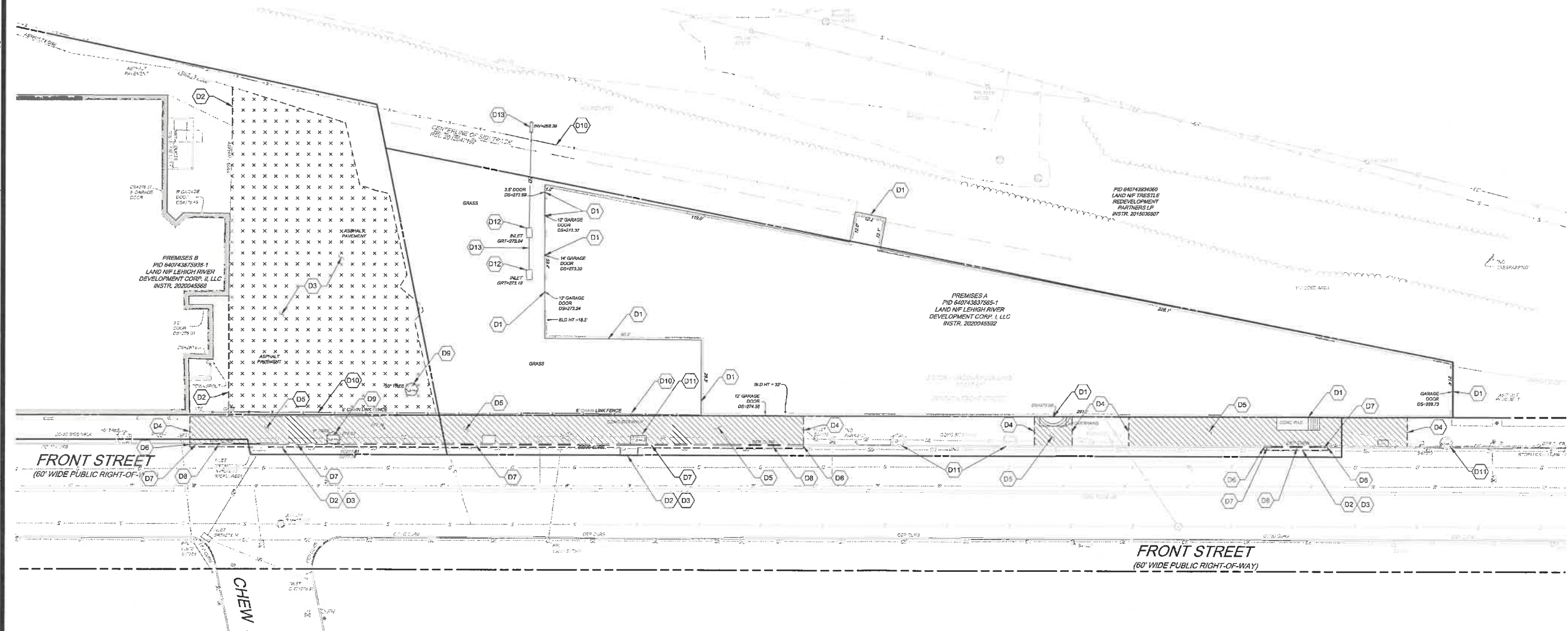
URBAN TRANSITION MULTI-FAMILY DEVELOPMENT
207 NORTH FRONT STREET
CITY OF ALLENTOWN, WARD 1
LEHIGH COUNTY, PA

SHEET TITLE

DEMOLITION PLAN








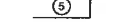

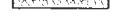


C-102

SHEET 6 OF 22



CALL BEFORE YOU DIG!
1-800-242-1776
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL
POCS SERIAL NUMBER
20201633311

SITE LAYOUT LEGEND

- PROPOSED BITUMINOUS PAVING 
- PROPOSED CONCRETE SIDEWALK 
- PROPOSED LANDSCAPING 
- PROPOSED HEAVY DUTY CONCRETE PAD 
- PROPOSED CONCRETE CURB 
- PROPOSED DEPRESSED CONCRETE CURB 
- PROPOSED DEPRESSED CONCRETE CURB 
- PROPOSED BUILDING 
- PROPOSED BUILDING AND DOOR 
- NUMBER OF PARKING SPACES IN ROW 
- PROPOSED STORM DRAINAGE STRUCTURE 
- PROPOSED GREEN ROOF AREA 

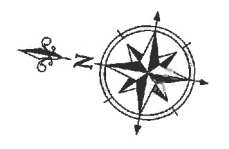
GENERAL SITE LAYOUT NOTES

- A. FOR GENERAL CIVIL NOTES AND LEGEND REFER TO SHEET C-002.
- B. PROVIDE JOINT SEALANT AT ALL BITUMINOUS PAVING JOINTS INCLUDING ADJACENT TO CURBS, WALLS, AND STRUCTURES.
- C. ALL PAYMENT MARKINGS AND STRIPING SHALL BE EPOXY PAINT.
- D. REFER TO LANDSCAPING PLAN FOR LANDSCAPING IMPROVEMENTS.

SITE LAYOUT SHEET KEYNOTES

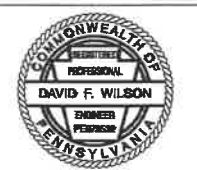
1. BITUMINOUS PAVING. REFER TO SITE DETAILS.
2. CONCRETE CROSSOVER. REFER TO SITE DETAILS.
3. CONCRETE SIDEWALK. REFER TO SITE DETAILS.
4. HEAVY DUTY CONCRETE PAD FOR DUMPSTER.
5. CONCRETE CURB. REFER TO SITE DETAILS.
6. DEPRESSED CONCRETE CURB. REFER TO SITE DETAILS.
7. FLUSH CONCRETE CURB. REFER TO SITE DETAILS.
8. CURB TAPER. REFER TO SITE DETAILS.
9. CONCRETE CURB WALL. REFER TO GRADING PLAN FOR CURB REVEAL HEIGHTS.
10. CONCRETE RETAINING WALL. REFER TO ARCHITECTURAL PLANS.
11. CONCRETE STAIRS AND HANDRAILS. REFER TO ARCHITECTURAL PLANS.
 - (8) 8" RISERS AND (5) 12" TREADS.
12. PRECAST CONCRETE WHEELSTOP. REFER TO SITE DETAILS.
13. 4" WIDE WHITE PAINTED LINE.
14. 4" WIDE WHITE PAINTED STRIPING; 2-0" CENTER TO CENTER AT 45° ANGLE.
15. PAINTED ADA PARKING SYMBOL.
16. PAINTED DIRECTIONAL ARROW MARKINGS. REFER TO SITE DETAILS.
 - a. WHITE PAINTED ARROWS.
 - b. 11/4" HEIGHT WHITE PAINTED LETTERING; "ONE WAY."
17. BOLLARD SIGN POST. REFER TO SITE DETAILS. 12" x 18" RESERVED ADA PARKING SIGN (R7-B) AND 12" x 8" VAN ACCESSIBLE SIGN (R7-BA).
18. STOP SIGN AND POST (R1-1). REFER TO SITE DETAILS.
19. DO NOT ENTER SIGN AND POST (R5-1). REFER TO SITE DETAILS.
20. ONE-WAY SIGN AND POST (R6-2R). REFER TO SITE DETAILS.
21. 6" HIGH CHAIN LINK FENCE. REFER TO SITE DETAILS.
22. LANDSCAPING/HARDSCAPING AREA. REFER TO LANDSCAPING PLAN.
23. LANDSCAPING/HARDSCAPING AREA.
24. PAINTED PEDESTRIAN WALKING SYMBOL.
25. STOP BAR AND DOUBLE YELLOW LINE (MIN. 50 FEET) THERMOPLASTIC PAVEMENT MARKINGS.
26. BIKE RACK. REFER TO SITE DETAILS.

CIVITAS REGIO
 532 W. HAMILTON STREET
 SUITE 8
 ALLENTOWN, PA 18101
 www.civitasregio.com



SCALE IN FEET: 1"=20'

SEALS



D.F. Wilson
 6/2/2021

FOR CONSTRUCTION
FINAL PLAN

NO.	DATE	DESCRIPTION	BY
2	6/02/2021	REVISED FOR PERMITTING	DM
1	4/05/2021	ISSUED FOR PERMITTING	DM

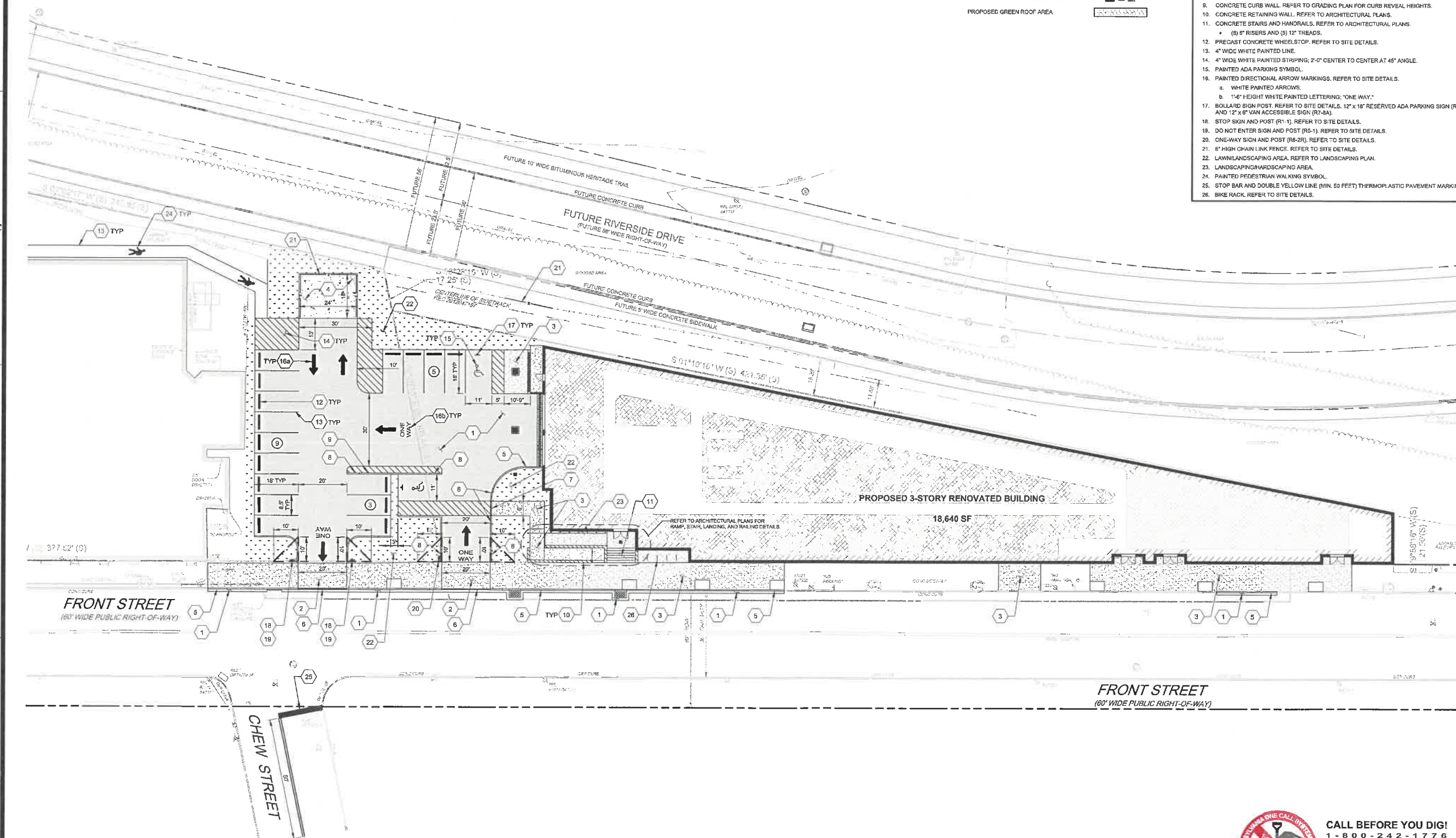
ISSUE BLOCK
 PROJECT NO.: MBC-20-06
 CAD FILE: C-111.dwg
 DESIGNED BY: MMS, CHM
 DRAWN BY: MMS, CHM
 CHECKED BY: DFW
 APPROVED BY: DFW
 COPYRIGHT: CIVITAS REGIO LLC

CLIENT
 LEHIGH RIVER DEVELOPMENT CORP. I, LLC
 300 COLES STREET, SUITE 2
 JERSEY CITY, NJ 07310
 CONTACT: JOHN PALUMBO
 PHONE: 201-675-0866

PROJECT IDENTIFICATION
 URBAN TRANSITION MULTI-FAMILY DEVELOPMENT
 207 NORTH FRONT STREET
 CITY OF ALLENTOWN, WARD 1
 LEHIGH COUNTY, PA

SHEET TITLE
 SITE LAYOUT PLAN

C-111
 SHEET 7 OF 22



CALL BEFORE YOU DIG!
 1-800-242-1776
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL
 POCS SERIAL NUMBER
 20201633311



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SITE LAYOUT LEGEND

- PROPOSED BITUMINOUS PAVING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPING
- PROPOSED HEAVY DUTY CONCRETE PAD
- PROPOSED CONCRETE CURB
- PROPOSED DEPRESSED CONCRETE CURB
- PROPOSED DEPRESSED CONCRETE CURB
- PROPOSED BUILDING
- PROPOSED BUILDING AND DOOR
- NUMBER OF PARKING SPACES IN ROW
- PROPOSED STORM DRAINAGE STRUCTURE

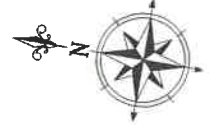
GENERAL SITE LAYOUT NOTES

- A. FOR GENERAL CIVIL NOTES AND LEGEND REFER TO SHEET C-002.
- B. PROVIDE JOINT SEALANT AT ALL BITUMINOUS PAVING JOINTS INCLUDING ADJACENT TO CURB, WALLS, AND STRUCTURES.
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SITE LAYOUT SHEET KEYNOTES

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25. STOP BAR AND DOUBLE YELLOW LINE (MIN. 60 FEET) THERMOPLASTIC PAVEMENT MARKINGS.

CIVITAS REGIO
 532 W. HAMILTON STREET
 SUITE 8
 ALLENTOWN, PA 18101
 www.civitasregio.com



SCALE IN FEET: 1"=20'

SEALS



D.F. Wilson
 6/2/2021

**FOR CONSTRUCTION
 FINAL PLAN**

NO.	DATE	DESCRIPTION	BY
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1	4/05/2021	ISSUED FOR PERMITTING	DA

ISSUE BLOCK

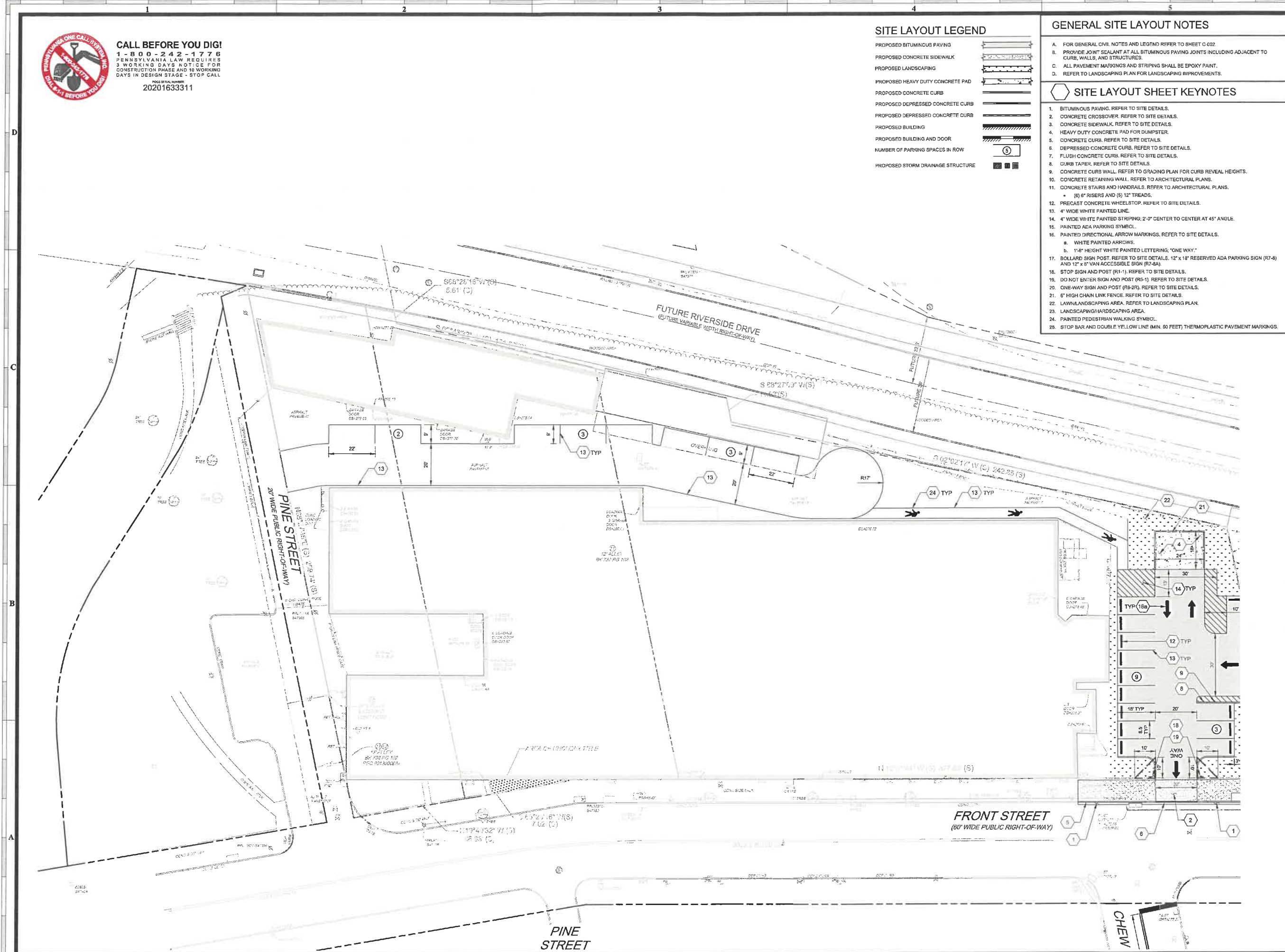
PROJECT NO.:	MBC-20-06
CAD FILE:	C-112.dwg
DESIGNED BY:	MMS, CHM
DRAWN BY:	MMS, CHM
CHECKED BY:	DFW
APPROVED BY:	DFW
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 DEVELOPMENT CORP. I, LLC
 300 COLES STREET, SUITE 2
 JERSEY CITY, NJ 07310
 CONTACT: JOHN PALUMBO
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PROJECT IDENTIFICATION
 URBAN TRANSITION
 MULTI-FAMILY DEVELOPMENT
 207 NORTH FRONT STREET
 CITY OF ALLENTOWN, WARD 1
 LEHIGH COUNTY, PA

SHEET TITLE
 SITE LAYOUT PLAN

C-112
 SHEET 8 OF 22



STORM DRAINAGE STRUCTURE SCHEDULE					
NUMBER	TYPE	TOP TYPE	TOP EL.	INV IN	INV OUT
01	STANDARD BOX	TYPE C	276.40	270.64 (E)	270.64
02	DRAIN BASIN	12" STANDARD	273.87	270.89 (E)	270.89
03	2' x 2' PRECAST CATCH BASIN	2" SQUARE SOLID	273.73	271.14 (S) 270.98 (E)	270.88
04	TRENCH DRAIN	LOAD CLASS C	273.13		271.52
05	2' x 2' PRECAST CATCH BASIN	2" SQUARE SOLID	273.44	271.44 (S)	271.10
06	TRENCH DRAIN	LOAD CLASS A	273.18		271.23
07	STANDARD BOX	TYPE C	275.54	270.74 (E)	269.88
08	TILE DECK DRAIN	8" SQUARE NICKEL-BRONZE	273.28		271.28

NOTE: REFER TO DETAILS AND PENNDOT RC-40W (6 OF 34) FOR INLET TYPE
 * DRAIN BASIN SHALL BE NYLOPLAST DRAIN MODEL NO. 181 24G OR APPROVED EQUAL. SEE SITE DRAINAGE DETAILS FOR GRATE SPECIFICATIONS.
 ** TILE DECK DRAIN SHALL BE THUNDERBIRD PRODUCTS MODEL NO. SBD03NHSQ80 OR APPROVED EQUAL. DRAIN SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.

STORM DRAINAGE PIPE SCHEDULE				
NUMBER	DIAMETER	MATERIAL	LENGTH	SLOPE
P101	10"	HDPE	49'	0.50%
P102	6"	HDPE	18'	0.50%
P103	6"	HDPE	9'	1.00%
P104	6"	HDPE	24'	0.50%
P105	4"	HDPE	5'	3.68%
* P106	6"	HDPE	22'	2.50%

NOTE: HDPE PIPE SHALL BE ADS N-12 VIT OR APPROVED EQUAL.
 * CONTRACTOR SHALL UTILIZE FITTINGS AS NECESSARY FOR TRANSITION FROM SD08 TO PIPE.

COVERAGE CALCULATIONS *		
	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT (1992 CONDITIONS)	24,502 SF	212 SF
PRE-DEVELOPMENT (2020 CONDITIONS)	17,957 SF	6,757 SF
POST-DEVELOPMENT	22,887 SF	1,827 SF

* COVERAGE IS BASED ON PROPERTY AREA (24,714 SF)

GENERAL GRADING AND DRAINAGE NOTES

A. FOR GENERAL CIVIL NOTES, LEGEND AND ABBREVIATIONS REFER TO SHEET C-002.
 B. PIPE LENGTHS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED ON THE PLANS.

GRADING & DRAINAGE SHEET KEYNOTES

1. MATCH EXISTING GRADE.
 2. 2" REVEAL AT GARAGE DOORS.

GRADING & DRAINAGE LEGEND

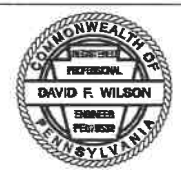
PROPOSED CONTOUR LINE (MAJOR) — 275 —
 PROPOSED CONTOUR LINE (MINOR) — 273 —
 PROPOSED SPOT ELEVATION — 272.50 —
 PROPOSED FINISH FLOOR — FF —
 PROPOSED GROUND ELEVATION — G —
 PROPOSED BOTTOM OF CURB — BC —
 PROPOSED BOTTOM OF CURB - EAST — BCE —
 PROPOSED BOTTOM OF CURB - WEST — BCW —
 PROPOSED BOTTOM OF CURB — TC —
 PROPOSED TOP OF WALL — BW —
 PROPOSED TOP OF WALL — TW —
 PROPOSED STORM DRAINAGE STRUCTURE — SD —
 PROPOSED STORM DRAINAGE LINE — SD —

CIVITAS REGIO
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SCALE IN FEET: 1"=20'

SEALS



D.F. Wilson
 6/2/2021

FOR CONSTRUCTION
 FINAL PLAN

NO.	DATE	DESCRIPTION	BY
2	6/02/2021	REVISED FOR PERMITTING	DW
1	4/05/2021	ISSUED FOR PERMITTING	DW

ISSUE BLOCK

PROJECT NO.: MBC-20-06
 CAD FILE: C-121.dwg
 DESIGNED BY: MMS, CHM
 DRAWN BY: MMS, CHM
 CHECKED BY: DFW
 APPROVED BY: DFW
 COPYRIGHT: CIVITAS REGIO LLC

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LEHIGH RIVER DEVELOPMENT CORP. I, LLC
 300 COLES STREET, SUITE 2
 JERSEY CITY, NJ 07310
 CONTACT: JOHN PALUMBO
 PHONE: 201-675-0866

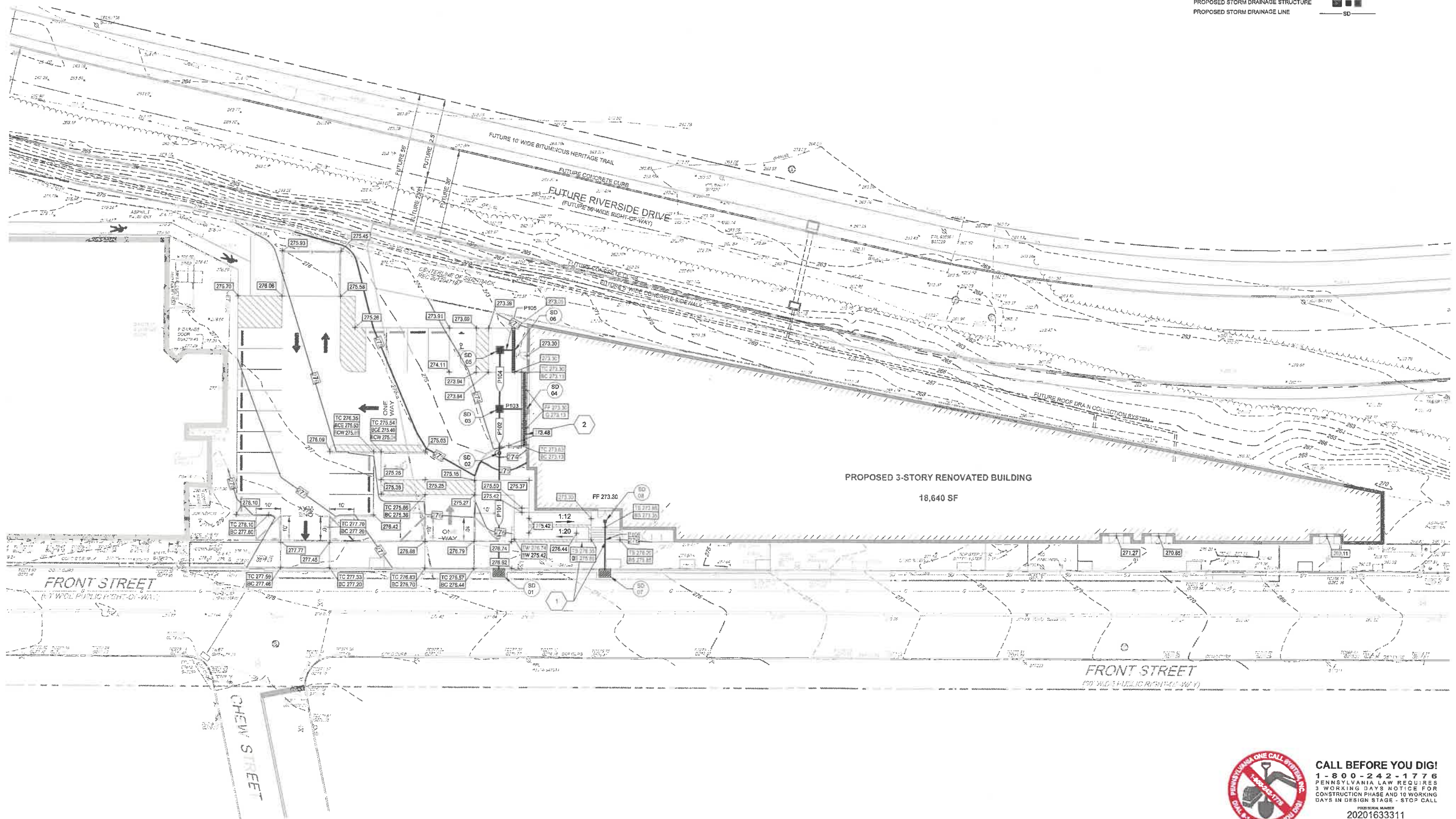
PROJECT IDENTIFICATION

URBAN TRANSITION MULTI-FAMILY DEVELOPMENT
 207 NORTH FRONT STREET
 CITY OF ALLENTOWN, WARD 1
 LEHIGH COUNTY, PA

SHEET TITLE

SITE GRADING & DRAINAGE PLAN

C-121
 SHEET 9 OF 22



CALL BEFORE YOU DIG!
 1-800-242-1776
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL
 FEDERAL NUMBER
 20201633311

SITE UTILITIES SHEET NOTES

A. FOR GENERAL CIVIL NOTES, LEGEND AND ABBREVIATIONS REFER TO SHEET C-002.

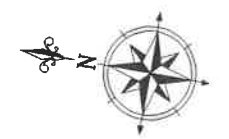
SITE UTILITIES SHEET KEYNOTES

1. CONTRACTOR SHALL COORDINATE WITH PLUMBING ENGINEER TO VERIFY ADEQUACY OF EXISTING PLUMBING-SANITARY SEWER CONNECTION. IF EXISTING CONNECTION IS NOT ADEQUATE, CONTRACTOR SHALL NOTIFY CIVIL ENGINEER IMMEDIATELY. REFER TO PLUMBING PLANS FOR FINAL SANITARY SEWER BUILDING TIE-IN LOCATION.
2. WATER LATERAL PIPING.
3. WATER VALVE. REFER TO SITE UTILITIES DETAILS.
4. REFER TO PLUMBING PLANS FOR FINAL LOCATION OF WATER LATERAL BUILDING TIE-IN LOCATION.
5. NATURAL GAS SERVICE PIPING.
6. NATURAL GAS CURB STOPVALVE. COORDINATE FINAL LOCATION OF NATURAL GAS BUILDING TIE-IN LOCATION.
7. REFER TO PLUMBING PLANS FOR FINAL LOCATION OF NATURAL GAS BUILDING TIE-IN LOCATION.
8. SECONDARY POWER DISTRIBUTION FROM UTILITY OWNER INFRASTRUCTURE TO BUILDING SHALL BE COORDINATED WITH UTILITY OWNER/PROVIDER.
9. SECONDARY POWER BUILDING TIE-IN LOCATION TO BE DETERMINED UPON FINAL BUILDING DESIGN.

SITE UTILITIES LEGEND

PROPOSED OVERHEAD ELECTRIC LINE	—OE—
PROPOSED WATER SHUT-OFF VALVE	⊙ WSO
PROPOSED WATER LINE	—W—
PROPOSED SANITARY SEWER CLEANOUT	⊙ CO
PROPOSED SANITARY SEWER LINE	—SAN—
PROPOSED GAS LINE	—G—
PROPOSED GAS VALVE	⊙ GV
PROPOSED STORM DRAINAGE STRUCTURE	■ ■ ■

CIVITAS REGIO
 532 W. HAMILTON STREET
 SUITE 8
 ALLENTOWN, PA 18101
 www.civitasregio.com



20' 0 20'
 SCALE IN FEET: 1"=20'

SEALS



D.F.W.
 6/2/2021

FOR CONSTRUCTION

FINAL PLAN

2	6/02/2021	REVISED FOR PERMITTING	DM
1	4/05/2021	ISSUED FOR PERMITTING	DM

ISSUE BLOCK

PROJECT NO.: MBC-20-06
 CAD FILE: C-131.dwg
 DESIGNED BY: MMS, CHM
 DRAWN BY: MMS, CHM
 CHECKED BY: DFW
 APPROVED BY: DFW
 COPYRIGHT: CIVITAS REGIO LLC

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 DEVELOPMENT CORP. I, LLC
 300 COLES STREET, SUITE 2
 JERSEY CITY, NJ 07310
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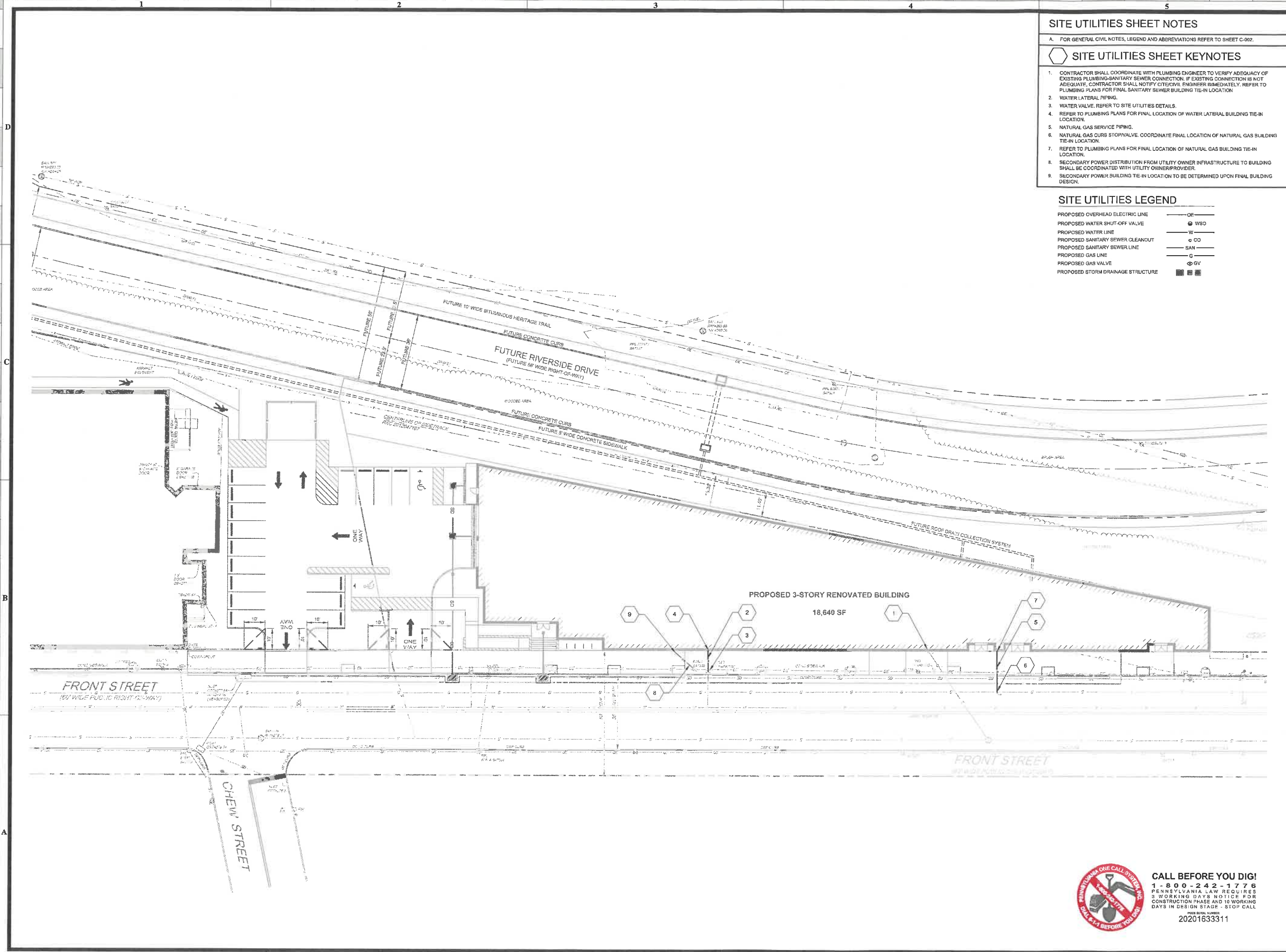
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SITE UTILITIES PLAN

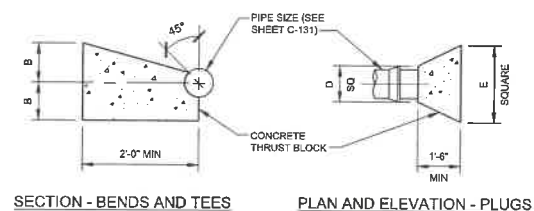
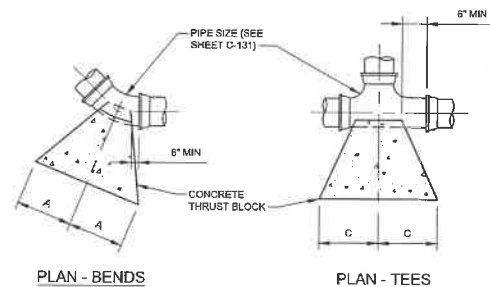
C-131

SHEET 10 OF 22



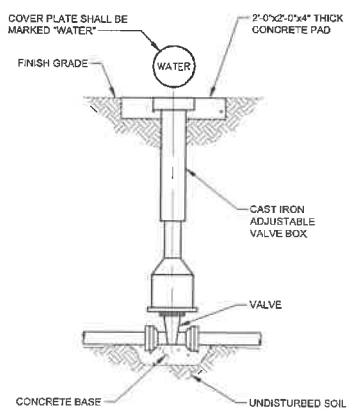
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 3 WORKING DAYS NOTICE FOR
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 DAYS IN DESIGN STAGE - STOP CALL
 POST BOX NUMBER
 20201633311

THRUST BLOCK SCHEDULE											
PSF TYPE	PIPE SIZE	1/4 BEND		1/8 BEND		1/16 BEND		TEE		PLUG	
		A	B	A	B	A	B	C	B		D
TYPE 1 4000 PSF SOIL	6"	8"	10"	6"	8"	3"	8"	8"	8"	10"	15"
	8"	12"	12"	8"	10"	5"	9"	9"	12"	12"	20"
	10"	16"	14"	10"	12"	6"	10"	11"	14"	14"	25"
	12"	19"	16"	12"	14"	8"	11"	14"	16"	16"	30"
	14"	23"	18"	14"	16"	10"	12"	16"	18"	18"	34"
	16"	26"	20"	16"	18"	11"	13"	18"	20"	20"	38"
	20"	25"	20"	16"	18"	11"	13"	18"	20"	20"	38"
TYPE 2 2000 PSF SOIL	6"	16"	10"	9"	10"	8"	8"	10"	12"	10"	21"
	8"	22"	13"	12"	13"	8"	10"	13"	16"	12"	29"
	10"	26"	17"	14"	17"	10"	13"	16"	20"	14"	36"
	12"	29"	21"	16"	21"	11"	16"	18"	24"	16"	41"
	14"	35"	24"	19"	24"	12"	20"	22"	27"	18"	48"
	16"	38"	27"	21"	27"	12"	24"	24"	30"	20"	54"
	20"	38"	27"	21"	27"	12"	24"	24"	30"	20"	54"
24"	38"	27"	21"	27"	12"	24"	24"	30"	20"	54"	



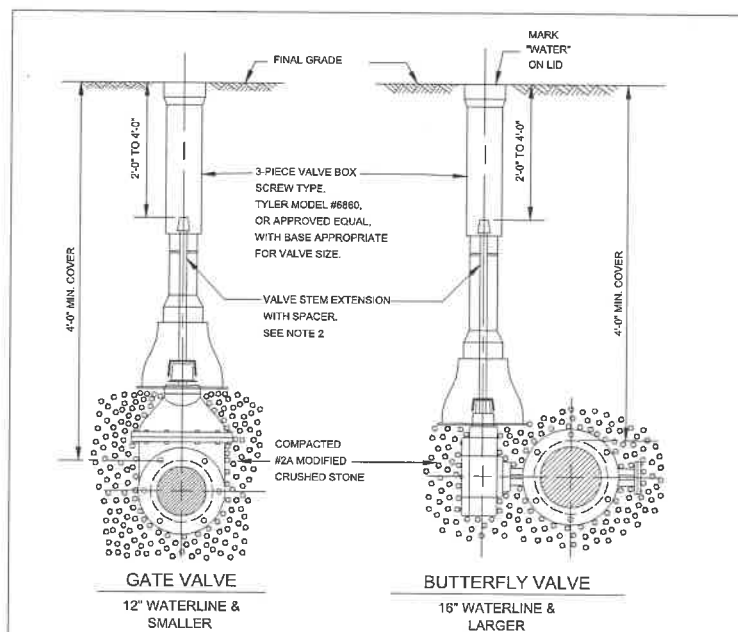
THRUST BLOCKS
NOT TO SCALE

- NOTES**
- THRUST BLOCK SHALL BE 3000 PSI CONCRETE POURED AGAINST UNDISTURBED SOIL ON TWO SURFACES.
 - WHERE CONCRETE THRUST BLOCKS CANNOT BE POURED AGAINST TWO SURFACES UNDISTURBED SOIL, GALVANIZED METAL TIE RODS AND LAMPS OR LUGS SHALL BE USED.
 - SELECT DIMENSIONS FOR WORST CASE (LARGEST PIPE SIZE) USING SCHEDULE ABOVE.
 - BASED ON 100 PSI STATIC PRESSURE PLUGS AWWA WATER HAMMER. ALL BEARING SURFACES SHALL BE CARRIED TO UNDISTURBED SOIL.



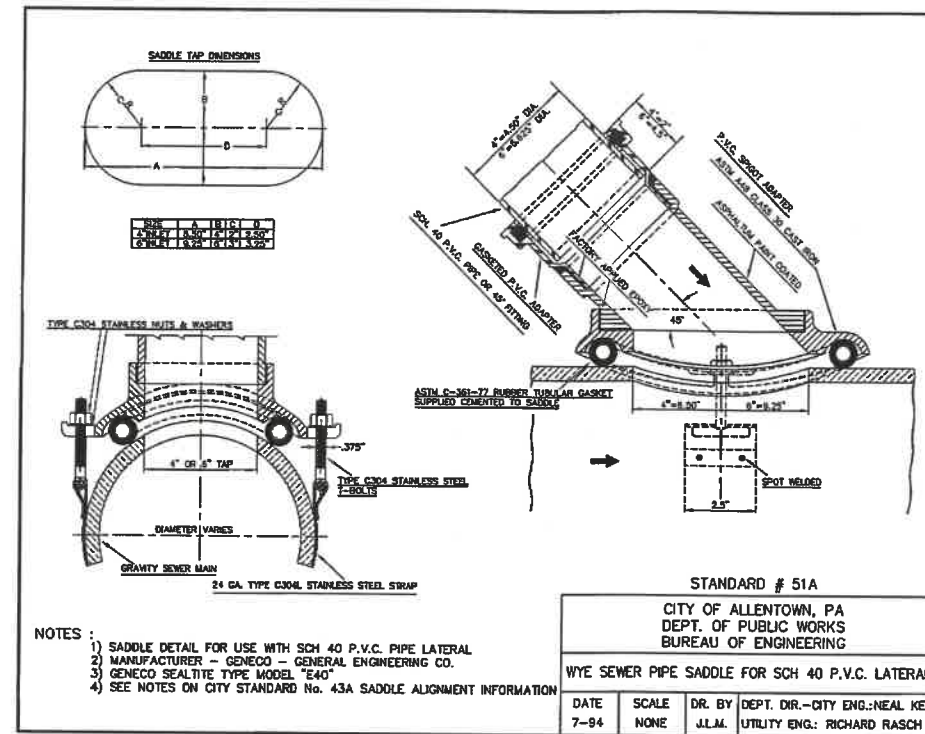
WATER SHUT OFF VALVE
NOT TO SCALE

- NOTE**
- WATER SHUT OFF VALVE COVER SHALL BE FLUSH WITH GRADE.



- NOTES**
- VALVES SHALL BE RESTRAINED TO A FITTING USING MEGALUGS, OR AN APPROVED EQUAL.
 - ANY VALVE WHOSE OPERATING NUT IS GREATER THAN 4 FEET DEEP SHALL BE EQUIPPED WITH AN EXTENSION STEM THAT HAS A MINIMUM 1-INCH SQUARE SOLID STEEL SHAFT FITTED OVER THE OPERATING NUT AND HAVE A 2-INCH SQUARE OPERATING NUT ON THE TOP. THE SHAFT SHALL BE CENTERED IN THE BOX WITH A SPACER AND BE FASTENED TO THE OPERATING NUT. THE EXTENSION KIT SHALL BE MANUFACTURED BY THE VALVE MANUFACTURER OR APPROVED EQUAL.

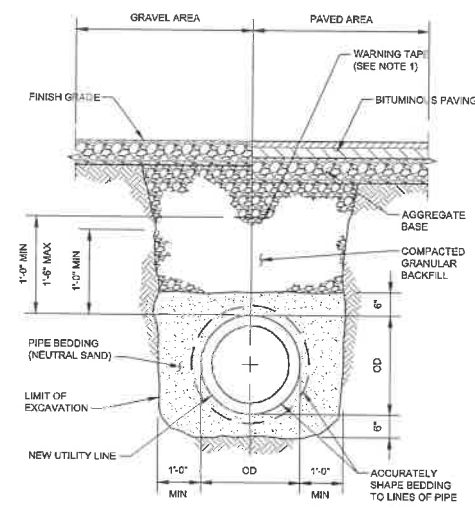
W-02	WATER SYSTEM STANDARD DETAIL		LEHIGH COUNTY AUTHORITY P. O. BOX 3348 1053 SPRUCE STREET ALLENTOWN, PA. 18106	
	VALVE AND VALVE BOX		DRN. BY: C.R.D.	DES. BY: E.L.H.
			APPR. BY: M.A.B.	DATE OWN 4/29/96
			DWG. NO. W-02	REV. DATE 1/23/18



- NOTES**
- SADDLE DETAIL FOR USE WITH SCH 40 P.V.C. PIPE LATERAL
 - MANUFACTURER - GENECO - GENERAL ENGINEERING CO.
 - GENECO SEAL TITE TYPE MODEL "E40"
 - SEE NOTES ON CITY STANDARD No. 43A SADDLE ALIGNMENT INFORMATION

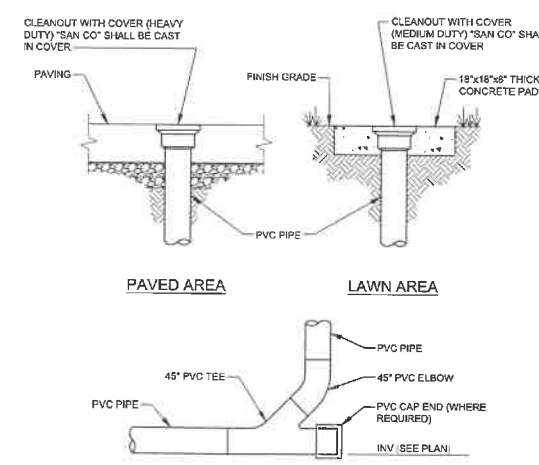
STANDARD # 51A
CITY OF ALLENTOWN, PA
DEPT. OF PUBLIC WORKS
BUREAU OF ENGINEERING

DATE	SCALE	DR. BY	DEPT. DR.	CITY ENG.	NEAL KERN
7-94	NONE	J.L.M.	UTILITY ENG.	RICHARD RASCH	



TYPICAL UTILITY PIPE TRENCH
NOT TO SCALE

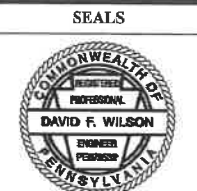
- NOTES**
- THIS DETAIL IS FOR DOMESTIC WATER, FIRE PROTECTION AND SANITARY UTILITY PIPES.
 - PROVIDE 6" WIDE DETECTABLE WARNING TAPE PRINTED WITH "CAUTION UTILITY LINE". TYPE OF UTILITY SHALL BE PROVIDED.



SANITARY CLEANOUT
NOT TO SCALE

- NOTE**
- FOR PIPE SIZES SEE SHEET C-131.

CIVITAS REGIO
532 W. HAMILTON STREET
SUITE 8
ALLENTOWN, PA 18101
www.civitasregio.com



D.F.W.
6/2/2021

FOR CONSTRUCTION
FINAL PLAN

NO.	DATE	DESCRIPTION	BY
2	8/02/2021	REVISED FOR PERMITTING	D.F.W.
1	4/05/2021	ISSUED FOR PERMITTING	D.F.W.

ISSUE BLOCK

PROJECT NO.: MBC-20-06
CAD FILE: C-531.dwg
DESIGNED BY: MMS, CHM
DRAWN BY: MMS, CHM
CHECKED BY: DFW
APPROVED BY: DFW
COPYRIGHT: CIVITAS REGIO LLC

CLIENT
LEHIGH RIVER
DEVELOPMENT CORP. I, LLC
300 COLES STREET, SUITE 2
JERSEY CITY, NJ 07310
CONTACT: JOHN PALUMBO
PHONE: 201-675-0866

PROJECT IDENTIFICATION
URBAN TRANSITION
MULTI-FAMILY DEVELOPMENT
207 NORTH FRONT STREET
CITY OF ALLENTOWN, WARD 1
LEHIGH COUNTY, PA

SHEET TITLE
SITE
UTILITIES
DETAILS

C-531
SHEET 15 OF 22

SECTION 3.6

PHMC COMMENTS



PHMC Comment

The limit of disturbance of the proposed development is 0.76 acres. PHMC archeological resource screening is not required to submit to PADEP as part of the Sewage Planning Module Application since earth disturbance is less than 10 acres.

SECTION 3.7

PNDI RECEIPT

1. PROJECT INFORMATION

Project Name: **Manhattan Building Company**
Date of Review: **10/22/2020 03:43:56 PM**
Project Category: **Development, Other**
Project Area: **8.78 acres**
County(s): **Lehigh**
Township/Municipality(s): **ALLENTOWN**
ZIP Code: **18102**
Quadrangle Name(s): **ALLENTOWN EAST**
Watersheds HUC 8: **Lehigh**
Watersheds HUC 12: **Lehigh River-Delaware River**
Decimal Degrees: **40.611215, -75.457950**
Degrees Minutes Seconds: **40° 36' 40.3746" N, 75° 27' 28.6213" W**

2. SEARCH RESULTS

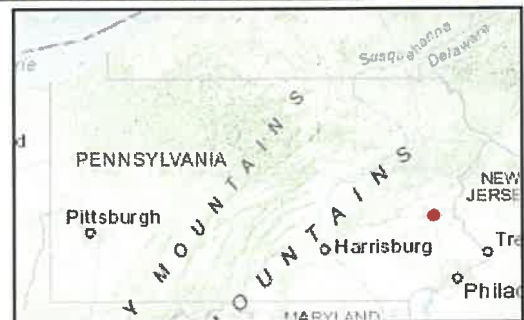
Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	Potential Impact	FURTHER REVIEW IS REQUIRED, See Agency Response
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate there may be potential impacts to threatened and endangered and/or special concern species and resources within the project area. If the response above indicates "No Further Review Required" no additional communication with the respective agency is required. If the response is "Further Review Required" or "See Agency Response," refer to the appropriate agency comments below. Please see the DEP Information Section of this receipt if a PA Department of Environmental Protection Permit is required.

Manhattan Building Company

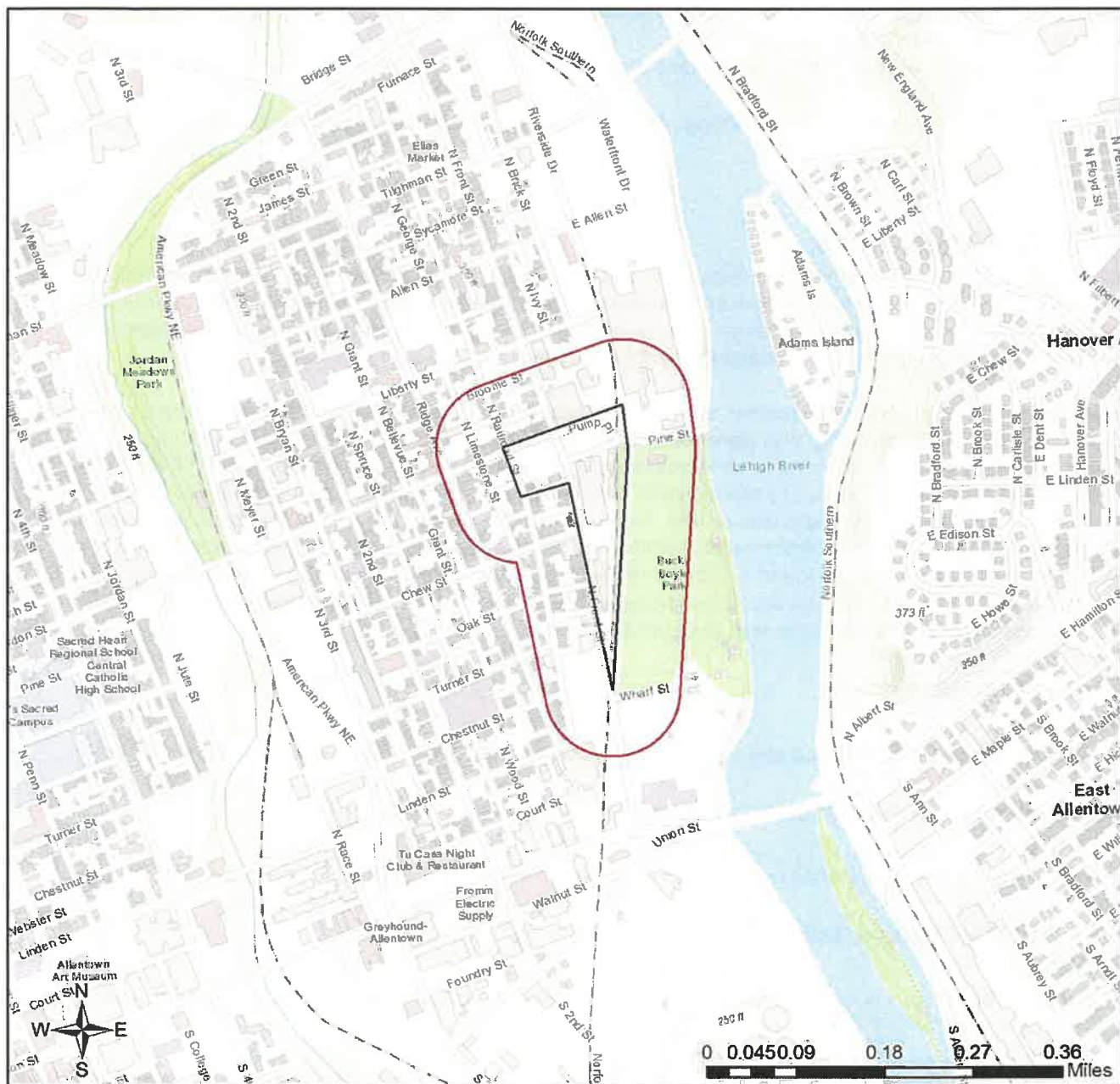


- Project Boundary
- Buffered Project Boundary



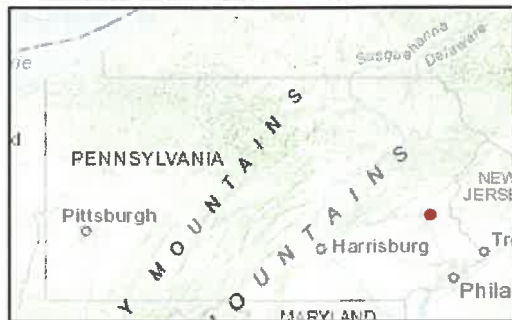
Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China

Manhattan Building Company



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



RESPONSE TO QUESTION(S) ASKED

Q1: The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

Your answer is: The project will affect 1 to 39 acres of forests, woodlots and trees.

Q2: Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

Further review of this project is necessary to resolve the potential impact(s). Please send project information to this agency for review (see WHAT TO SEND).

PFBC Species: (Note: The Pennsylvania Conservation Explorer tool is a primary screening tool, and a desktop review may reveal more or fewer species than what is listed below.)

Scientific Name	Common Name	Current Status
Sensitive Species**		Threatened

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

* Special Concern Species or Resource - Plant or animal species classified as rare, tentatively undetermined or candidate as well as other taxa of conservation concern, significant natural communities, special concern populations (plants or animals) and unique geologic features.

** Sensitive Species - Species identified by the jurisdictional agency as collectible, having economic value, or being susceptible to decline as a result of visitation.

WHAT TO SEND TO JURISDICTIONAL AGENCIES

If project information was requested by one or more of the agencies above, upload* or email* the following information to the agency(s). Instructions for uploading project materials can be found [here](#). This option provides the applicant with the convenience of sending project materials to a single location accessible to all three state agencies. Alternatively, applicants may email or mail their project materials (see AGENCY CONTACT INFORMATION).

Check-list of Minimum Materials to be submitted:

___ Project narrative with a description of the overall project, the work to be performed, current physical characteristics of the site and acreage to be impacted.

___ A map with the project boundary and/or a basic site plan (particularly showing the relationship of the project to the physical features such as wetlands, streams, ponds, rock outcrops, etc.)

In addition to the materials listed above, USFWS REQUIRES the following

___ **SIGNED** copy of a Final Project Environmental Review Receipt

The inclusion of the following information may expedite the review process.

___ Color photos keyed to the basic site plan (i.e. showing on the site plan where and in what direction each photo was taken and the date of the photos)

___ Information about the presence and location of wetlands in the project area, and how this was determined (e.g., by a qualified wetlands biologist), if wetlands are present in the project area, provide project plans showing the location of all project features, as well as wetlands and streams.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.

5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
Email: IR1_ESPenn@fws.gov
NO Faxes Please

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

PA Game Commission

Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Minal Amin
Company/Business Name: Civitas Regio
Address: 532 W. Hamilton St., Suite 8
City, State, Zip: Allentown, PA 18101
Phone: (717) 512-1978 Fax: ()
Email: minal.amin@civitasregio.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.



applicant/project proponent signature

10/29/2020

date



Pennsylvania Fish & Boat Commission

Division of Environmental Services
Natural Diversity Section
595 E Rolling Ridge Dr.
Bellefonte, PA 16823
814-359-5237

November 30, 2020

IN REPLY REFER TO
SIR# 53657

Civitas Regio, LLC
Minal Amin
532 W. Hamilton Street
Allentown, Pennsylvania 71751-2197

RE: Species Impact Review (SIR) – Rare, Candidate, Threatened and Endangered Species
PNDI Search No. 709496_1
Manhattan Building Company
LEHIGH County: Allentown City

Dear Minal Amin:

This responds to your inquiry about a Pennsylvania Natural Diversity Inventory (PNDI) Internet Database search “potential conflict” or a threatened and endangered species impact review. These projects are screened for potential conflicts with rare, candidate, threatened or endangered species under Pennsylvania Fish & Boat Commission jurisdiction (fish, reptiles, amphibians, aquatic invertebrates only) using the Pennsylvania Natural Diversity Inventory (PNDI) database and our own files. These species of special concern are listed under the Endangered Species Act of 1973, the Wild Resource Conservation Act, and the Pennsylvania Fish & Boat Code (Chapter 75), or the Wildlife Code.

An element occurrence of a rare, candidate, threatened, or endangered species under our jurisdiction is known from the vicinity of the proposed project. However, given the nature of the proposed project, the immediate location, or the current status of the nearby element occurrence(s), no adverse impacts are expected to the species of special concern.

This response represents the most up-to-date summary of the PNDI data and our files and is valid for two (2) years from the date of this letter. An absence of recorded species information does not necessarily imply species absence. Our data files and the PNDI system are continuously being updated with species occurrence information. Should project plans change or additional information on listed or proposed species become available, this determination may be reconsidered, and consultation shall be re-initiated.

Our Mission:

www.fish.state.pa.us

To protect, conserve and enhance the Commonwealth's aquatic resources and provide fishing and boating opportunities.

If you have any questions regarding this review, please contact Kathy Gipe at 814-359-5186 and refer to the SIR # 53657. Thank you for your cooperation and attention to this important matter of species conservation and habitat protection.

Sincerely,

A handwritten signature in black ink that reads "Christopher A. Urban". The signature is written in a cursive style with a large initial 'C'.

Christopher A. Urban, Chief
Natural Diversity Section

CAU/KDG/dn

SECTION 3.8

ALTERNATIVE ANALYSIS



Alternatives Analysis

Lehigh River Development Corp. I, LLC proposes to redevelop and enhance the existing site of the vacant furniture warehouse building located at 207 N. Front Street, Allentown, PA. The total property is 0.76 acres. The proposed project includes repurposing the existing warehouse building into apartments, office space, and warehouse space, including the addition of a third story to the existing structure. The proposed redevelopment will also include all necessary site improvements on the property.

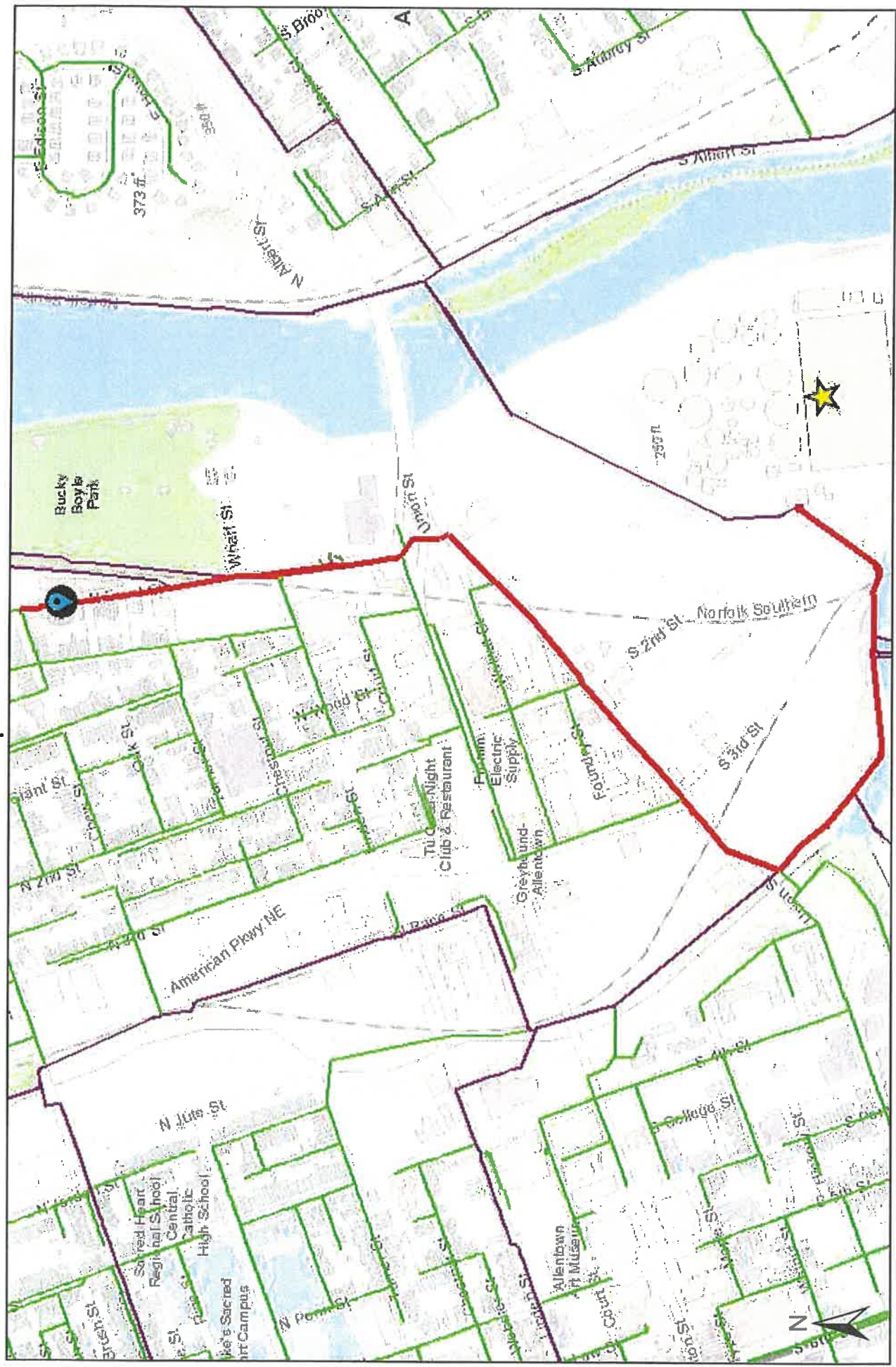
The proposed redevelopment will include approximately 25 apartment units, 10,570 SF of office space, and 6,064 SF of warehouse space, and will have a sanitary lateral that will connect to public sewer along North Front Street. The added anticipated sewage flow is 5,552 GPD, or 23.33 EDUs per the City of Allentown requirements of 1 EDU = 238 GPD (13.88 DEP EDUs at 1 EDU = 400 GPD per DEP requirements). The proposed disposal method is an ultimate method.

With the availability of public sewer that is not at capacity it is most reasonable to send the sewage from this development to Lehigh County Authority for collection, conveyance, and then be treated at the City of Allentown Wastewater Treatment Plant for treatment and disposal. This disposal method also provides for the best long-term reliability for the treatment and disposal of the sewage from the development.

SECTION 3.9

PATH OF SEWAGE TO TREATMENT FACILITY

LCA Flow Map - 207 N Front St



1/15/2021, 1:35:21 PM

Legend

-  Kline's Island WWTP
-  Sanitary Mains
-  Collector Sanitary Main
-  Interceptor Sanitary Main

1 inch = 762 feet
0.25 mi
0.125
0



SECTION 4.0

SEWAGE FACILITIES PLANNING MODULE COMPONENT 4

SECTION 4.1

4A –MUNICIPAL PLANNING AGENCY REVIEW



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

DEP Code #:

**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

207 N. Front Street Urban Transition Multi-Family Development Project

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency May 12, 20212. Date review completed by agency May 12, 2021

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 5. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. Will any known historical or archaeological resources be impacted by this project?
If yes, describe impacts <u>See PHMC letter</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known endangered or threatened species of plant or animal be impacted by this project?
If yes, describe impacts <u>See PNDI report</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. Is there a municipal zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. Is this proposal consistent with the ordinance? <u>project needs zoning relief</u>
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. Is there a municipal subdivision and land development ordinance? |

SECTION C. AGENCY REVIEW (continued)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 13. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Is this plan consistent with the municipal Official Sewage Facilities Plan?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? <u>n/a</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, is the proposed waiver consistent with applicable ordinances?
If no, describe the inconsistencies _____ |

17. Name, title and signature of planning agency staff member completing this section:

Name: Irene Woodward
 Title: Director of Planning
 Signature: [Handwritten Signature]
 Date: 5/12/21
 Name of Municipal Planning Agency: City of Allentown
 Address: 435 Hamilton St., Allentown, PA 18101
 Telephone Number: (610) 437-7611 ext. 2866

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

SECTION 4.2

4B – COUNTY PLANNING AGENCY REVIEW



GREG ZEBROWSKI
Chair

STEVEN GLICKMAN
Vice Chair

PAMELA PEARSON
Treasurer

BECKY A. BRADLEY, AICP
Executive Director

Planning for the Future of Lehigh and Northampton Counties at 961 Marcon Blvd., Ste 310, Allentown, PA 18109 ■ (610) 264-4544 ■ lvpc@lvpc.org ■ www.lvpc.org

June 7, 2021

Ms. Minal Amin, EIT
Civitas Regio
532 W. Hamilton Street, Suite 2
Allentown, PA 18101

**Re: Act 537 Review - Sewage Facilities Planning Module
207 North Front Street
City of Allentown, Lehigh County**

Dear Ms. Amin:

The Lehigh Valley Planning Commission (LVPC) reviewed the above-referenced planning module according to the requirements of Act 537, the Pennsylvania Sewage Facilities Act. We offer the following comments.

This sewage facilities planning module is intended for the proposed redevelopment of an existing two-story building that includes a third-story addition on approximately 0.8 acres. The building will contain 25 apartments, 10,570 square feet of office space and 6,064 square feet warehouse space. The development is proposed to be served by public sewage disposal, with ultimate treatment at the Kline's Island wastewater treatment plant. This sewage facilities planning module exhibits consistency with *FutureLV: The Regional Plan*. According to FutureLV, the proposed project is located in an area designated for Development in the General Land Use Plan and aligns with the FutureLV action to 'promote development in areas with public sewer and water capacity' (under Policy 3.2).

Enclosed please find an executed Module Component 4b. Please call me if you have any questions regarding this review.

Sincerely,

Susan L. Rockwell
Senior Environmental Planner

Enclosure

cc: Irene Woodward, AICP, Director of Planning, City of Allentown
Robert Corby, PA Department of Environmental Protection



DEP Code #: _____

**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW**

(or Planning Agency with Areawide Jurisdiction)

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and one copy of this *Planning Agency Review Component* should be sent to the county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
207 North Front Street

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency ---
2. Date plan received by planning agency with areawide jurisdiction May 21, 2021
Agency name Lehigh Valley Planning Commission
3. Date review completed by agency June 7, 2021

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i>)? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use? <i>See attached MPC review letter dated 5/6/21</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan?
If no, describe goals and objectives that are not met --- |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe inconsistency --- |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation?
If no, describe inconsistencies: --- |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impact --- |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known historical or archeological resources be impacted by this project? <i>PHMC determination</i>
If yes, describe impacts --- |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project? <i>See PND I results</i>
If yes, describe impacts --- |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance? <i>N/A</i>
If no, describe inconsistencies --- |

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained? <i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a county or areawide subdivision and land development ordinance? <i>Not applic. to the City of Allentown</i>
<input type="checkbox"/>	<input type="checkbox"/>	13. Does this proposal meet the requirements of the ordinance? <i>N/A</i> If no, describe which requirements are not met ---
<input type="checkbox"/>	<input type="checkbox"/>	14. Is this proposal consistent with the municipal Official Sewage Facilities Plan? <i>See municipal interpretation</i> If no, describe inconsistency ---
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe ---
<input type="checkbox"/>	<input type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? <i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances. If no, describe the inconsistencies ---
<input checked="" type="checkbox"/>	<input type="checkbox"/>	17. Does the county have a stormwater management plan as required by the Stormwater Management Act?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	If yes, will this project plan require the implementation of storm water management measures?
18. Name, Title and signature of person completing this section:		
Name: <u>Susan L. Rockwell</u>		
Title: <u>Senior Environmental Planner</u>		
Signature: <u><i>S. L. Rockwell</i></u>		
Date: <u>June 7, 2021</u>		
Name of County or Areawide Planning Agency: <u>Lehigh Valley Planning Commission</u>		
Address: <u>961 Marcon Boulevard, Suite 310 Allentown, PA 18109</u>		
Telephone Number: <u>610-264-4544</u>		

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.



Lehigh Valley Planning Commission



GREG ZEBROWSKI
Chair

STEVEN GLICKMAN
Vice Chair

PAMELA PEARSON
Treasurer

BECKY A. BRADLEY, AICP
Executive Director

May 6, 2021

Irene Woodward, AICP
Director of Planning & Zoning
City of Allentown
435 Hamilton Street
Allentown, PA 18101

**RE: 207 North Front Street – Land Development
City of Allentown – Lehigh County**

Dear Ms. Woodward:

The subject application proposes to redevelop an existing two-story building. The proposed redevelopment includes the addition of a third story to incorporate 10,596 square feet of office space, 7,252 square feet of commercial space and 25 apartment units. Additionally, the proposal includes a redeveloped parking area. The proposal is located at 207 North Front Street (parcel number 640743837565). This proposal is generally consistent with *FutureLV: The Regional Plan* because it is located in a Development area of the General Land Use Plan and within a Multimodal Accessibility Buffer of the Transportation Plan, and will 'reduce blight to improve safety, quality of life and promote sustainable economic activity' (of Policy 4.2).

The proposal's inclusion of apartment units at this location – adjacent to Bucky Boyle Park and a proposed regional land trail – serves to 'improve access to green spaces' (of Policy 5.3). Redevelopment of the existing building, in conjunction with the property location will 'maintain regional character by preserving priority environmental, historic, cultural, scenic and agricultural assets' of (Policy 1.3).

Municipalities, when considering subdivision/land developments, should reasonably attempt to be consistent with *FutureLV: The Regional Plan*, as required by the Pennsylvania Municipalities Planning Code (MPC) [Article 1§105, Article III§303, §304 & §306(a), Article VI§603(j)]. The LVPC review does not include an in-depth examination of plans relative to subdivision design standards or ordinance requirements since these items are covered in the municipal review.

Please call or email myself or another Community Planning staff person for information on how to obtain LVPC signatures on the final plans.

Sincerely,

Samantha Smith
Chief Community Planner

cc: Craig Messinger, City of Allentown Director of Public Works; John Palumbo, Lehigh River Development Corp I, LLC; David Wilson, PE, Civitas Regio